



Project	CMHA Canals Edge Renovations	Addendum Number	2
Project Number	25036	Date	12/10/2025
To	All Bidders		
<i>This addendum contains changes to the requirements of the bidding Documents, Project Manual and Construction Drawings which have been issued to date. Such changes are to be incorporated into the Construction Documents and shall apply to the work in the same meaning and force as if they had been included in the original documents. Wherever this Addendum modifies a portion of a paragraph of the Project Manual or a portion of any Drawing, the remainder of the paragraph or Drawing shall remain in force.</i>			
Clarification	There is no interior MEP work in the fire unit (6299 Vincent Geroge Drive) that was recently restored.		
Specifications	REVISED UNIT PRICE #3 title and description on BID FORM.		
Drawings	<ol style="list-style-type: none">1. G002 - SITE & BUILDING INFORMATION<ol style="list-style-type: none">a. REVISED Tables.2. L1.01 – OVERALL SITE PLAN<ol style="list-style-type: none">a. ADDED Privacy fence south of the property.3. A001 – ARCHITECTURAL SITE PLAN<ol style="list-style-type: none">a. ADDED Privacy fence south of the property.4. A100 - OVERALL PLANS – BLDG TYPE A<ol style="list-style-type: none">a. Revised Coded Note 4.b. Added “TYP” to Coded Note 1R and 3R on Roof Plan.c. This revision applies to Sheet A101, A102, and A103.5. A300 - EXTERIOR ELEVATIONS -BLDG TYPE A<ol style="list-style-type: none">a. REVISED Coded Note 8b. REVISED Coded Notes on Elevation 1 and 5.6. A301 - EXTERIOR ELEVATIONS -BLDG TYPE B<ol style="list-style-type: none">a. REVISED Coded Note 8.b. REVISED Coded Notes on Elevation 1 and 5.7. A302 - EXTERIOR ELEVATIONS -BLDG TYPE C<ol style="list-style-type: none">a. REVISED Coded Note 8.b. REVISED Coded Notes on Elevation 1 and 3.8. A303 - EXTERIOR ELEVATIONS -BLDG TYPE D & MAILBOX CANOPY<ol style="list-style-type: none">a. REVISED Coded Note 8.b. REVISED Coded Notes on Elevation 1 and 3.9. A400 – BUILDING SECTIONS<ol style="list-style-type: none">a. ADDED Coded Notes to Wall Section 1 and 2.b. Added SECTION 1A.		



10. A501 – UNIT FLOOR PLANS

- a. ADDED Section Reference to Floor Plan 2.

11. A502 – UNIT FLOOR PLANS

- a. ADDED Section Reference to Floor Plan 2.

12. A930 – EXTERIOR AND SITE PHOTOS

- a. ADDED Coded no. 22.

Attachments

Sheet G002, L1.01, A001, A300, A301, A302, A303, A400, A501, A502, and A930.

SECTION C – BIDDING DOCUMENTS, BID FORM

SECTION C – BIDDING DOCUMENTS

BID FORM No. 2 – Bid Form

Project Name	Canals Edge
Scope of Work	Renovation
Bid Date & Time	Thursday, December 18, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

1. The undersigned, having familiarized themselves with the local conditions affecting the cost of the work, and with the Plans and Specifications (including Invitation for Bids, Instructions to Bidders, this Bid Form, the form of Bid Bond, the form of Non-Collusive Affidavit, the form of Contract, and the form of Payment and Performance Bond or Bonds, the General Conditions, the Special Conditions, the General Scope of Work, the Technical Specifications and the Drawings) and Addenda, if any thereto as prepared by the Columbus Metropolitan Housing Authority and on file in the office of the same, hereby proposes to furnish all material, equipment, and perform all labor and services required to construct and complete the work.

- A. **CONTRACTOR BASE BID:** Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

Total Material, for the sum	_____	Dollars.....	(\$_____)
Total Labor, for the sum	_____	Dollars.....	(\$_____)
TOTAL BASE BID AMOUNT	_____		(\$_____)
	(use words)		(figures)

B. **UNIT PRICE**

UNIT PRICE #1: Water Heater

Provide a unit price for one 40 gallon water heater and installation to match as noted on drawings in case we add another water heater or would remove a water heater from the schedule.

UNIT PRICE #2: Furnace

Provide a unit price for one HVAC system and installation including furnace, cooling coil, condenser and flushing the refrigerant lines to match as noted on the drawings in case we add or remove any HVAC systems. Include electrical demo and new work for the unit cost.

UNIT PRICE #3: Garage Door


Provide a unit price for one garage door replacement including all demolition, door and operator, trim replacement and accessories required for complete installation.

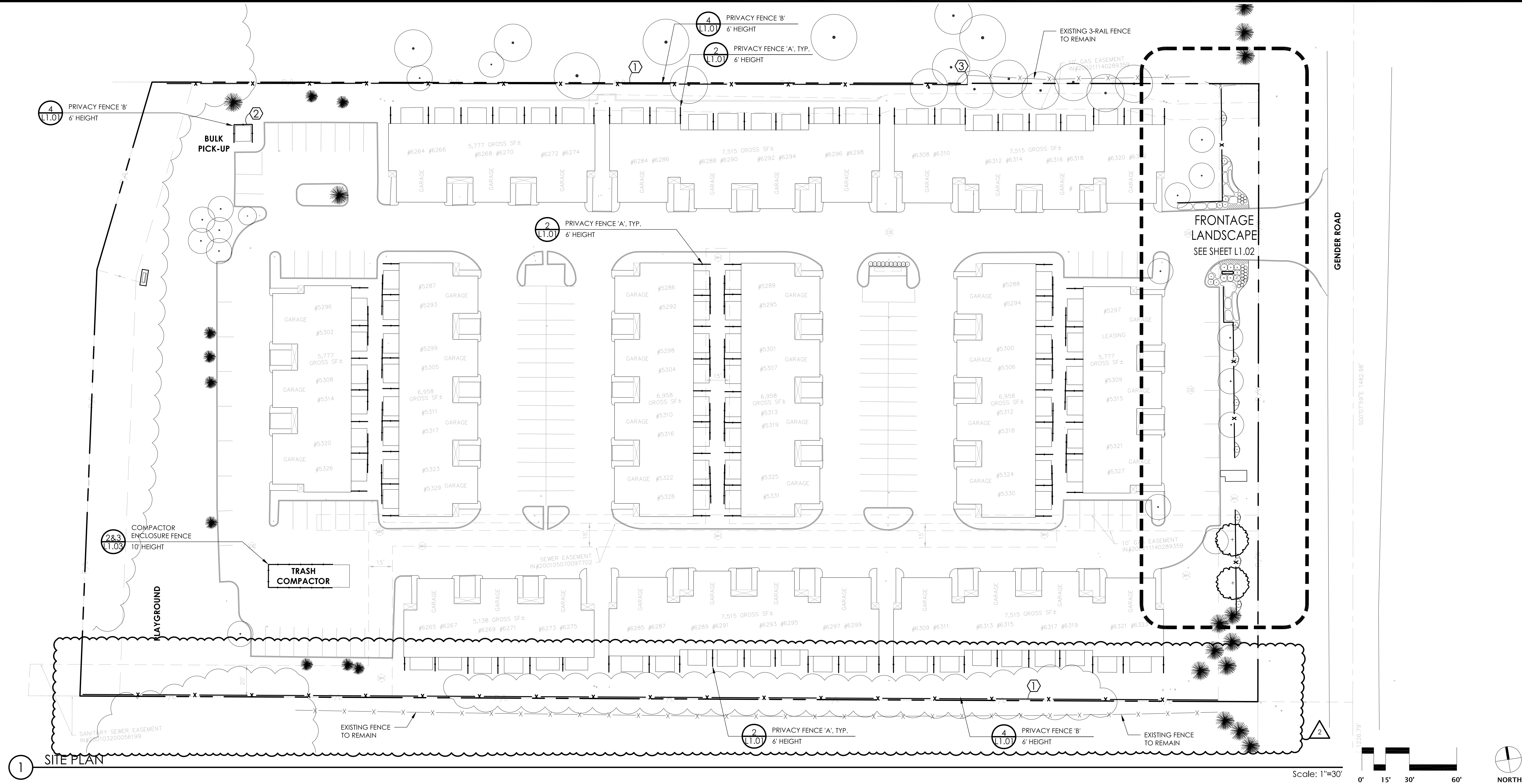
RESIDENTIAL BUILDING ADDRESS				
BUILDING NO.	BLDG TYPE	BUILDING ADDRESS	UNIT TYPE	GROSS SF
1	A	6308 VATRI DRIVE	3 BEDROOM TOWNHOME	1,915
		6310 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6312 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6314 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6316 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6318 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6320 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6322 VATRI DRIVE	3 BEDROOM TOWNHOME	1,915
2	A	6284 VATRI DRIVE	3 BEDROOM TOWNHOME	1,915
		6286 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6288 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6290 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6292 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6294 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6296 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
3	B	6298 VATRI DRIVE	3 BEDROOM TOWNHOME	1,915
		6264 VATRI DRIVE	3 BEDROOM TOWNHOME	1,915
		6266 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6268 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6270 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6272 VATRI DRIVE	2 BEDROOM TOWNHOME	1,482
		6274 VATRI DRIVE	3 BEDROOM TOWNHOME	1,915
4	B	5296 BELGRADO DRIVE	3 BEDROOM TOWNHOME	1,915
		5302 BELGRADO DRIVE	2 BEDROOM TOWNHOME	1,482
		5308 BELGRADO DRIVE	2 BEDROOM TOWNHOME	1,482
		5314 BELGRADO DRIVE	2 BEDROOM TOWNHOME	1,482
		5320 BELGRADO DRIVE	2 BEDROOM TOWNHOME	1,482
		5326 BELGRADO DRIVE	3 BEDROOM TOWNHOME	1,915

RESIDENTIAL BUILDING ADDRESS				
BUILDING NO.	BLDG TYPE	BUILDING ADDRESS	UNIT TYPE	GROSS SF
5	C	5287 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5293 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5299 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5305 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5311 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5317 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5323 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
	C	5329 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5286 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5292 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5298 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5304 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5310 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5316 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
	C	5322 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5328 VALERIE ANGELA WAY	2 BEDROOM TOWNHOME	1,482
		5289 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5295 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5301 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5307 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5313 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
	C	5319 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5325 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5331 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5288 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5294 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5300 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5306 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
8	C	5312 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5318 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5324 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482
		5330 VICTORIA LEIGH LANE	2 BEDROOM TOWNHOME	1,482

UNIT INFORMATION			
TOTAL NO. OF UNITS:	88	TOTAL NUMBER OF UNIT TYPE(S):	2
TWO-BEDROOM TOWNHOME:	74	THREE-BEDROOM TOWNHOME:	14
		TOTAL NUMBER OF BEDROOMS:	190

RESIDENTIAL BUILDING ADDRESS				
BUILDING NO.	BLDG TYPE	BUILDING ADDRESS	UNIT TYPE	GROSS SF
9	B	5297 AMALFI DRIVE	3 BEDROOM TOWNHOME	1,915
		5303 AMALFI DRIVE	N/A - LEASING OFFICE	1,482
		5309 AMALFI DRIVE	2 BEDROOM TOWNHOME	1,482
		5315 AMALFI DRIVE	2 BEDROOM TOWNHOME	1,482
		5321 AMALFI DRIVE	2 BEDROOM TOWNHOME	1,482
10	A	5327 AMALFI DRIVE	3 BEDROOM TOWNHOME	1,915
		6309 VINCENT GEORGE DRIVE	3 BEDROOM TOWNHOME	1,915
		6311 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6313 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6315 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6317 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6319 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
11	A	6321 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6323 VINCENT GEORGE DRIVE	3 BEDROOM TOWNHOME	1,915
		6285 VINCENT GEORGE DRIVE	3 BEDROOM TOWNHOME	1,915
		6287 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6289 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6291 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6293 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
12	D	6295 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6297 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6299 VINCENT GEORGE DRIVE	3 BEDROOM TOWNHOME	1,915
		6265 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6267 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6269 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6271 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
12	D	6273 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
		6275 VINCENT GEORGE DRIVE	2 BEDROOM TOWNHOME	1,482
NON-RESIDENTIAL BUILDING ADDRESS				
BUILDING NO.		BUILDING ADDRESS	BUILDING TYPE	GROSS SF
13		N/A	MAINTENANCE SHED (EXIST.)	N.I.C.

DRAWING TITLE:	
SITE & BUILDING INFORMATION	
	10/31/2025
	25036
	G002
	BID / PERMIT SET



GENERAL LANDSCAPE NOTES:

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN. ALL AREA BETWEEN BUILDING AND CURB TO BE SOD. ALL REMAINING AREA ON NORTH AND EAST SIDE OF DRIVE & FIRE LANE TO BE SEED.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

CONSTRUCTION NOTES:

- PLACE FENCE ALONG PROPERTY LINE TO LIMITS SHOWN.
- EXISTING CONCRETE PAD. INSTALL NEW FENCE ON (3) SIDES SO OPENING OF BULK PICK-UP FACES SOUTH AS INDICATED.
- END NEW FENCE AT SAME LOCATION AS EXISTING. VERIFY AND MARK PRIOR TO REMOVAL OF EXISTING FENCE.

LEGEND

PROPOSED PRIVACY FENCE - 6' HGT.
SEE DETAIL #5/L1.03

EDGE

330 W. Spring Street, Suite 350
Columbus, OH 43215
614.466.3343
www.edgela.com

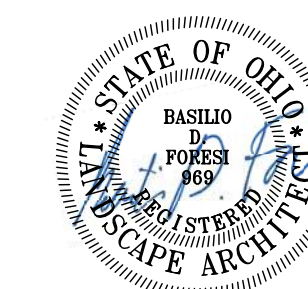
#	DATE	CHANGE DESCRIPTION
1	11/18/2025	ADDENDUM NO. 1
2	12/10/2025	ADDENDUM NO. 2

CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
COMMUNITY. COMMITMENT. COLLABORATION.
5300 ANALF DRIVE
CANAL WINCHESTER, OH 43110
for
CMHA

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

DRAWING TITLE:

OVERALL SITE PLAN

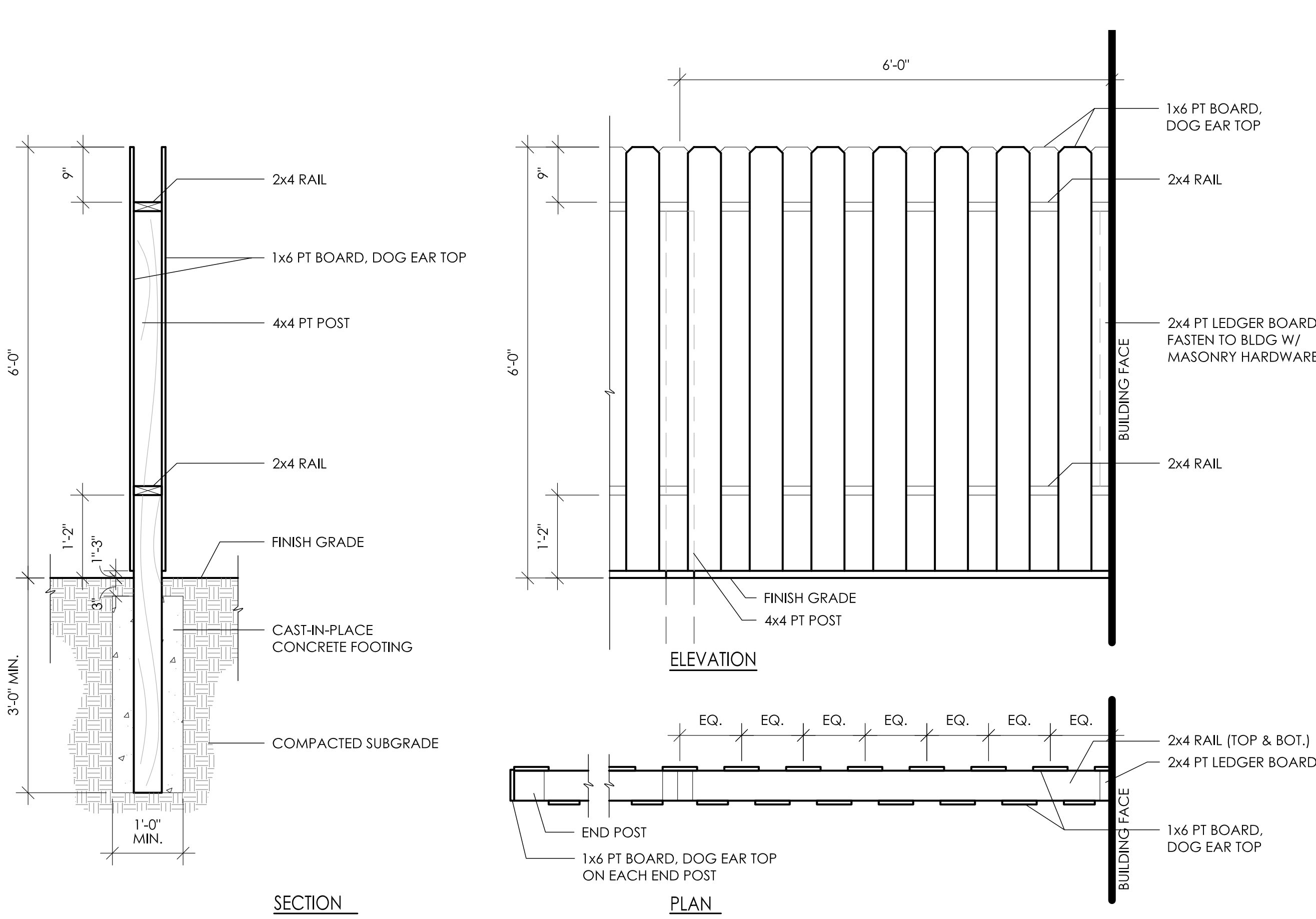


10/31/2025

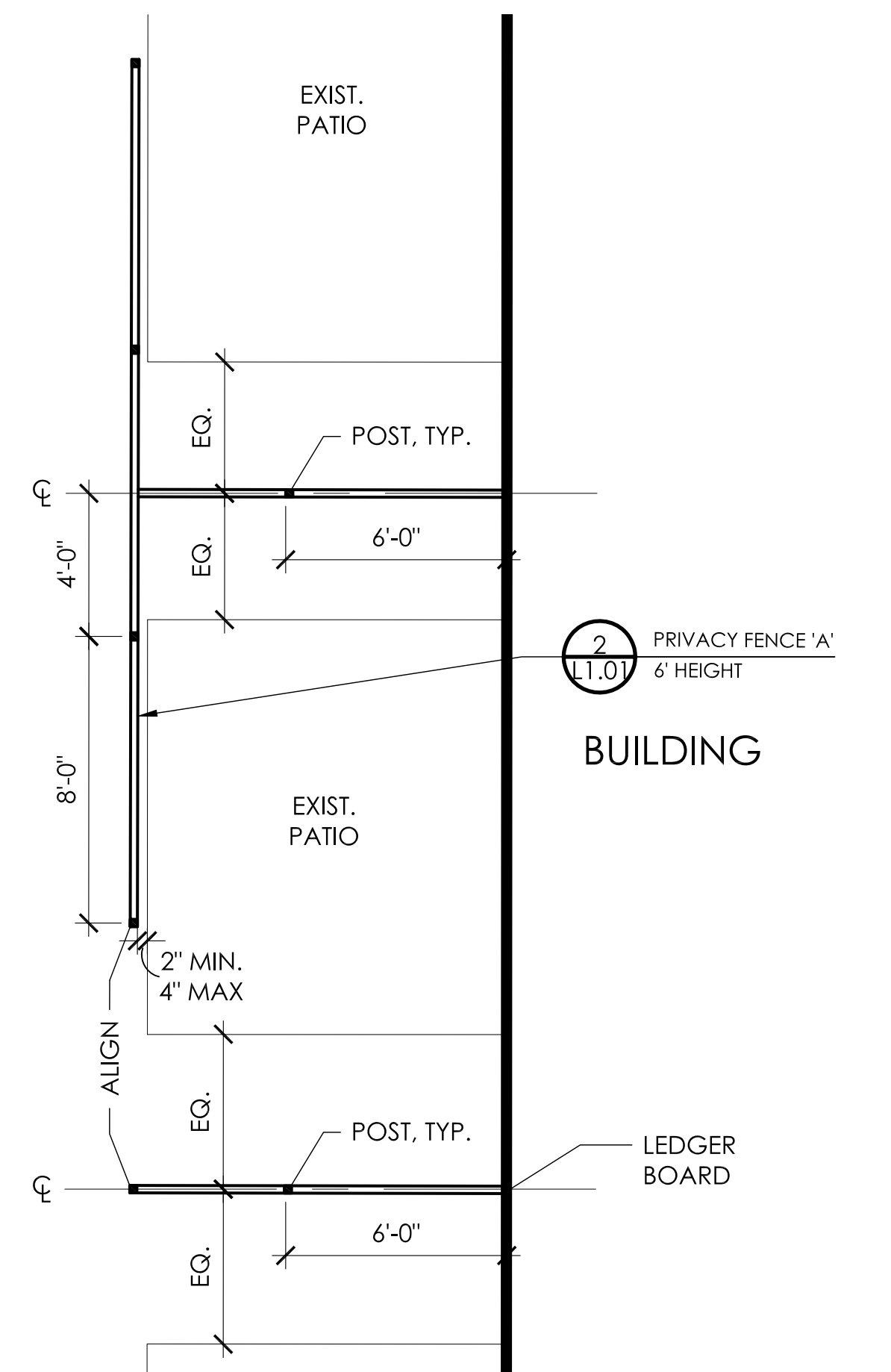
25036

L1.01

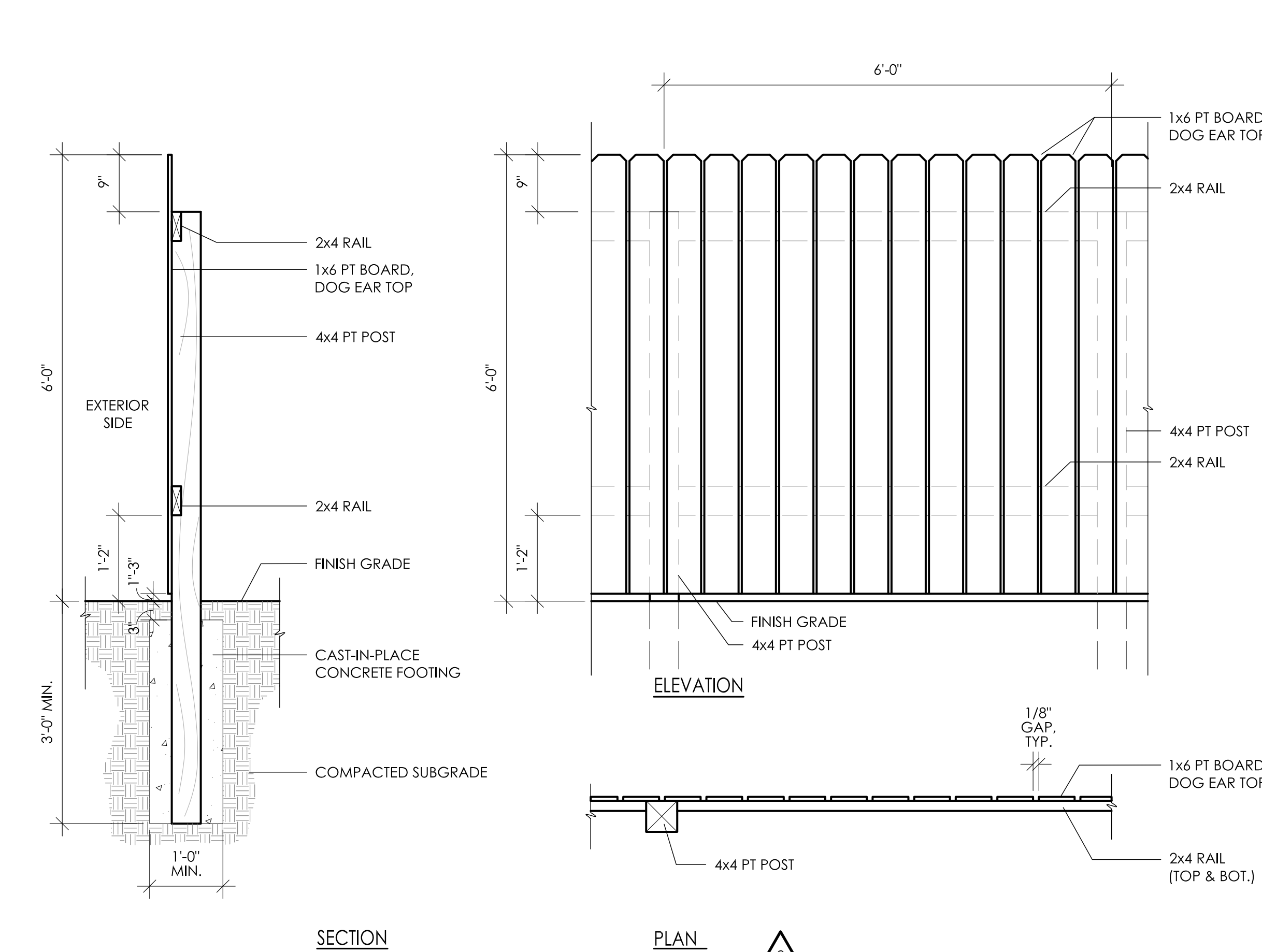
BID / PERMIT SET



2 PRIVACY FENCE 'A' - 6' HGT. (AT RESIDENTIAL UNITS ONLY)
NTS



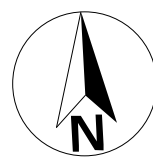
3 PRIVACY FENCE 'A' - TYPICAL LAYOUT PLAN
Scale: 1/4" = 1'-0"



4 PRIVACY FENCE 'B' - 6' HGT. (AT NORTH & SOUTH PROPERTY LINE & BULK PICK-UP ONLY)
NTS



1 ARCHITECTURAL SITE PLAN- REVISED
1" = 50'-0"



GENERAL NOTES - SITE PLAN

- REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- FIELD VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS BEFORE PROCEEDING WITH WORK.
- DAMAGED CONCRETE WALKS, SIDEWALKS, AND CURBS AT SITE SHALL BE REPLACED WHERE NOTED ON SITE PLAN. CONCRETE SHALL BE REPLACED WHERE NOTED.
- THE METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF COLUMBUS CONSTRUCTION AND MATERIALS SPECIFICATIONS AND THE CITY OF COLUMBUS "RULES AND REGULATIONS FOR MAKING OPENINGS IN THE PUBLIC WAY."
- ALL MAINTENANCE OF TRAFFIC IN ASSOCIATION WITH THIS PROJECT SHALL BE IN CONFORMANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THAT APPROPRIATE PERMITS SHALL BE OBTAINED FOR ANY LANE CLOSURES OR SIDEWALK CLOSURES.
- MILL/OVERLAY ASPHALT DRIVE AND PARKING AREAS AND RE-STRIPE THE PARKING STALLS. REFER TO CIVIL ENGINEERING DRAWINGS FOR SCOPE OF WORK.
- WATER SERVICE PLAN (WSP) TO BE IN ACCORDANCE WITH THE CITY OF COLUMBUS REQUIREMENTS.
- EXISTING TREES (NOT SHOWN ON ARCHITECTURAL SITE PLAN) ARE TO BE MAINTAINED, U.N.O. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- RESEED ALL GRASS AREAS DISRUPTED BY ANY AND ALL CONSTRUCTION.
- ALL DISTURBED EXISTING LANDSCAPE AREAS SHOULD BE RE-SEED WITH NATIVE GROUNDCOVER PLANTS AND MULCH.
- ANY NEW EXTERIOR SITE BUILDING SIGNAGE WILL BE EASY TO READ WITH HIGH CONTRAST LETTERS/ NUMBERS AND BACKGROUND.

CODED NOTES LEGEND - SITE PLAN

- NEW MONUMENT SIGN. FINAL DETAILING BY SIGN COMPANY HIRED BY OWNER OR CONTRACTOR. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW HOT BOX WITH BACK FLOW PREVENTER. SEE CIVIL DRAWINGS PERMITTED SEPARATELY AND WAS APPROVED BY CITY OF COLUMBUS. AP#P 25345-00038, 3/25/2025.
- EXISTING LEASING OFFICE TO REMAIN AT 5303 AMALFI DRIVE. NEW ACCESSIBLE PARKING AND PATH TO LEASING OFFICE WITH NEW CROSSEVER STRIPING. MAINTAIN PROPER ACCESSIBILITY CLEARANCES AS REQUIRED. REFER TO CIVIL AND SITE DRAWINGS.
- EXISTING MAIL KIOSK LOCATION TO REMAIN. ALTERNATE 1: NEW PREFABRICATED CANOPY FOR MAILBOX KIOSK. VENDOR TO PROVIDE CRITERIA DESIGN & SHOP DRAWINGS. SHOP DRAWINGS PROVIDED BY CONTRACTOR WILL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- EXISTING PAVEMENT - VERIFY LIMITS OF PAVEMENT SEALING AND MILL & OVERLAY WORK. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE AND REPLACE EXISTING PERIMETER PRIVACY FENCING WITH NEW SITE PERIMETER PRIVACY FENCING ALONG NORTH SIDE. ADD NEW PERIMETER PRIVACY FENCING ALONG THE SOUTH SIDE. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING BULK TRASH LOCATION TO REMAIN. NEW CONCRETE PAD AND FENCING AT EXISTING BULK PICK UP AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING MAINTENANCE SHED TO REMAIN.
- EXISTING PLAY AREA LOCATION AND EQUIPMENT TO REMAIN.
- EXISTING TRASH COMPACTOR LOCATION TO REMAIN. NEW TRASH COMPACTOR FENCING. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING UNIT CONCRETE PATIO TO REMAIN. TYPICAL.
- NEW UNIT FENCING AT PATIO. TYPICAL. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- REPAIR AND PAINT EXISTING SPEED BUMPS. TYPICAL. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW SIDEWALK RAMP TO LEASING OFFICE. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING FLOODWAY (FEMA). SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING 100-YEAR FLOODPLAIN (FEMA). SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROPERTY LINE.
- EXISTING RETAINING WALL.
- EXISTING SPLIT RAIL FENCE TO REMAIN. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2




CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
3303 AMALFI DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA



Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO:
00197475

DRAWING TITLE:
ARCHITECTURAL SITE PLAN



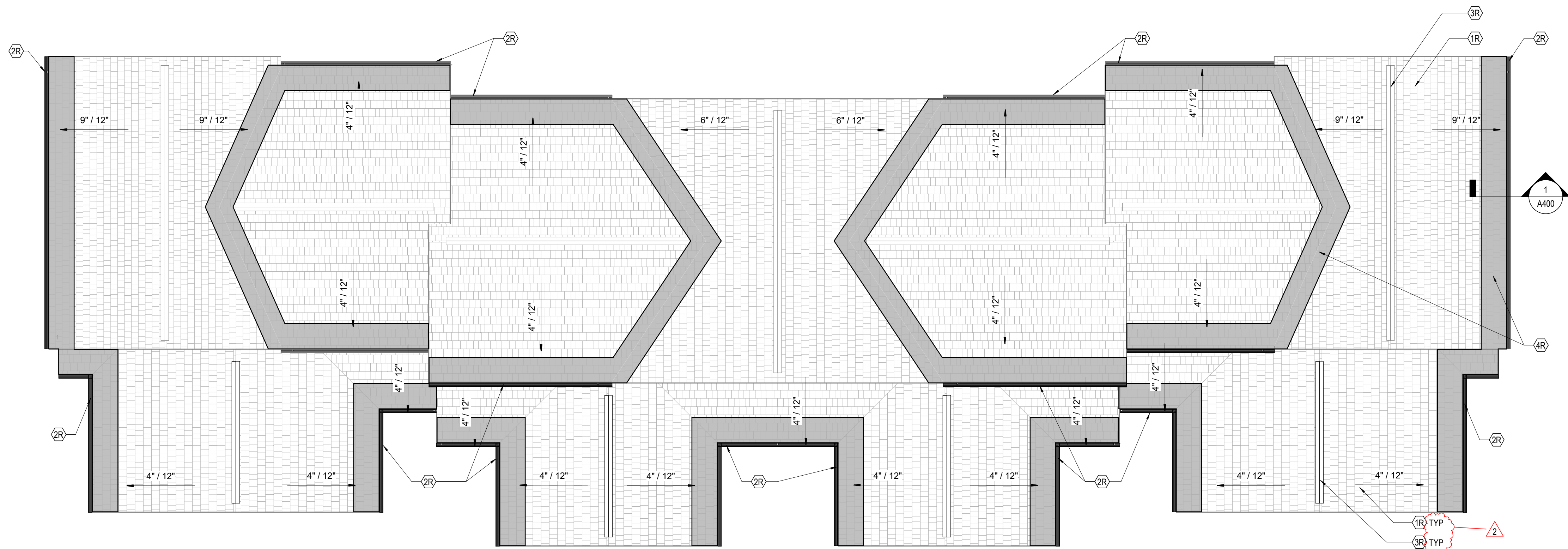
JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

10/31/2025

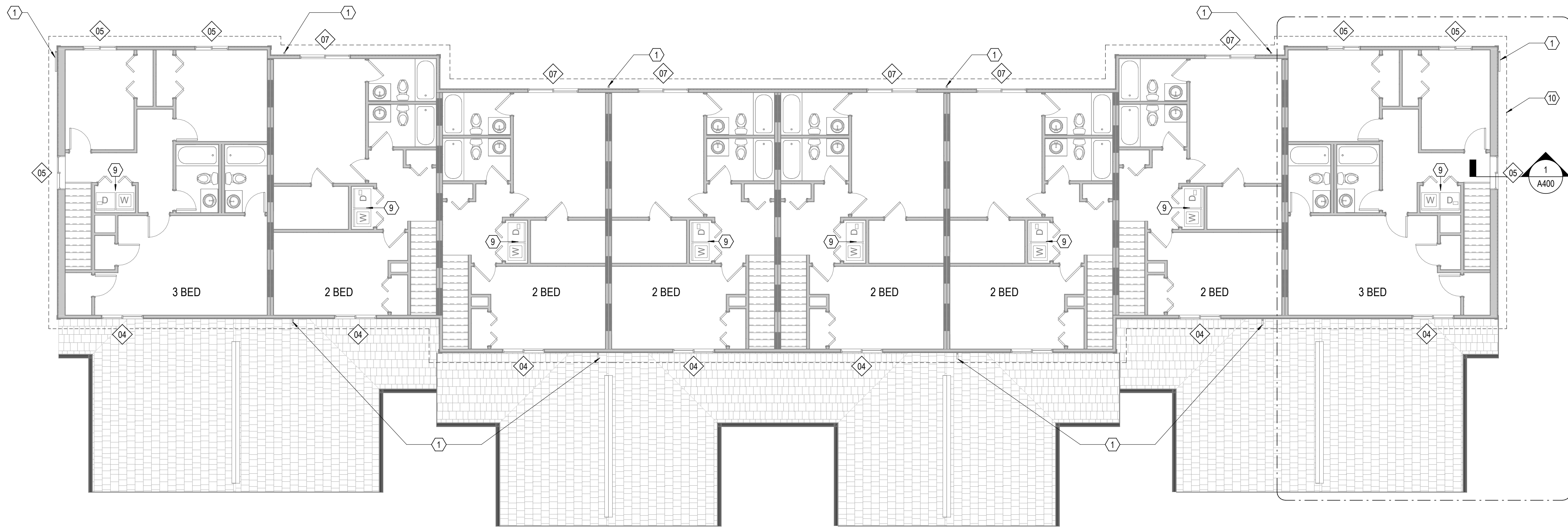
25036

A001

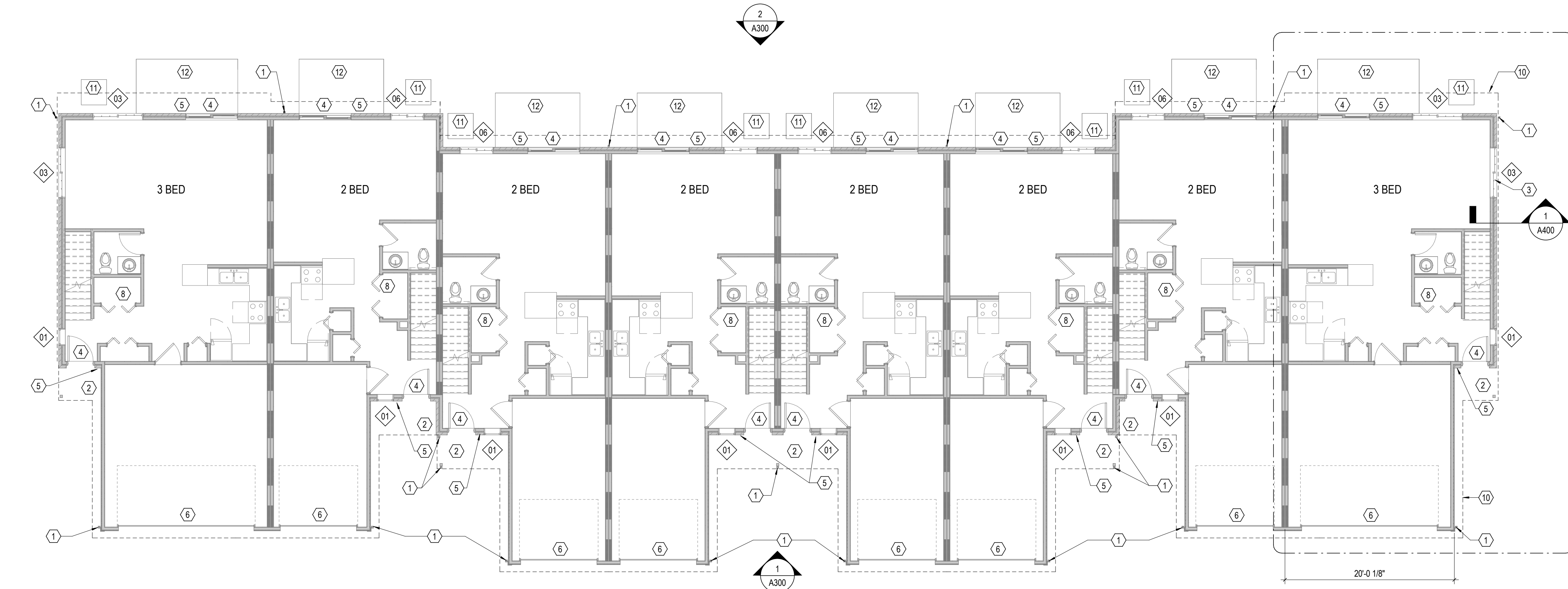
BID / PERMIT SET



3 PLAN ROOF - BLDG TYPE A (BLDG #1, 2, 10 & 11)
1/8" = 1'-0"



2 PLAN LEVEL 02 - 3-BEDROOM UNIT (TYPICAL)
1/8" = 1'-0"



1 PLAN LEVEL 01 - BLDG TYPE A (BLDG #1, 2, 10 & 11)
1/8" = 1'-0"

- GENERAL NOTES - FLOOR PLAN DEMOLITION**
- THE FOLLOWING GENERAL NOTES APPLY TO ALL RESIDENTIAL BUILDINGS (12 BUILDINGS), U.N.O.
 - REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
 - CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS.
 - ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
 - AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING SIDING, ASSOCIATED TRIM AND PREPARE FOR INSTALLATION OF NEW VINYL SIDING SYSTEM.
 - AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING WINDOWS AND PREPARE FOR INSTALLATION OF NEW WINDOW.
 - DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - REMOVE EXISTING WINDOW TREATMENTS AT ALL BUILDINGS.

- GENERAL NOTES - FLOOR PLAN**
- CONTRACTOR TO VISIT SITE PRIOR TO PROVIDING BID FOR WORK.
 - THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EXTERIOR CONSTRUCTION DOCUMENT PHOTOGRAPHS & SPECIFICATIONS INCLUDED IN PROJECT MANUAL. THE EXTERIOR PHOTOGRAPHS AND NOTES ILLUSTRATE THE SCOPE OF WORK REQUIRED FOR THE EXTERIOR OF THE BUILDING ALONG WITH NOTES & DETAILS INCLUDED IN THE DRAWINGS. SEE EXTERIOR ELEVATIONS FOR EXTENT OF EXTERIOR WORK AT BUILDINGS.
 - THE FOLLOWING GENERAL NOTES APPLY TO ALL RESIDENTIAL BUILDINGS (12 BUILDINGS), U.N.O.
 - ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF THE STRUCTURE. ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM BOARD SHEATHING, U.N.O. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.
 - REFER TO SPECIFICATIONS FOR UNIT PRICE INFORMATION.
 - ALL CONSTRUCTION TO OCCUR IN OCCUPIED UNITS.
 - NEW WORK INSTALLED INVOLVES DEMOLITION AND REMOVAL OF ALL EXISTING LIKE MATERIALS NECESSARY FOR THE INSTALLATION OF NEW WORK, U.N.O., INCLUDING BUT NOT LIMITED TO WINDOWS, SIDING, ETC.
 - SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION. WORK IS TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR.
 - SEE MEP DRAWINGS FOR NEW PIPE PENETRATIONS THROUGH ROOF SYSTEM AND WORK IN ATTIC SPACE. CONTRACTOR TO FLASH AND SEAL ALL PENETRATIONS PER MFR RECOMMENDATIONS. ROOF PENETRATIONS NOT SHOWN ON DRAWINGS.
 - INTEGRITY OF EXISTING FIRE SEPARATION WALLS IS TO BE MAINTAINED DURING CONSTRUCTION. ALL NEW PENETRATIONS THROUGH FLOOR/CEILING ASSEMBLY AT UNITS ARE TO BE FIRESTOPPED. SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
 - ALL EXISTING UNIT ENTRY DOORS AND FRAMES (FRONT AND REAR) TO REMAIN, U.N.O. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - ALL EXISTING WINDOW SYSTEMS ARE TO BE REPLACED AT ALL RESIDENTIAL BUILDINGS, U.N.O. REPLACE WITH NEW WINDOW SYSTEM PER SPECS AND DETAILS. CALC. STRIP ALL WINDOW INSTALLATIONS.
 - NEW WINDOW TREATMENTS (BLINDS & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
 - CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, AND CONDENSATE LINE.
 - SEAL ALL ACCESSIBLE CRACKS, GAPS AND HOLES BUILDING ENVELOPE. SEAL ALL WALL, FLOOR & JOINT PENETRATIONS CREATED BY PLUMBING, GAS LINES, ELECTRICAL BOXES & OUTLETS, ETC. W/ LOW VOC CAULKING. ALL HOLES INTO STUD & JOIST CAVITIES MUST BE SEALED.

- CODED NOTES LEGEND - FLOOR PLAN**
- NEW GUTTERS, DOWNSPOUTS AND SOFFITS ON ALL RESIDENTIAL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS, TYP.
 - EXISTING COVERED ENTRY WITH CONCRETE SLAB ON GRADE TO REMAIN.
 - NEW VINYL WINDOW SYSTEM AT ALL RESIDENTIAL BUILDINGS OF THE SAME SIZE AND OPERATION, TYP. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. SEE ELEVATIONS AND SPECIFICATIONS.
 - EXISTING ENTRY DOOR (FRONT AND REAR) TO REMAIN, CLEAN AND PREP. SURFACE TO RECEIVE NEW PAINT. PAINT DOOR AND ALL ASSOCIATED TRIM.
 - NEW EXTERIOR LIGHT FIXTURE IN ORIGINAL LOCATION, U.N.O.
 - GARAGE DOORS AND FRAMES AT ALL RESIDENTIAL BUILDINGS TO REMAIN, U.N.O. PAINT DOORS AND FRAME, TYP.
 - NOT USED.
 - EXISTING MECHANICAL ROOM. REFER TO MEP DRAWINGS FOR WORK IN MECHANICAL ROOMS.
 - LOCATION OF EXISTING WASHER/ DRYER HOOKUP. EQUIPMENT PROVIDED BY TENANT. CLEAN DRYER VENTS, TYP.
 - LINE OF CEILING STRUCTURE ABOVE, TYPICAL.
 - REPLACE EXISTING CONCRETE PAD FOR NEW CONDENSING UNIT, REFER MECH DRAWINGS FOR INFORMATION.
 - EXISTING PATIO WITH CONCRETE SLAB ON GRADE, TYPICAL.

- GENERAL NOTES - ROOF PLAN**
- AT ALL RESIDENTIAL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM IN ITS ENTIRETY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE BUT NOT LIMITED TO SHINGLES, UNDERLAYMENT, DRIP EDGES, AND ALL RELATED DEVICES AND MATERIALS TO SECURE ROOFING, RIDGE VENTS AND OR HAT VENTS. GUTTERS AND DOWNSPOUTS, SOFFITS AND TRIM. INSTALL NEW ASPHALT SHINGLE ROOF SYSTEM UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING. REPLACE ANY DETERIORATED SHEATHING. PROVIDE NEW FLASHING, FASCIA, RIDGE VENT SYSTEM AND ASSOCIATED TRIM. MAINTAIN AND PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS AS REQUIRED.

- CODED NOTES - ROOF PLAN**
- NEW ASPHALT SHINGLE ROOF SYSTEM, INCLUDING NEW RIDGE VENTS, HAT VENTS AND FLUES.
 - NEW GUTTERS AND DOWNSPOUTS.
 - NEW RIDGE VENT SYSTEM, TYP.
 - SOLID LIGHT GRAY HATCH DENOTES LOCATION OF ICE AND WATER BARRIER. ICE AND WATER BARRIER EXTEND FROM EDGE OF ROOF TO AT LEAST 24" INSIDE OF EXTERIOR WALL LINE OF BUILDING AND 3' WIDE AT ROOF VALLEY LOCATIONS, TYP.

#	DATE	CHANGE DESCRIPTION
1	11/18/2025	ADDENDUM NO. 1
2	12/10/2025	ADDENDUM NO. 2

CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
3303 CANAL FLY DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO: 00197475

DRAWING TITLE:
OVERALL PLANS - BLDG TYPE A

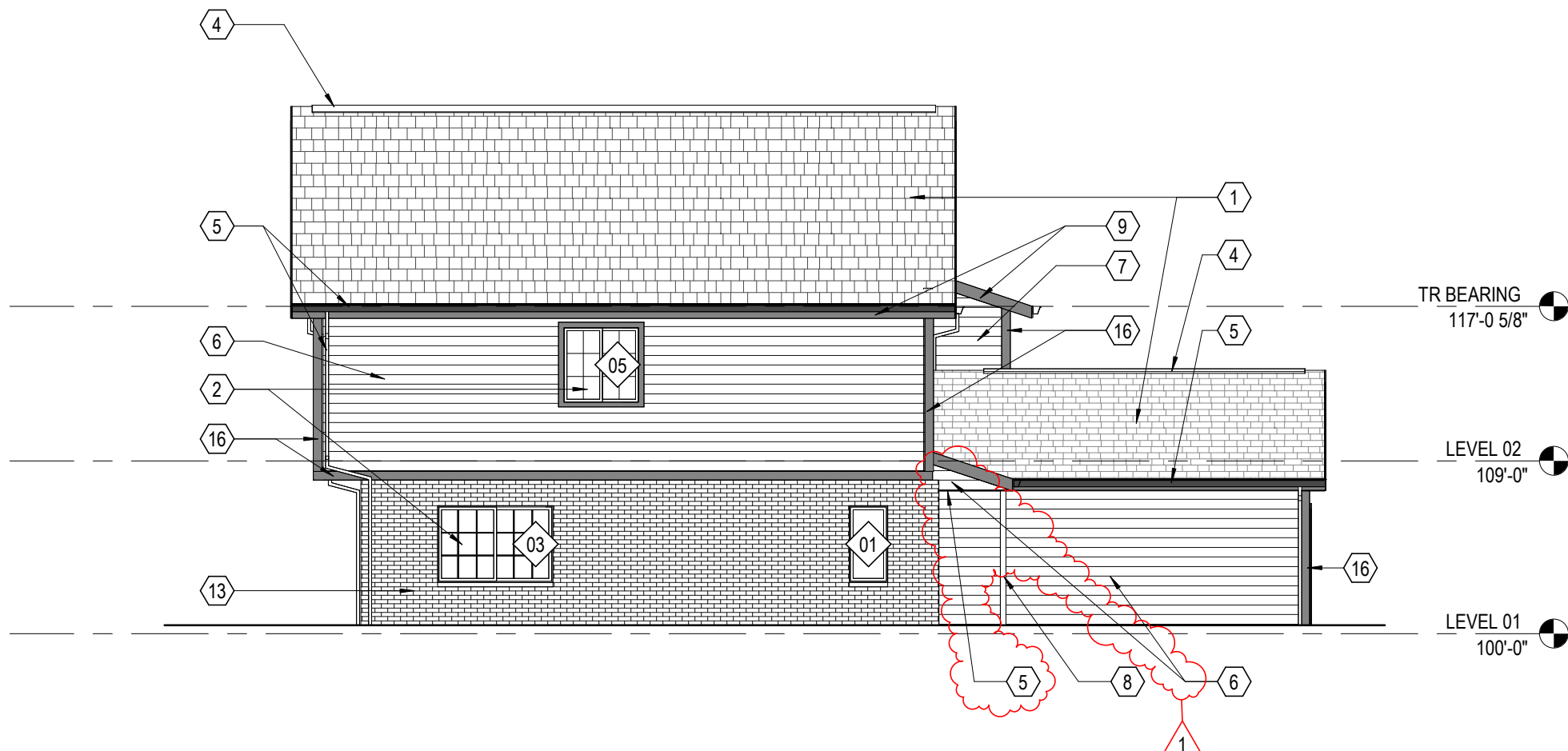
JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

10/31/2025

25036

A100

BID / PERMIT SET



5 ELEVATION BLDG TYPE A (BLDG #1, 2, 10 & 11) SIDE
1/8" = 1'-0"



2 ELEVATION BLDG TYPE A (BLDG #1, 2, 10 & 11) REAR
1/8" = 1'-0"



1 ELEVATION BLDG TYPE A (BLDG #1, 2, 10 & 11) FRONT
1/8" = 1'-0"

GENERAL NOTES - ROOF DEMOLITION

- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM.
- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING RIDGE VENTS AND/ OR HAT VENTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- MAINTAIN & PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- EXISTING SHINGLE ROOF SYSTEM IS TO BE REMOVED COMPLETELY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE SHINGLES, UNDERLAYMENT, RIP EDGES, AND ALL RELATED DEVICES AND MATERIALS USED TO SECURE ROOFING.
- UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING.


GENERAL NOTES - EXTERIOR ELEVATIONS

- AT BUILDINGS, CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES, ETC. FIELD VERIFY EXACT LOCATIONS IN THE FIELD.
- CLEAN, PREP, AND PAINT ALL EXPOSED UNTELS AT DOORS AND WINDOWS ON MASONRY WALLS BEFORE INSTALLATION OF NEW WINDOW OR DOOR SYSTEM.

CODED NOTES - EXTERIOR ELEVATIONS

- REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, FASCIA, GUTTERS AND ASSOCIATED TRIM.
- NEW VINYL WINDOW SYSTEM. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS. TYP.
- ALL EXTERIOR HM DOORS AND FRAMES TO BE PAINTED.
- NEW RIDGE VENT SYSTEM. TYP.
- NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - GUTTER COLOR - BLACK TO MATCH FASCIA.
 - DOWNSPOUT COLOR - WHITE TO MATCH SIDING.
- NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- NEW BOARD AND BATTEN VERTICAL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT ON ALL WOOD COLUMNS AT PORCH. PAINT. **1**
- NEW ALUMINUM CLAD FASCIA - COLOR: BLACK. TYP.
- NEW VINYL LOUVER. SIZE AND LOCATION TO MATCH EXISTING - COLOR: BLACK.
- EXISTING GARAGE DOOR TO REMAIN. PAINT. REPLACE JAMB TRIMS. PAINT.
- NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS, NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER. TYPICAL ALL BUILDINGS.
- EXISTING BRICK MASONRY TO REMAIN. CLEAN WHERE SHOWN ON DRAWINGS OR IN PHOTOGRAPHS. TYP.
- EXISTING VINYL SLIDING DOOR TO REMAIN. TYP.
- REPLACE EXISTING FABRIC AWNING AND METAL FRAMING. MATCH EXISTING.
- NEW VINYL TRIM BY VINYL SIDING MFR. TYP. - COLOR: BLACK.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2



**CMHA CANAL'S EDGE
RENOVATION**
COLUMBUS METROPOLITAN
HOUSING AUTHORITY
3303 CANAL FLY DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA



Moody Nolan

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO:
00197475

DRAWING TITLE:

EXTERIOR ELEVATIONS - BLDG TYPE A



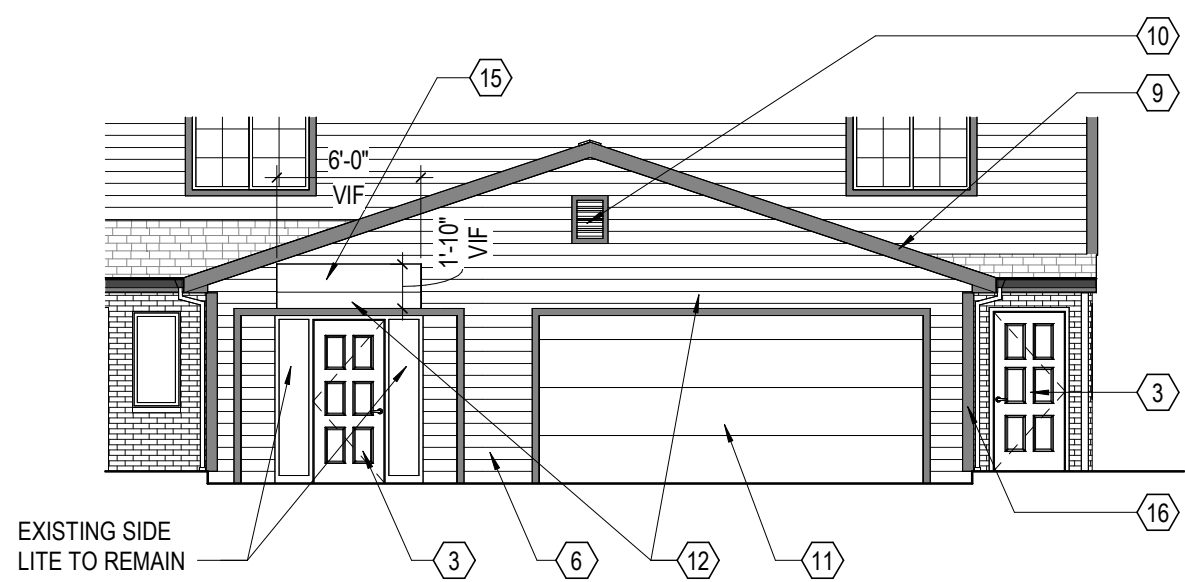
JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

10/31/2025

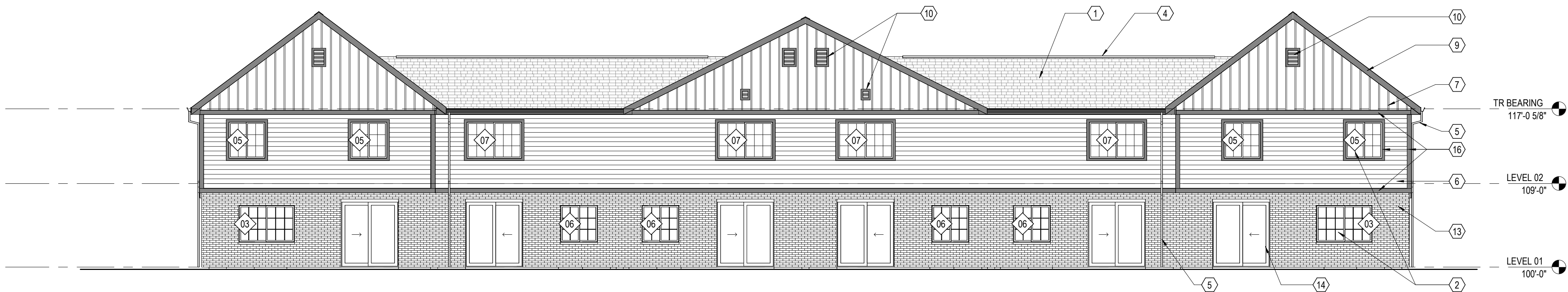
25036

A300

BID / PERMIT SET



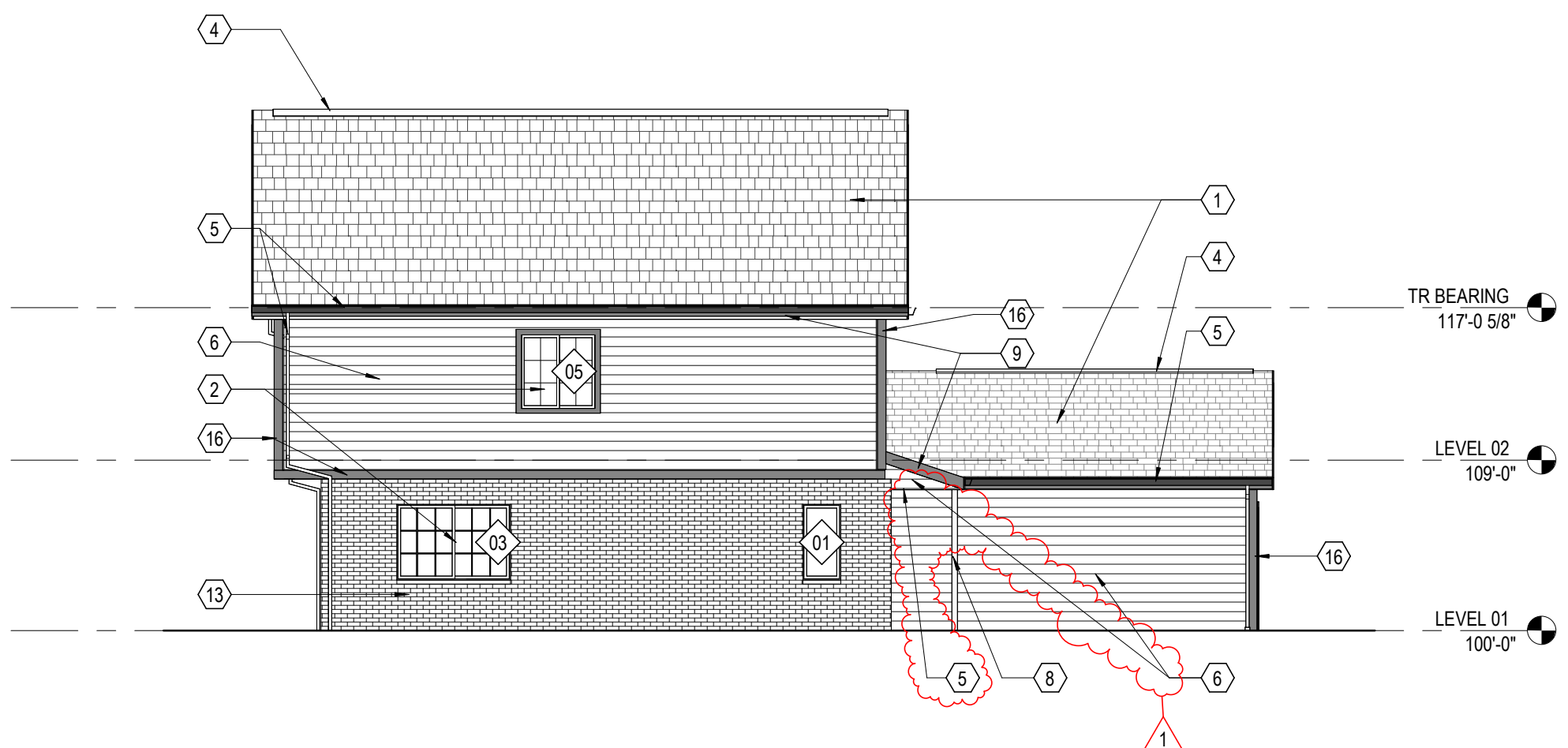
4 ELEVATION BLDG #9 - LEASEING OFFICE AT 5303 AMALFI DR
1/8" = 1'-0"



2 ELEVATION BLDG TYPE B (BDLG #3, 4 & 9) REAR
1/8" = 1'-0"



1 ELEVATION BLDG TYPE B (BDLG #3, 4 & 9) FRONT
1/8" = 1'-0"



5 ELEVATION BLDG TYPE B (BDLG #3, 4 & 9) SIDE
1/8" = 1'-0"

GENERAL NOTES - ROOF DEMOLITION

- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM.
- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING RIDGE VENTS AND/OR HAT VENTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- MAINTAIN & PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- EXISTING SHINGLE ROOF SYSTEM IS TO BE REMOVED COMPLETELY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE SHINGLES, UNDERLAYMENT, RIP EDGES, AND ALL RELATED DEVICES AND MATERIALS USED TO SECURE ROOFING.
- UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING.

GENERAL NOTES - EXTERIOR ELEVATIONS

- AT BUILDINGS, CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES ETC. FIELD VERIFY EXACT LOCATIONS IN THE FIELD.
- CLEAN, PREP AND PAINT ALL EXPOSED UNTELS AT DOORS AND WINDOWS ON MASONRY WALLS BEFORE INSTALLATION OF NEW WINDOW OR DOOR SYSTEM.

CODED NOTES - EXTERIOR ELEVATIONS

- REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, FASCIA, GUTTERS AND ASSOCIATED TRIM.
- NEW VINYL WINDOW SYSTEM. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS. TYP.
- ALL EXTERIOR HM DOORS AND FRAMES TO BE PAINTED.
- NEW RIDGE VENT SYSTEM. TYP.
- NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - GUTTER COLOR - BLACK TO MATCH FASCIA.
 - DOWNSPOUT COLOR - WHITE TO MATCH SIDING.
- NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- NEW BOARD AND BATTEN VERTICAL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT ON ALL WOOD COLUMNS AT PORCH. PAINT. TYP.
- NEW ALUMINUM CLAD FASCIA - COLOR: BLACK. TYP.
- NEW VINYL LOUVER. SIZE AND LOCATION TO MATCH EXISTING. - COLOR: BLACK.
- EXISTING GARAGE DOOR TO REMAIN. PAINT. REPLACE JAMB TRIMS. PAINT.
- NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS, NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER. TYPICAL ALL BUILDINGS.
- EXISTING BRICK MASONRY TO REMAIN. CLEAN WHERE SHOWN ON DRAWINGS OR IN PHOTOGRAPHS. TYP.
- EXISTING VINYL SLIDING DOOR TO REMAIN. TYP.
- REPLACE EXISTING FABRIC AWNING AND METAL FRAMING. MATCH EXISTING.
- NEW VINYL TRIM BY VINYL SIDING MFR. TYP. - COLOR: BLACK.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2

CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
3303 AMALFI DRIVE
CANAL WINCHESTER, OH 43210
FOR
CMHA

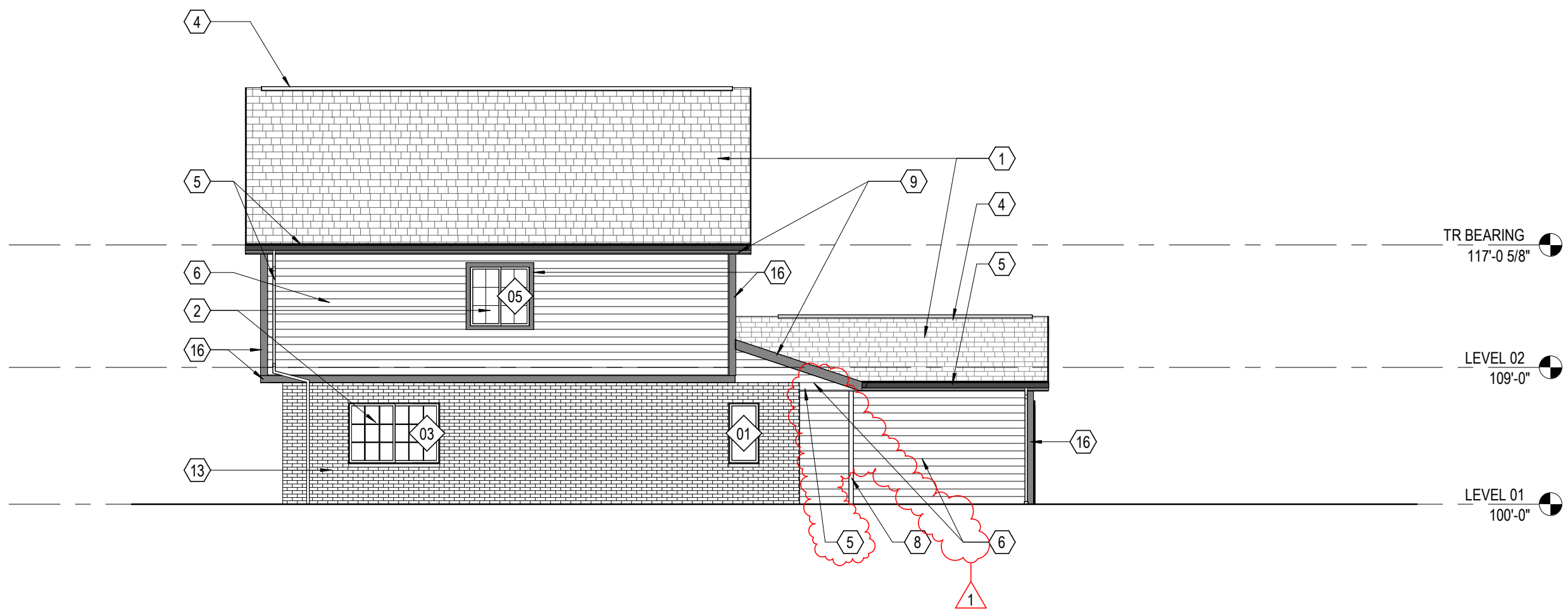
Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO: 00197475

DRAWING TITLE:

EXTERIOR ELEVATIONS - BLDG TYPE B

STATE OF OHIO
JAY W. BOONE
REGISTERED ARCHITECT
10740
JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

10/31/2025
25036
A301
BID / PERMIT SET



3 ELEVATION BLDG TYPE C (BLDG #5, 6, 7 & 8) SIDE
1/8" = 1'-0"



2 ELEVATION BLDG TYPE C (BLDG #5, 6, 7 & 8) REAR
1/8" = 1'-0"



1 ELEVATION BLDG TYPE C (BLDG #5, 6, 7 & 8) FRONT
1/8" = 1'-0"

GENERAL NOTES - ROOF DEMOLITION

- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM.
- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING RIDGE VENTS AND/ OR HAT VENTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- MAINTAIN & PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- EXISTING SHINGLE ROOF SYSTEM IS TO BE REMOVED COMPLETELY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE SHINGLES, UNDERLAYMENT, RIP EDGES, AND ALL RELATED DEVICES AND MATERIALS USED TO SECURE ROOFING.
- UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING.


GENERAL NOTES - EXTERIOR ELEVATIONS

- AT BUILDINGS, CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES ETC. FIELD VERIFY EXACT LOCATIONS IN THE FIELD.
- CLEAN, PREP AND PAINT ALL EXPOSED UNTELS AT DOORS AND WINDOWS ON MASONRY WALLS BEFORE INSTALLATION OF NEW WINDOW OR DOOR SYSTEM.

CODED NOTES - EXTERIOR ELEVATIONS

- REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, FASCIA, GUTTERS AND ASSOCIATED TRIM.
- NEW VINYL WINDOW SYSTEM. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS. TYP.
- ALL EXTERIOR HM DOORS AND FRAMES TO BE PAINTED.
- NEW RIDGE VENT SYSTEM. TYP.
- NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - GUTTER COLOR - BLACK TO MATCH FASCIA.
 - DOWNSPOUT COLOR - WHITE TO MATCH SIDING.
- NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- NEW BOARD AND BATTEN VERTICAL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT ON ALL WOOD COLUMNS AT PORCH. PAINT. TYP.
- NEW ALUMINUM CLAD FASCIA - COLOR: BLACK. TYP.
- NEW VINYL LOUVER. SIZE AND LOCATION TO MATCH EXISTING. - COLOR: BLACK.
- EXISTING GARAGE DOOR TO REMAIN. PAINT. REPLACE JAMB TRIMS. PAINT.
- NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS, NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER. TYPICAL ALL BUILDINGS.
- EXISTING BRICK MASONRY TO REMAIN. CLEAN WHERE SHOWN ON DRAWINGS OR IN PHOTOGRAPHS. TYP.
- EXISTING VINYL SLIDING DOOR TO REMAIN. TYP.
- REPLACE EXISTING FABRIC AWNING AND METAL FRAMING. MATCH EXISTING.
- NEW VINYL TRIM BY VINYL SIDING MFR. TYP. - COLOR: BLACK.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2



CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
3303 CANAL EY DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA



Moody Nolan

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO: 00197475

DRAWING TITLE:

EXTERIOR ELEVATIONS - BLDG TYPE C



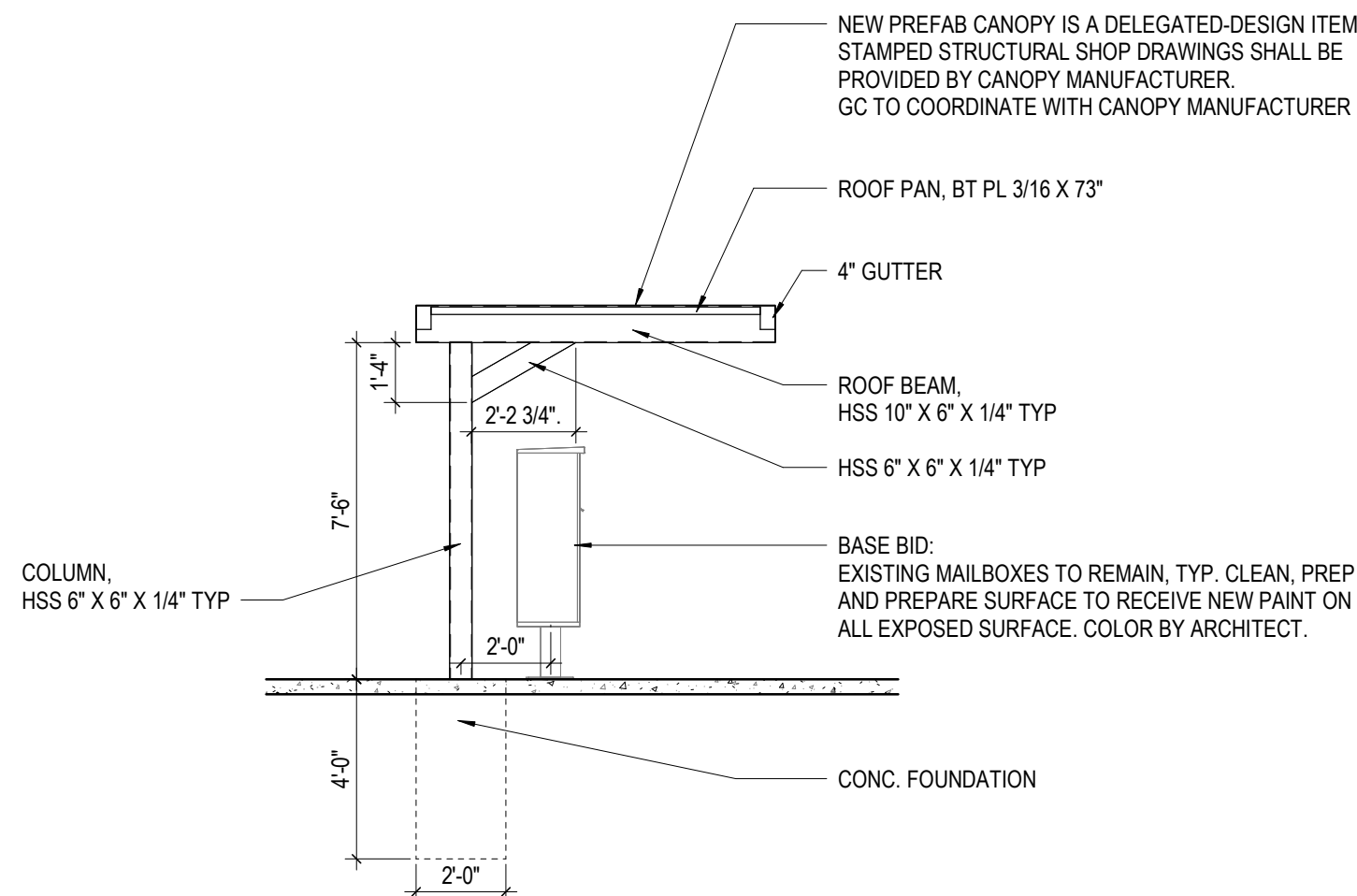
JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

10/31/2025

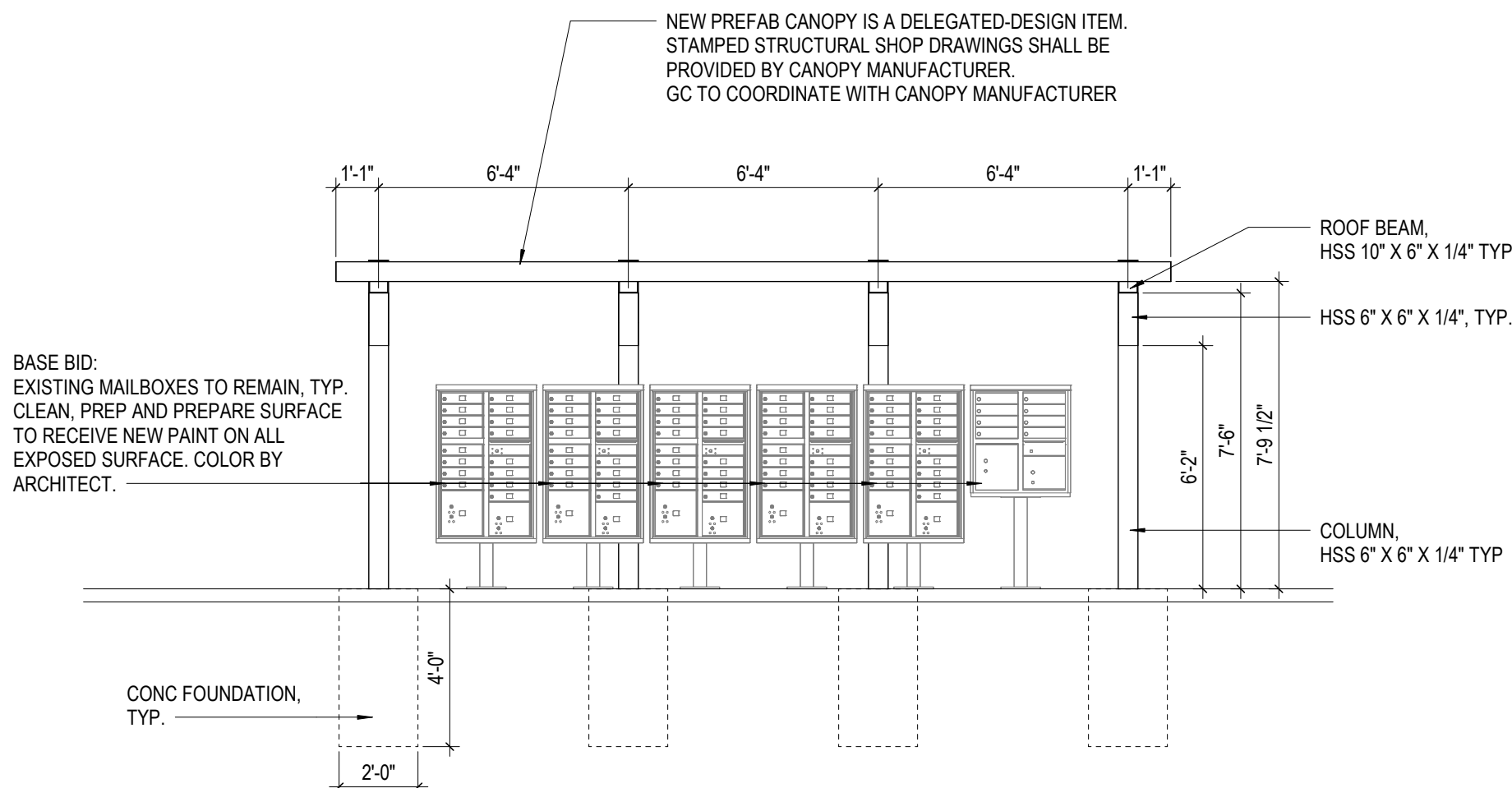
25036

A302

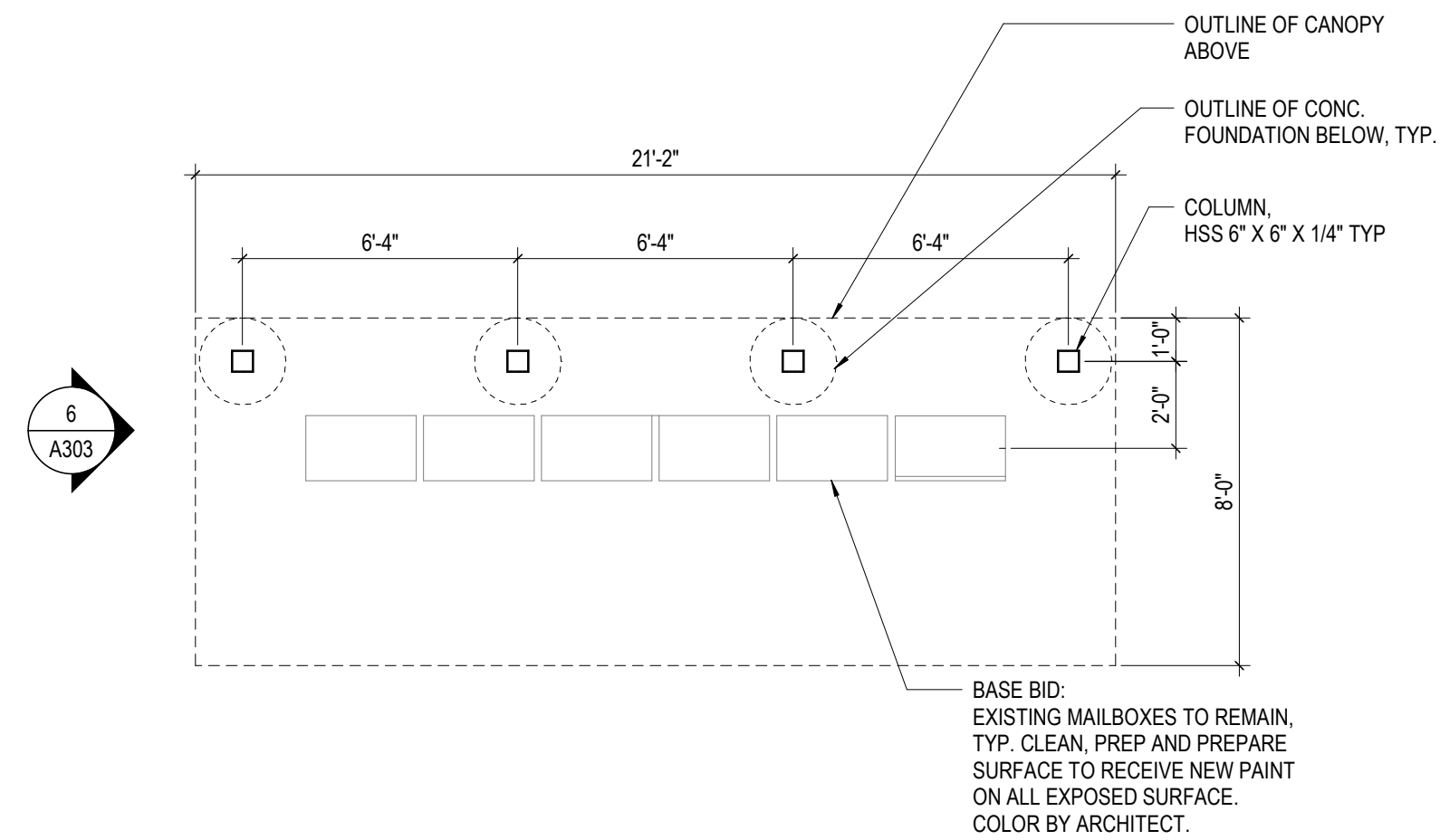
BID / PERMIT SET



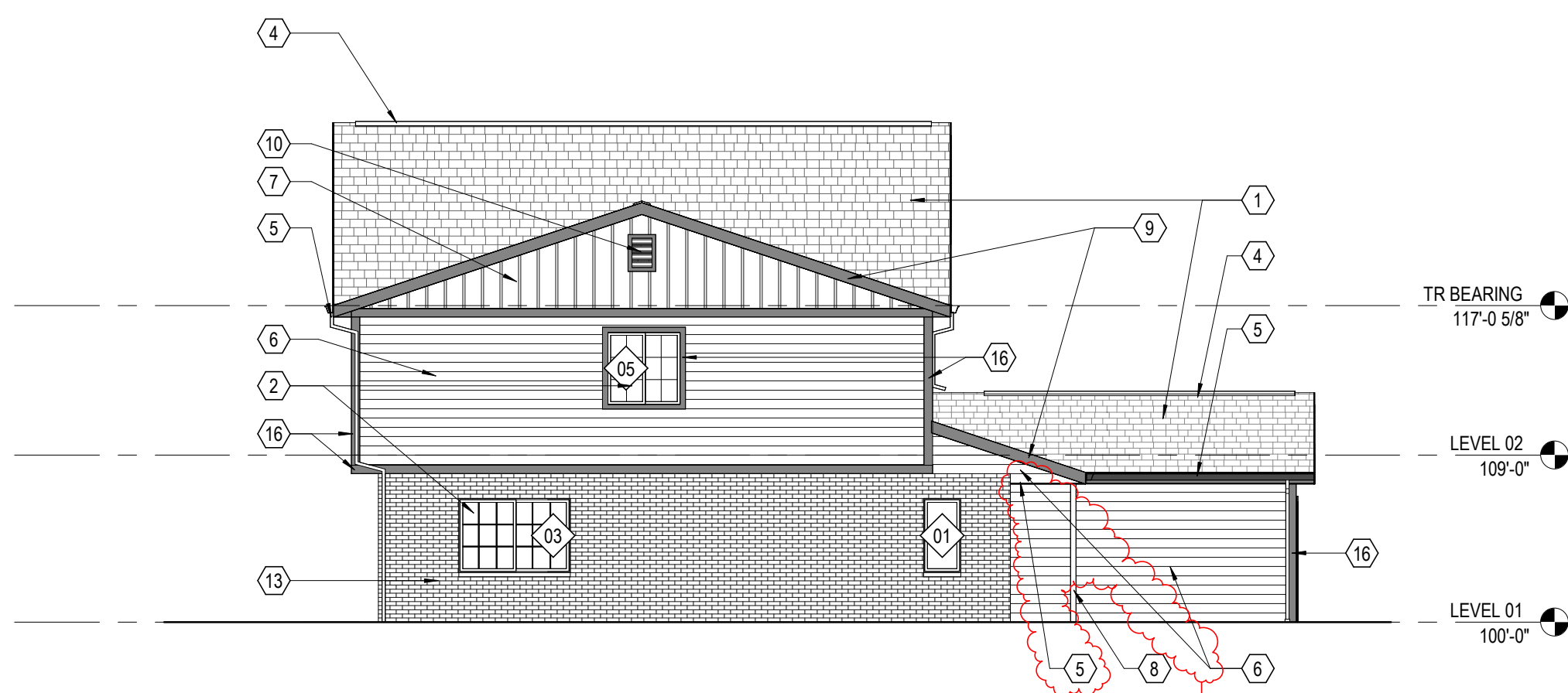
6 ELEVATION ALTERNATE 1 - MAILBOX CANOPY SIDE
1/4" = 1'-0"



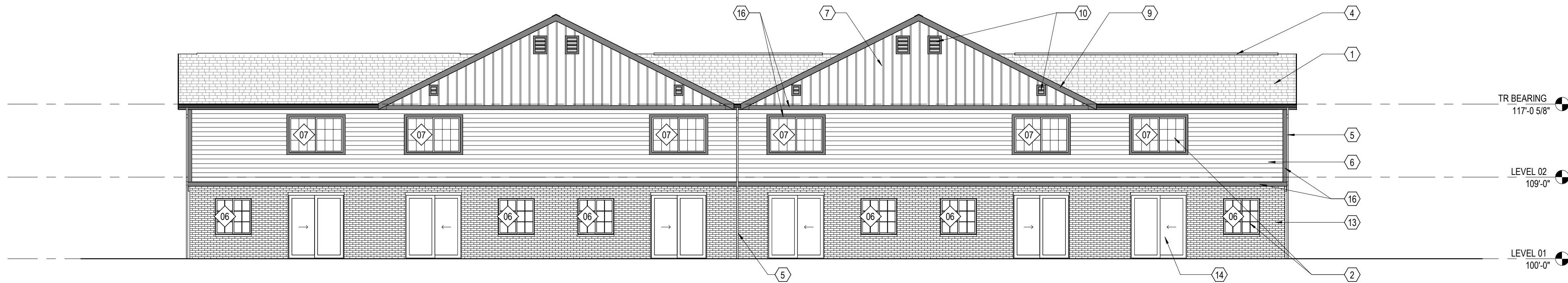
5 ELEVATION ALTERNATE - MAILBOX CANOPY FRONT
1/4" = 1'-0"



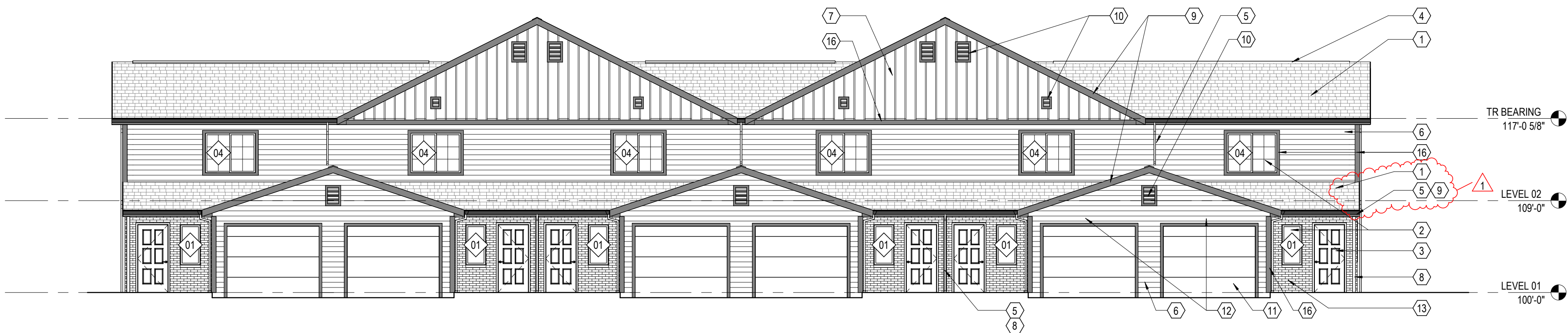
4 PLAN ALTERNATE 1 - MAILBOX CANOPY
1/4" = 1'-0"



3 ELEVATION BLDG TYPE D (BLDG #12) SIDE
1/8" = 1'-0"



2 ELEVATION BLDG TYPE D (BLDG #12) REAR
1/8" = 1'-0"



1 ELEVATION BLDG TYPE D (BLDG #12) FRONT
1/8" = 1'-0"

GENERAL NOTES - ROOF DEMOLITION

- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM.
- AT ALL BUILDINGS AND PORCHES, REMOVE EXISTING RIDGE VENTS AND/OR HAT VENTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING GUTTERS & DOWNSPOUTS.
- MAINTAIN & PROTECT EXISTING PLUMBING VENTS. PROVIDE NEW BOOTS.
- AT ALL BUILDINGS AND PORCHES, REMOVE AND REPLACE EXISTING SOFFITS & CEILINGS, U.N.O.
- EXISTING SHINGLE ROOF SYSTEM IS TO BE REMOVED COMPLETELY TO ROOF SHEATHING. ITEMS FOR REMOVAL INCLUDE SHINGLES, UNDERLAYMENT, RIP EDGES, AND ALL RELATED DEVICES AND MATERIALS USED TO SECURE ROOFING.
- UPON REMOVAL OF EXISTING ROOFING, THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING.

GENERAL NOTES - EXTERIOR ELEVATIONS

- AT BUILDINGS, CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES ETC. FIELD VERIFY EXACT LOCATIONS IN THE FIELD.
- CLEAN, PREP AND PAINT ALL EXPOSED UNTELS AT DOORS AND WINDOWS ON MASONRY WALLS BEFORE INSTALLATION OF NEW WINDOW OR DOOR SYSTEM.

CODED NOTES - EXTERIOR ELEVATIONS

- REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, FASCIA, GUTTERS AND ASSOCIATED TRIM.
- NEW VINYL WINDOW SYSTEM. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS. TYP.
- ALL EXTERIOR HM DOORS AND FRAMES TO BE PAINTED.
- NEW RIDGE VENT SYSTEM. TYP.
- NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - GUTTER COLOR - BLACK TO MATCH FASCIA.
 - DOWNSPOUT COLOR - WHITE TO MATCH SIDING.
- NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- NEW BOARD AND BATTEN VERTICAL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT ON ALL WOOD COLUMNS AT PORCH. PAINT. TYP.
- NEW ALUMINUM CLAD FASCIA - COLOR: BLACK. TYP.
- NEW VINYL LOUVER. SIZE AND LOCATION TO MATCH EXISTING. - COLOR: BLACK.
- EXISTING GARAGE DOOR TO REMAIN. PAINT. REPLACE JAMB TRIMS. PAINT.
- NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS, NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER. TYPICAL ALL BUILDINGS.
- EXISTING BRICK MASONRY TO REMAIN. CLEAN WHERE SHOWN ON DRAWINGS OR IN PHOTOGRAPHS. TYP.
- EXISTING VINYL SLIDING DOOR TO REMAIN. TYP.
- REPLACE EXISTING FABRIC AWNING AND METAL FRAMING. MATCH EXISTING.
- NEW VINYL TRIM BY VINYL SIDING MFR. TYP. - COLOR: BLACK.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2

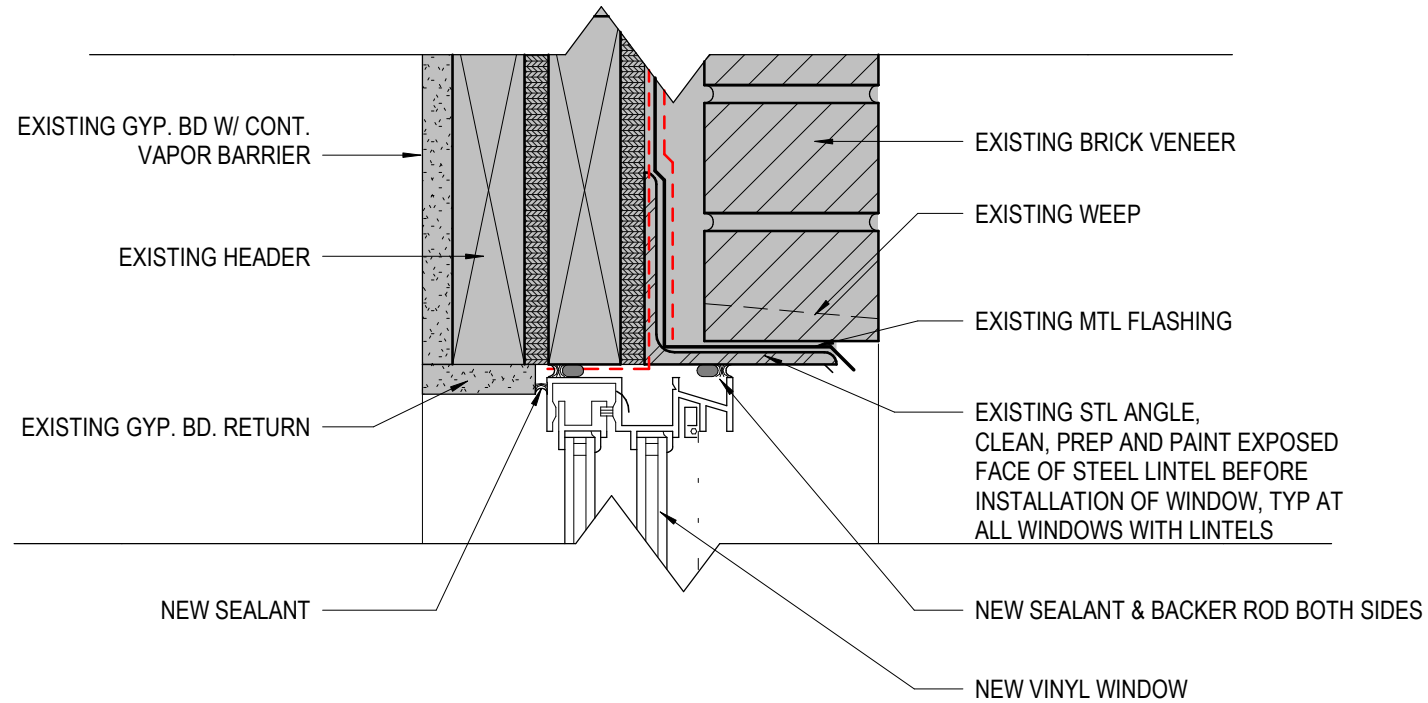
CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
3303 ANALETT DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO: 00197475

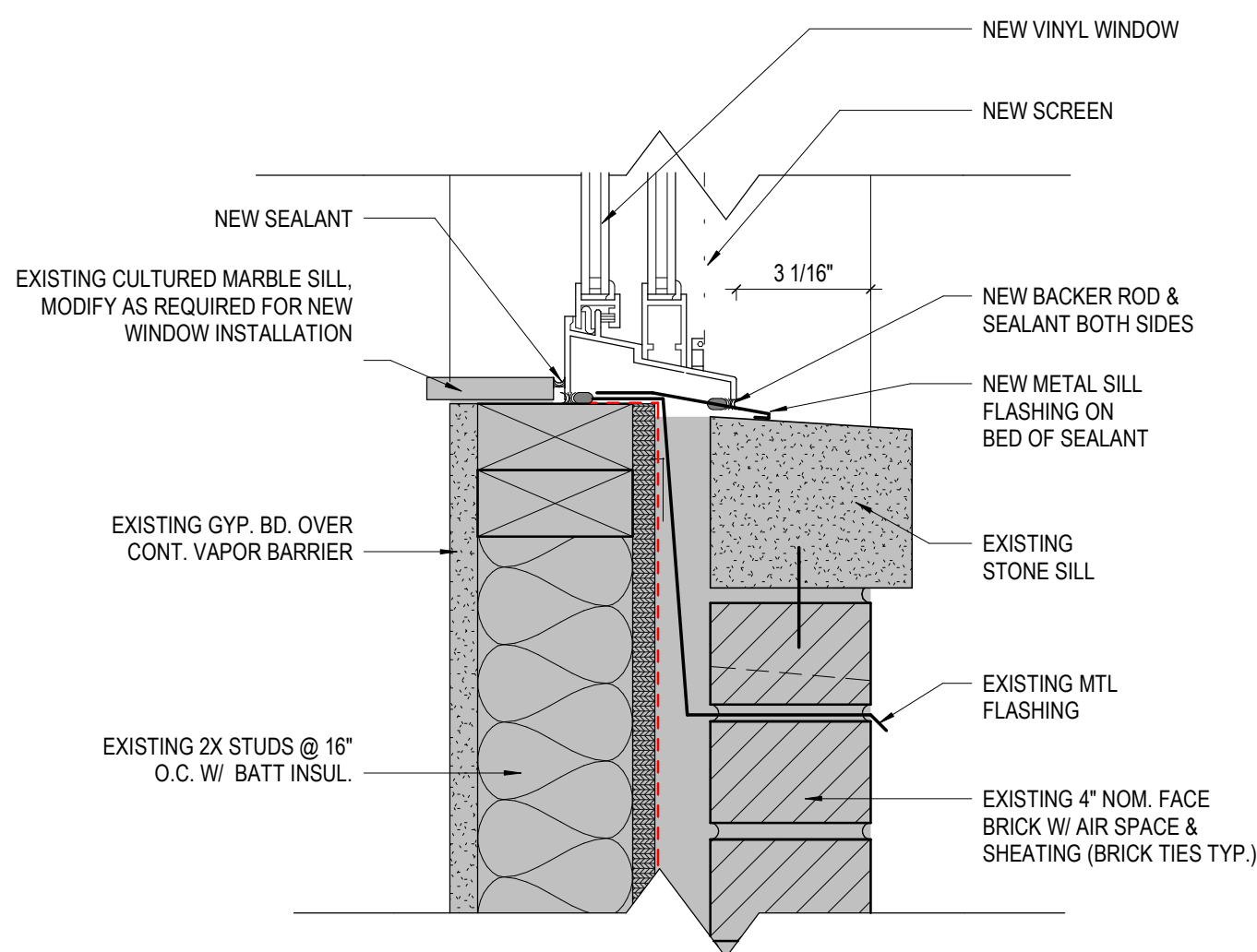
EXTERIOR ELEVATIONS - BLDG TYPE D & MAILBOX CANOPY

STATE OF OHIO
JAY W. BOONE
REGISTERED ARCHITECT
10740
JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

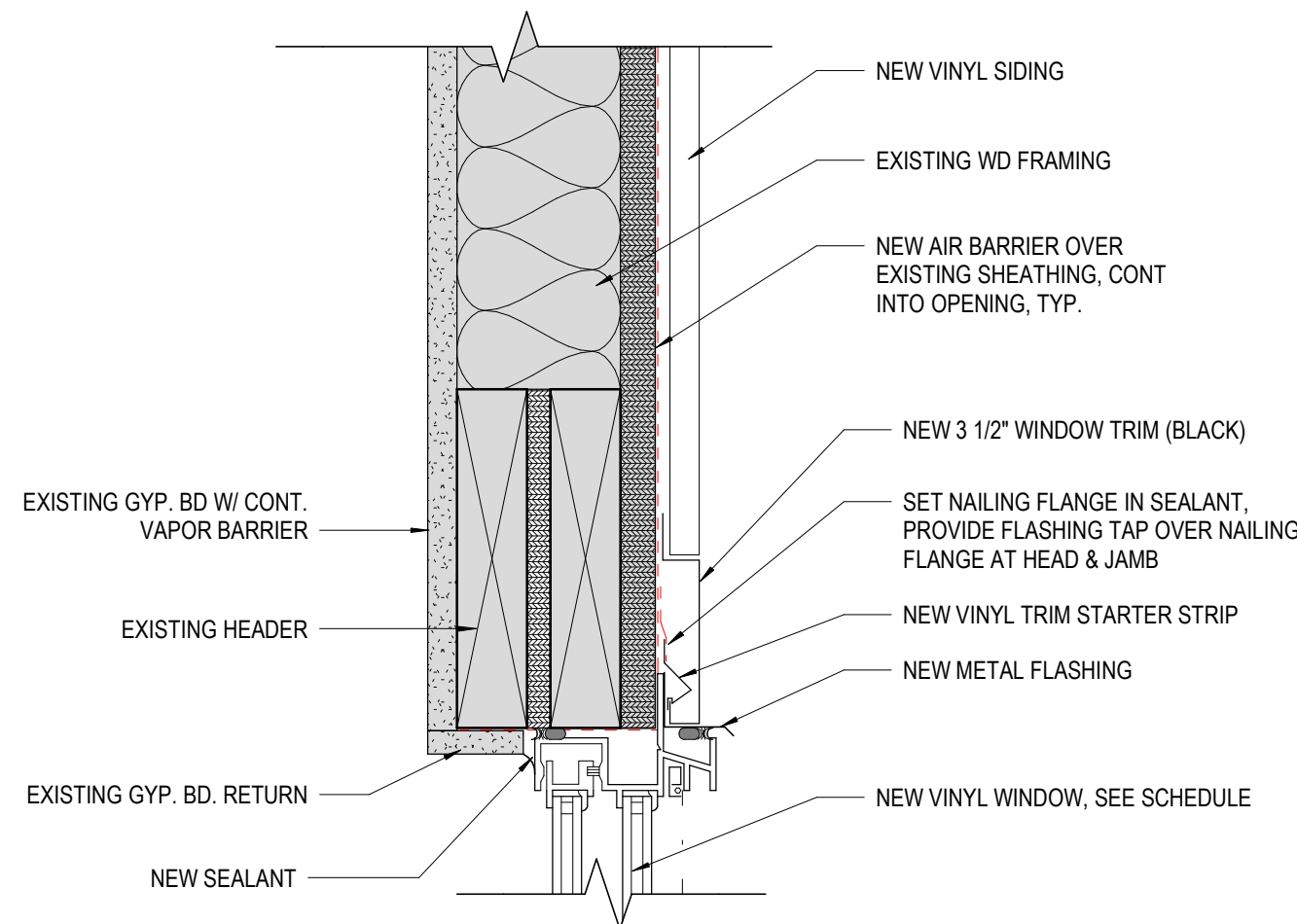
10/31/2025
25036
A303
BID / PERMIT SET



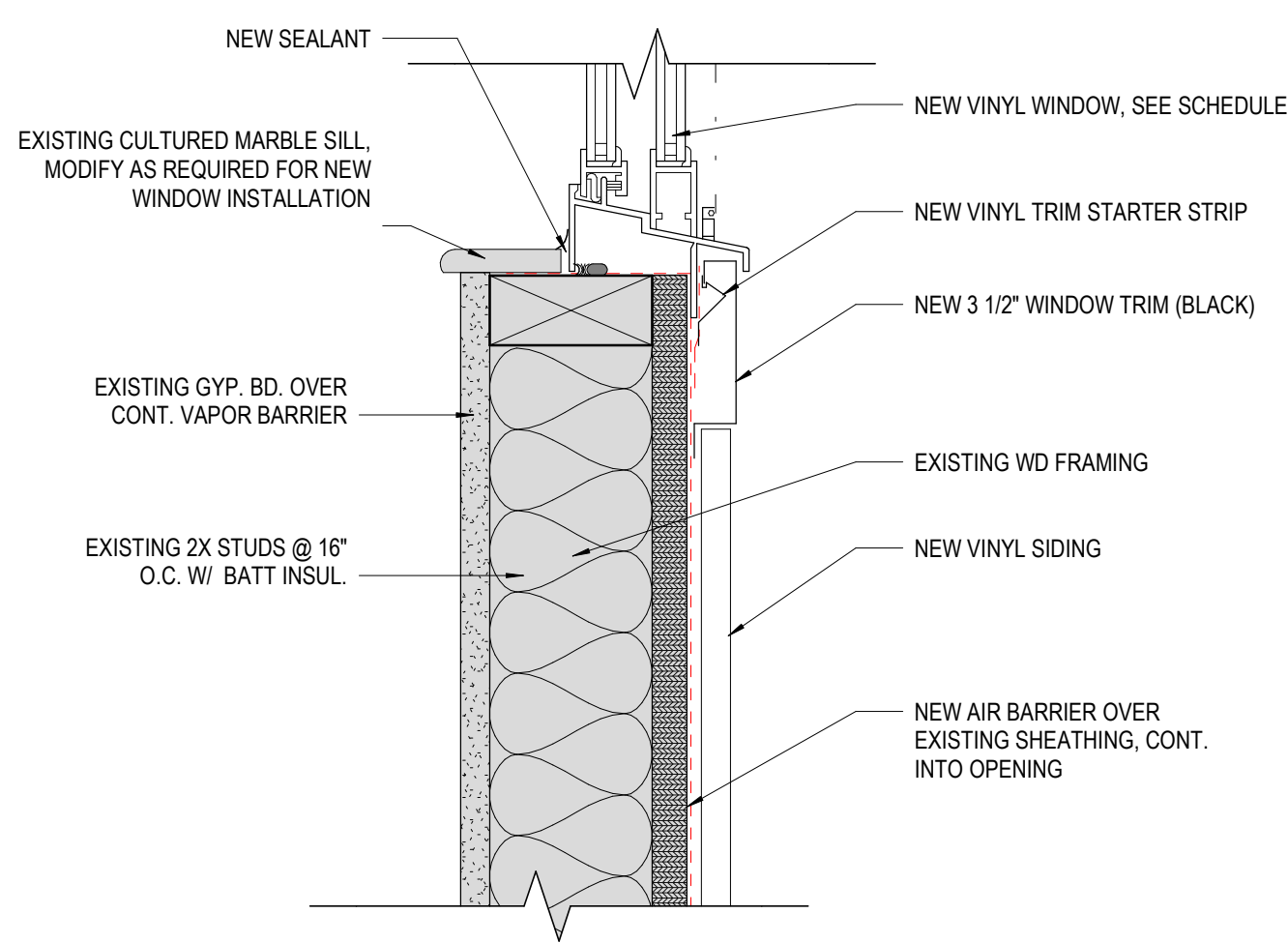
6 DETAIL WINDOW HEAD AT MASONRY
3" = 1'-0" REF: 2 / A400



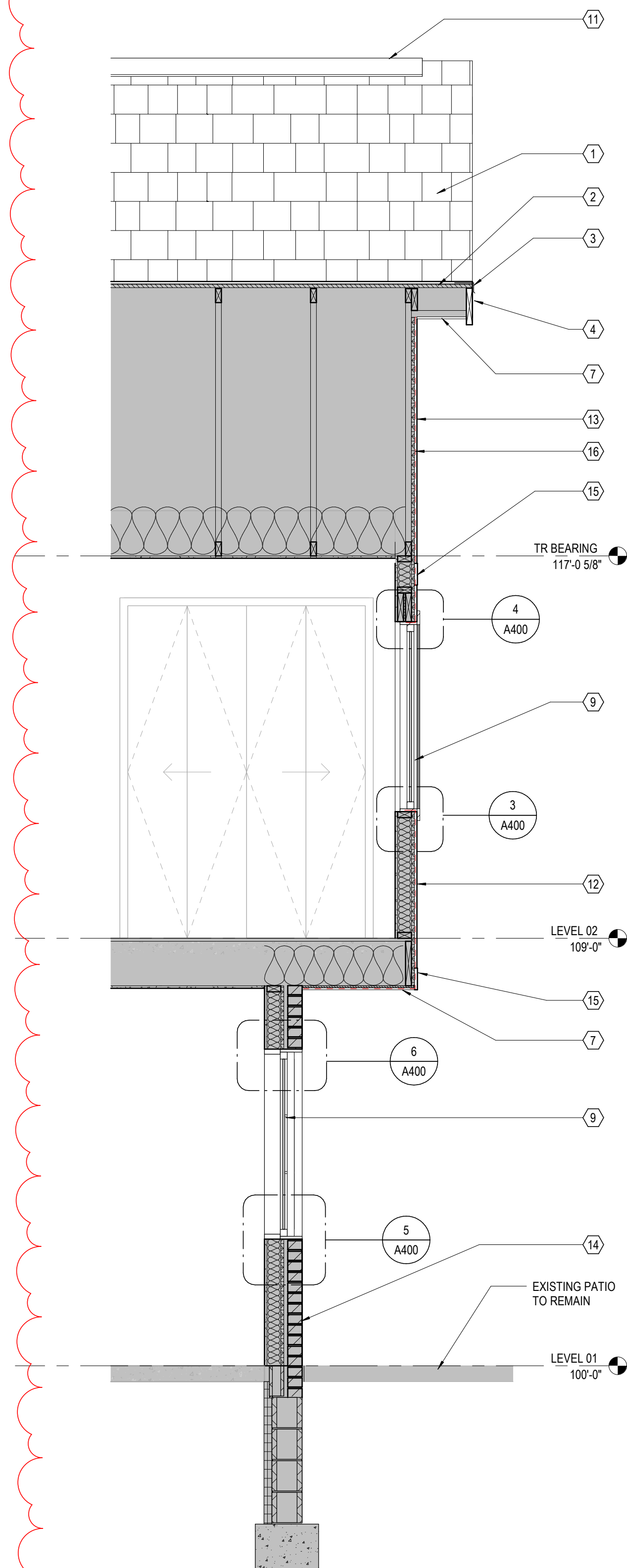
5 DETAIL WINDOW SILL AT MASONRY
3" = 1'-0" REF: 2 / A400



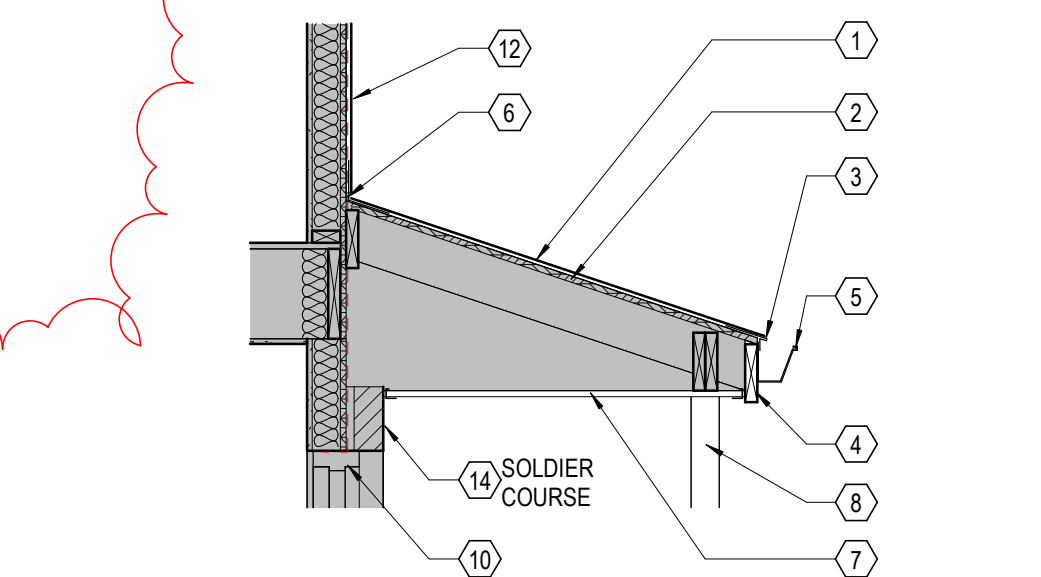
4 DETAIL WINDOW HEAD AT SIDING
3" = 1'-0" REF: 1 / A400



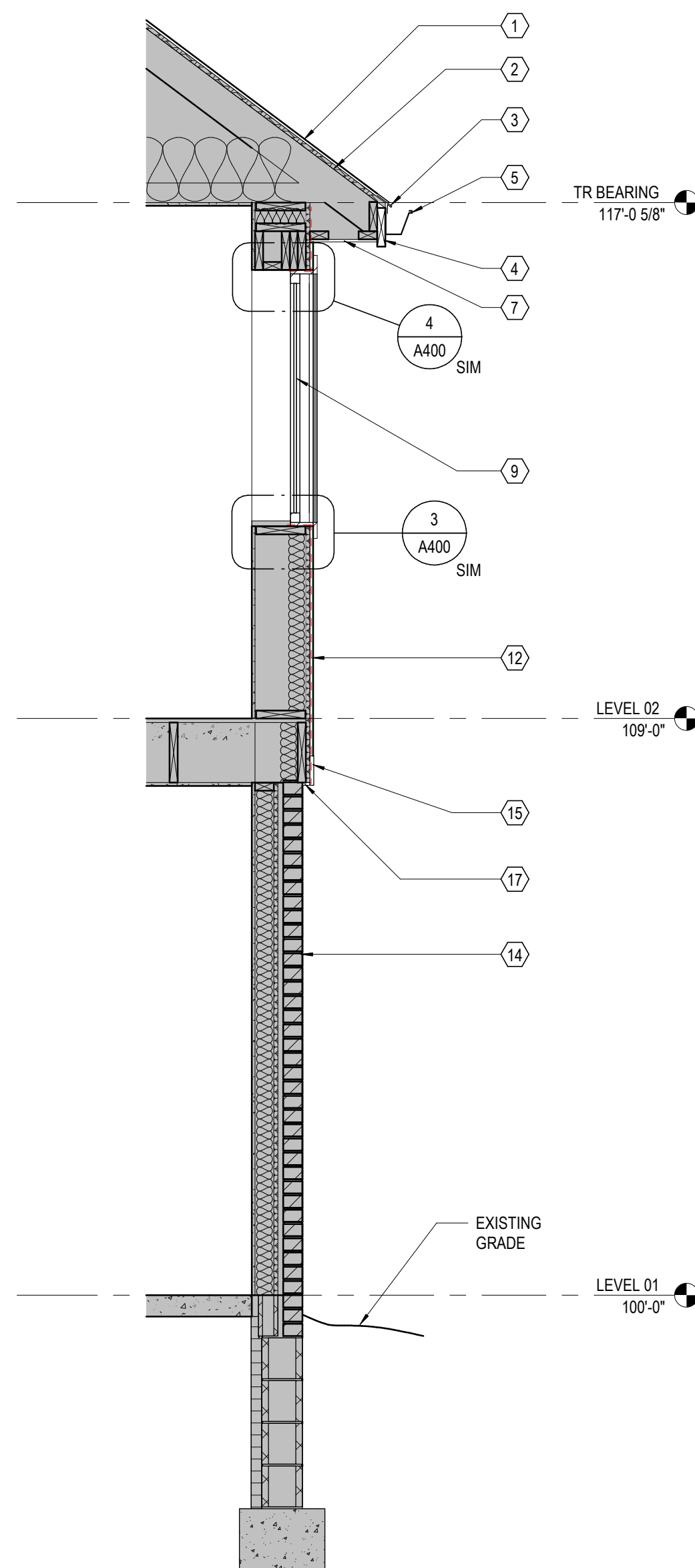
3 DETAIL WINDOW SILL AT SIDING
3" = 1'-0" REF: 1 / A400



2 SECTION REAR
1/2" = 1'-0" REF: 1 / A500



1A SECTION CANOPY
1/2" = 1'-0" REF: 2 / A500



1 SECTION SIDE
1/2" = 1'-0" REF: 1 / A100

CODING NOTES - WALL SECTION

1. NEW ASPHALT SHINGLE OVER ROOFING FELT UNDERLAYMENT.
2. EXISTING ROOF SHEATHING TO REMAIN. THE CONTRACTOR SHALL NOTIFY THE OWNER ABOUT CONDITION OF EXISTING SHEATHING. REPLACE ANY DETERIORATED SHEATHING.
3. DRAIN EDGE.
4. NEW 2X ALUMINUM CLAD FASCIA - COLOR: BLACK, TYP.
5. NEW GUTTERS AND DOWNSPOUTS. ADD LEAF GUARDS TO ALL GUTTERS.
A. GUTTER COLOR - BLACK TO MATCH FASCIA.
B. DOWNSPOUT COLOR - WHITE TO MATCH SIDING.
6. NEW METAL FLASHING.
7. NEW ALUMINUM SOFFIT SYSTEM.
8. WOOD COLUMN BEYOND, CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT.
9. NEW VINYL WINDOW SYSTEM. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES, SEE SPECIFICATIONS, TYP.
10. EXISTING EXTERIOR HARD DOORS AND FRAMES TO BE PAINTED.
11. NEW RIDGE VENT SYSTEM, TYP.
12. NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
13. NEW BOARD AND BATTEN VERTICAL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
14. EXISTING BRICK MASONRY TO REMAIN.
15. NEW VINYL TRIM BY VINYL SIDING MFR., TYP. - COLOR: BLACK
16. NEW AIR BARRIER OVER EXISTING SHEATHING.
17. NEW ALUM. FLASHING WRAP - COLOR BLACK.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2

CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
3303 ANNALY DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO: 00197475

DRAWING TITLE:

BUILDING SECTIONS

JAY W. BOONE
REGISTERED ARCHITECT
10740
JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

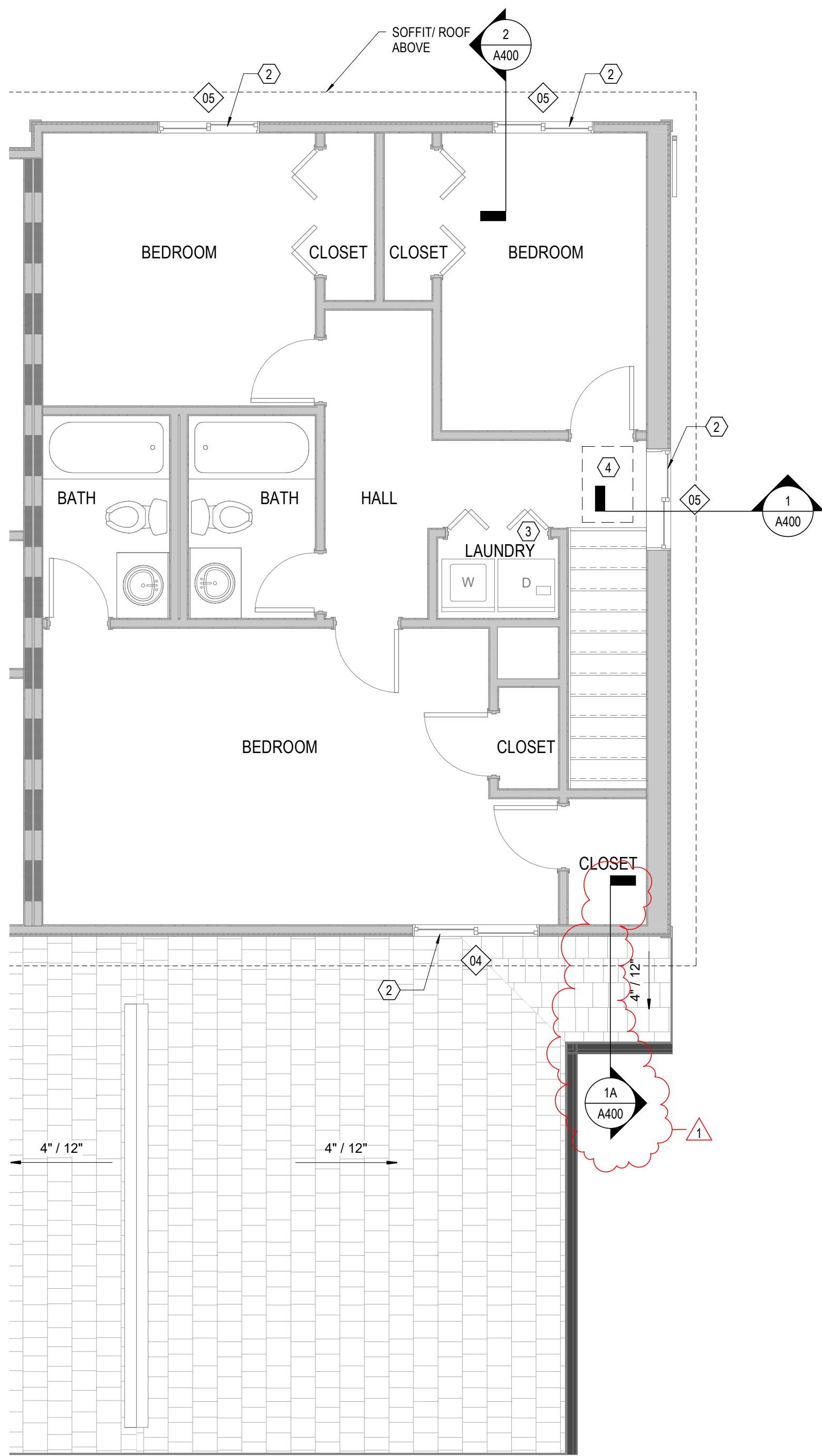
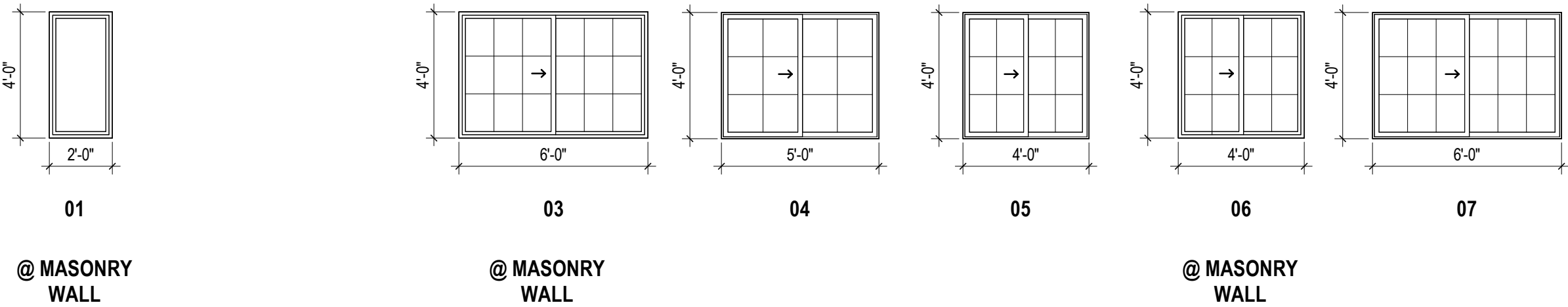
10/31/2025

25036

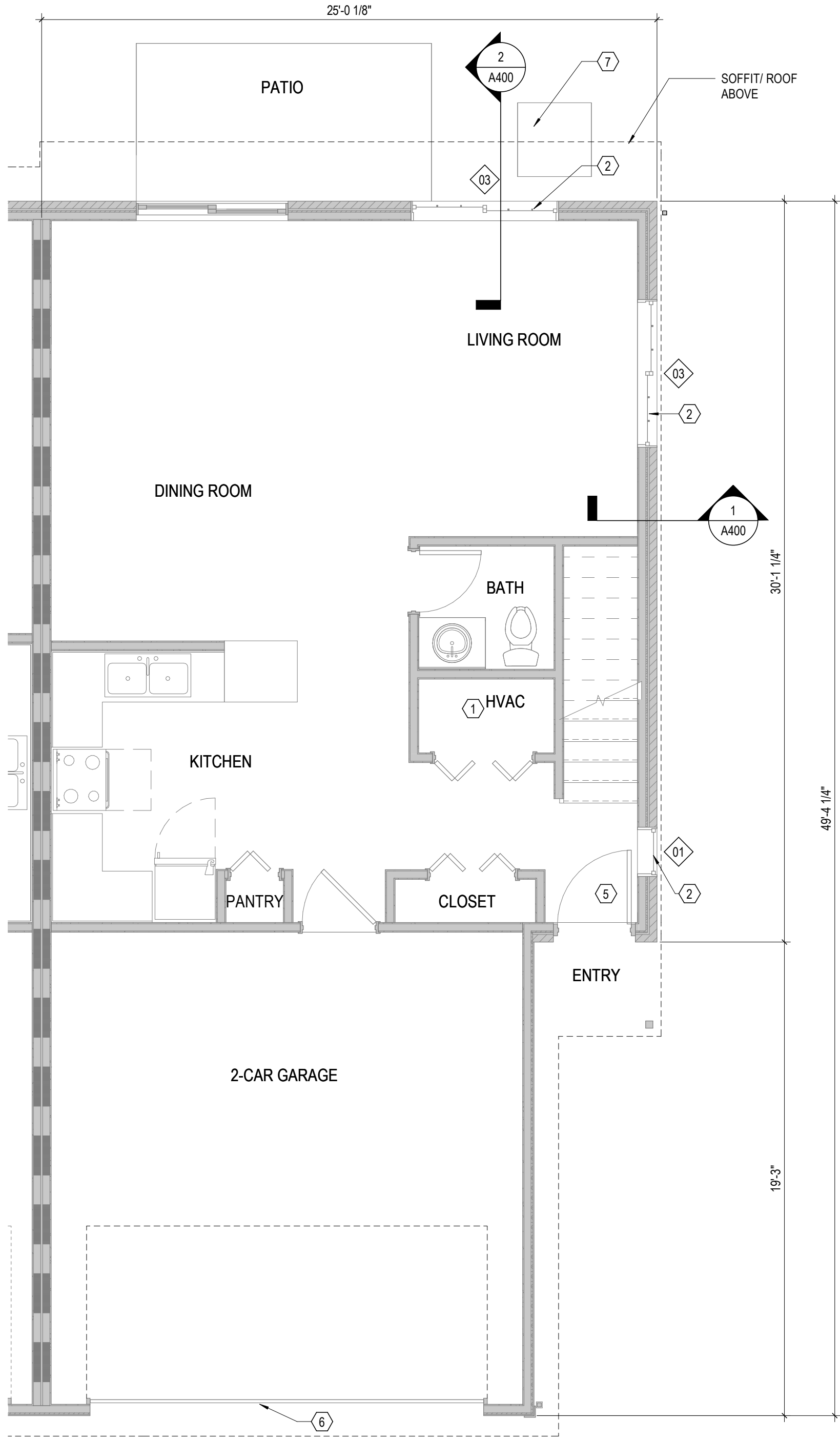
A400

BID / PERMIT SET

WINDOW LEGEND



2 ENLARGED PLAN LEVEL 02 - 3-BEDROOM UNIT (TYPICAL)
1/4" = 1'-0" REF: 2 / A100



1 ENLARGED PLAN LEVEL 01 - 3-BEDROOM UNIT (TYPICAL)
1/4" = 1'-0" REF: 1 / A100


GENERAL NOTES - ENLARGED PLANS

- THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN THE PROJECT, U.N.O. (88 UNITS, INCLUDING LEASING OFFICE).
- CONTRACTOR TO VISIT SITE PRIOR TO PROVIDING BID FOR WORK.
- THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EXTERIOR CONSTRUCTION DOCUMENT PHOTOGRAPHS & SPECIFICATIONS INCLUDED IN PROJECT MANUAL. THE EXTERIOR PHOTOGRAPHS AND NOTES ILLUSTRATE THE SCOPE OF WORK REQUIRED FOR THE EXTERIOR OF THE BUILDING ALONG WITH NOTES & DETAILS INCLUDED IN THE DRAWINGS. SEE EXTERIOR ELEVATIONS FOR EXTENT OF EXTERIOR WORK AT BUILDINGS.
- ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL, U.N.O.
- REFER TO SPECIFICATIONS FOR UNIT PRICE INFORMATION.
- ALL CONSTRUCTION TO OCCUR IN OCCUPIED EMPTY UNITS.
- INTEGRITY OF EXISTING FIRE SEPARATION WALLS IS TO BE MAINTAINED DURING CONSTRUCTION. ALL NEW PENETRATIONS THROUGH FLOOR/CEILING ASSEMBLY AT UNITS ARE TO BE FIRESTOPPED. SEAL ALL MEP PENETRATIONS IN EXTERIOR AND DEMISING WALLS.
- EXISTING UNIT FINISHES TO REMAIN, U.N.O.
- ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
- FILL ANY VOIDS IN FLOORING WITH CEMENTITIOUS INFILL. FINISH FLOOR TO BE LEVEL WITH ANY ADJACENT FLOOR FINISHES.
- DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- MAINTAIN & PROTECT EXISTING LAUNDRY EQUIPMENT (TENANT FURNISHED) IN UNITS. REMOVE & REINSTALL FOR FINISH WORK INSTALLATION.
- ALL EXISTING UNIT ENTRY DOORS AND FRAMES (FRONT & REAR) TO REMAIN, U.N.O. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- ALL EXISTING UNIT GARAGE DOORS TO REMAIN. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- ALL EXISTING WINDOW SYSTEMS ARE TO BE REPLACED AT ALL RESIDENTIAL BUILDINGS, U.N.O. REPLACE WITH NEW WINDOW SYSTEM PER SPECS AND DETAILS. CAULK STRIP ALL WINDOW INSTALLATIONS.
- REMOVE EXISTING WINDOW TREATMENTS AT ALL BUILDINGS. INSTALL NEW WINDOW TREATMENTS (BLINDS & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
- CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, AND CONDENSATE LINE.

CODED NOTES - ENLARGED PLANS


- REFER TO MEP DRAWINGS FOR NEW WORK IN THIS AREA.
- NEW VINYL WINDOW SYSTEM. AT MASONRY WALL. CLEAN AND PREPARE STEEL LINTELS IN MASONRY OPENINGS TO RECEIVE NEW PAINT. TYPICAL ALL WINDOWS.
- LOCATION OF EXISTING WASHER AND DRYER HOOK UP. EQUIPMENT IS PROVIDED BY TENANT. CLEAN DRYER VENTS.
- EXISTING ATTIC ACCESS PANEL.
- CLEAN, PREP AND PAINT EXISTING UNIT ENTRY DOOR AND FRAME, TYPICAL.
- CLEAN, PREP AND PAINT EXISTING GARAGE DOOR, TYPICAL. REPAIR/REPLACE DAMAGED DOOR FRAMES AND TRIM COMPONENTS AS REQUIRED.
- REPLACE EXISTING CONCRETE PAD FOR NEW CONDENSING UNIT. REFER MECH DRAWINGS FOR ADDITIONAL INFORMATION.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2



COLUMBUS METROPOLITAN
HOUSING AUTHORITY
COMMUNITY. COLLABORATION. COLUMBIANA.

**CMHA CANAL'S EDGE
RENOVATION**
3303 AVALON DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA




Moody Nolan

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO:
00197475

DRAWING TITLE:

UNIT FLOOR PLANS



JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025

10/31/2025

25036

A500

BID / PERMIT SET

[illegible]

1. REFER TO MEP DRAWINGS FOR NEW WORK IN THIS AREA.
2. NEW VINYL WINDOW SYSTEM AT MASONRY WALL. CLEAN AND PREPARE STEEL LINETS IN MASONRY OPENINGS TO RECEIVE NEW PAINT. TYPICAL ALL UNITS.
3. LOCATION OF EXISTING WASHER AND DRYER HOOK UP. EQUIPMENT IS PROVIDED BY TENANT. CLEAN DRYER VENTS.
4. EXISTING ATTIC ACCESS PANEL.
5. CLEAN, PREP AND PAINT EXISTING UNIT ENTRY DOOR AND FRAME, TYPICAL.
6. CLEAN, PREP AND PAINT EXISTING GARAGE DOOR. TYPICAL. REPAIR/ REPLACE DAMAGED DOOR FRAMES AND TRIM COMPONENTS AS REQUIRED.
7. REPLACE EXISTING CONCRETE PAD FOR NEW CONDENSING UNIT, REFER MECH DRAWINGS FOR ADDITIONAL INFORMATION.

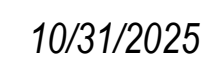

**COLUMBUS METROPOLITAN
HOUSING AUTHORITY**
 COMMUNITY. COMMITMENT. COLLABORATION.



300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO:
00197475

DRAWING TITLE

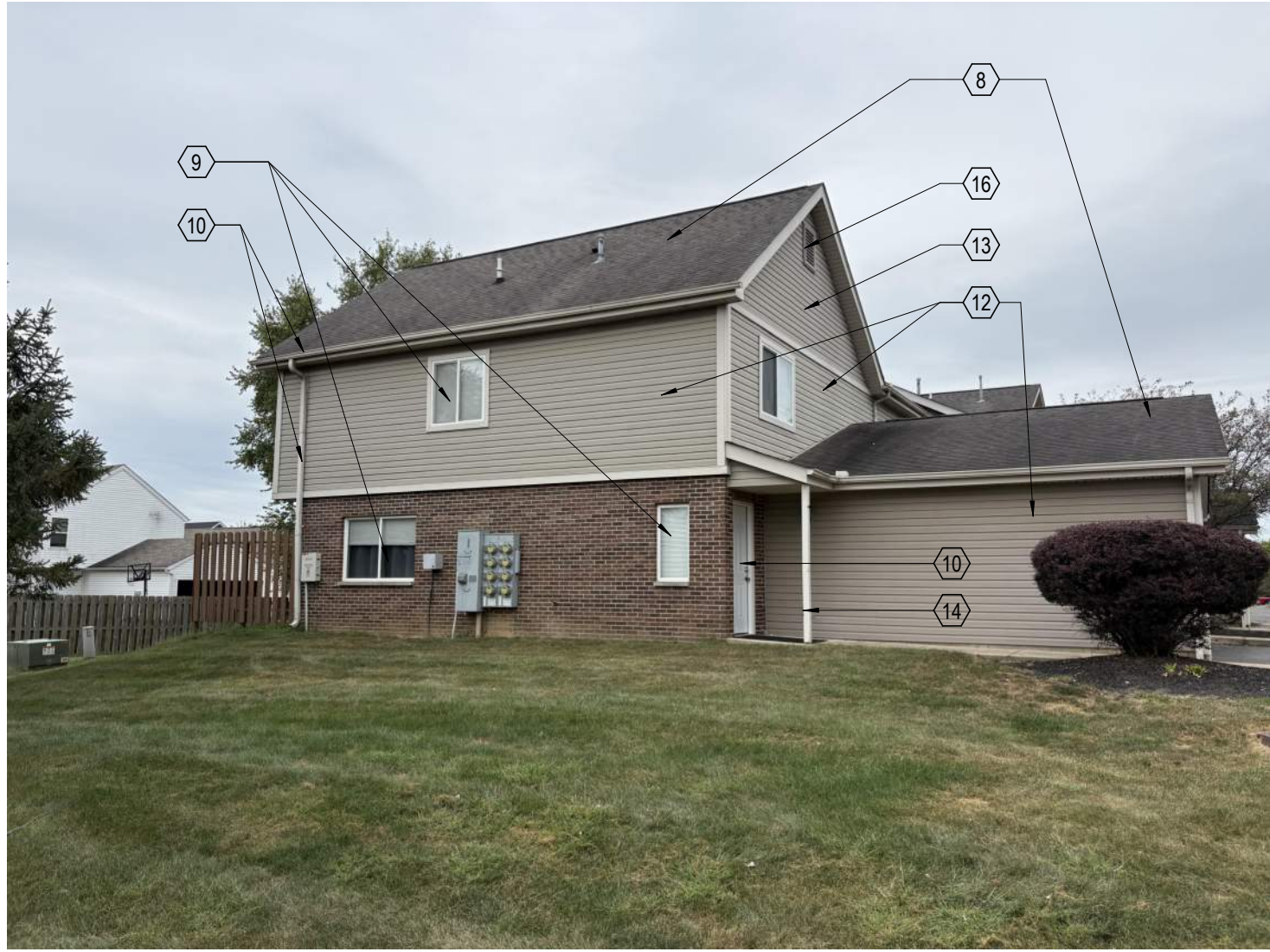
UNIT FLOOR PLANS



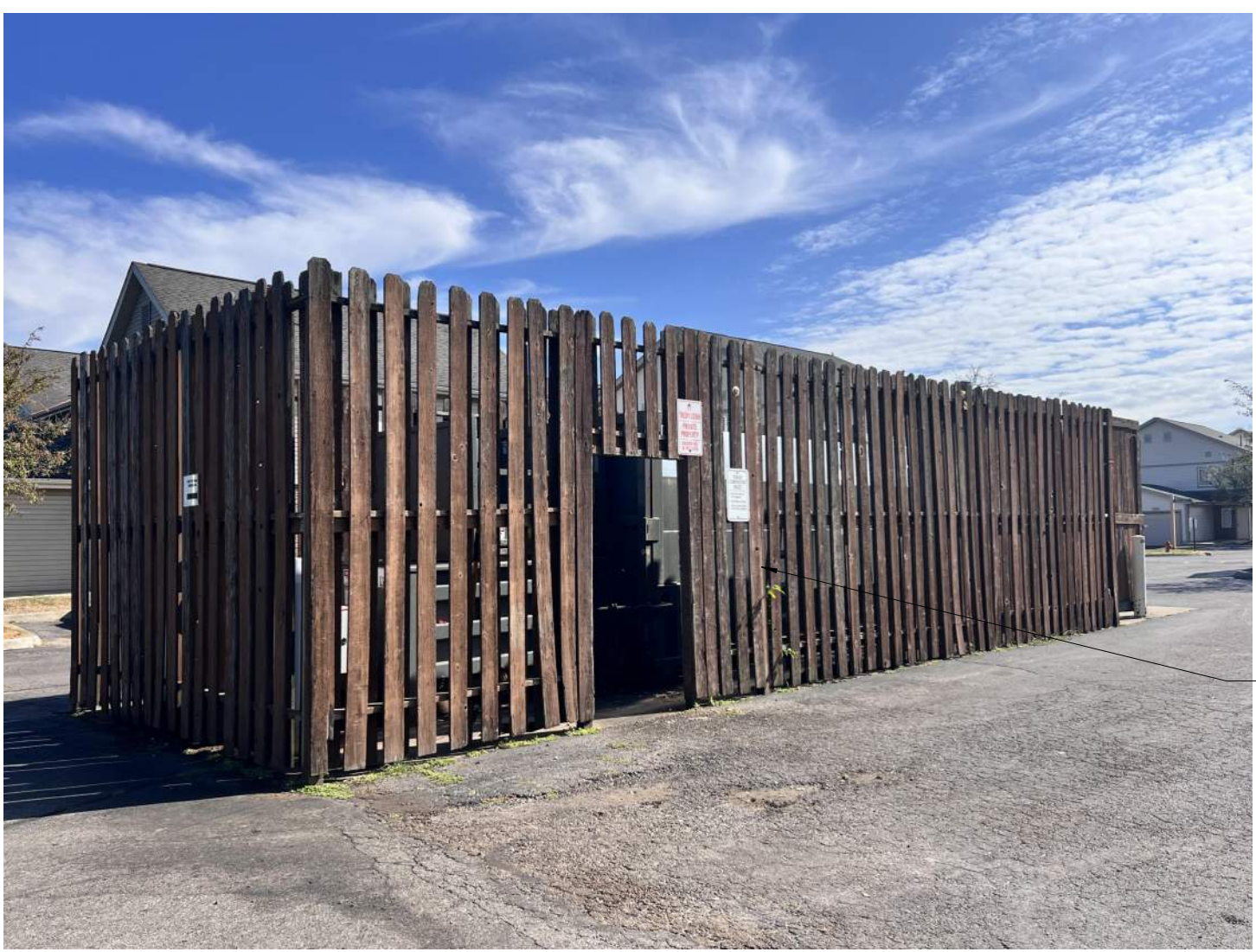
25036

A501

BID / PERMIT SET



9 - ELEVATION



5 - ELEVATION



3 - ELEVATION



2 - ELEVATION



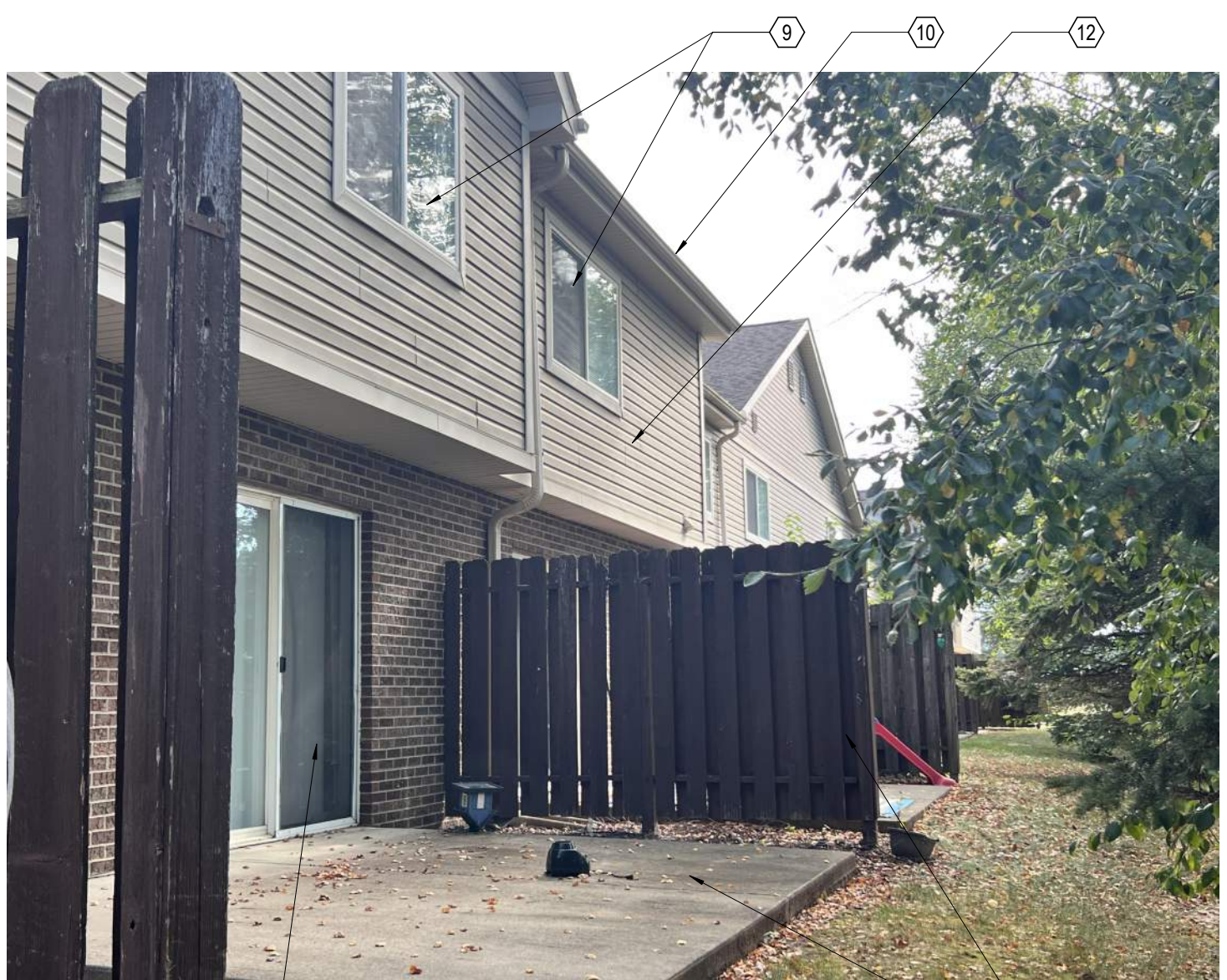
8 - ELEVATION



4 - ELEVATION



1 - ELEVATION



7 - ELEVATION



6 - ELEVATION

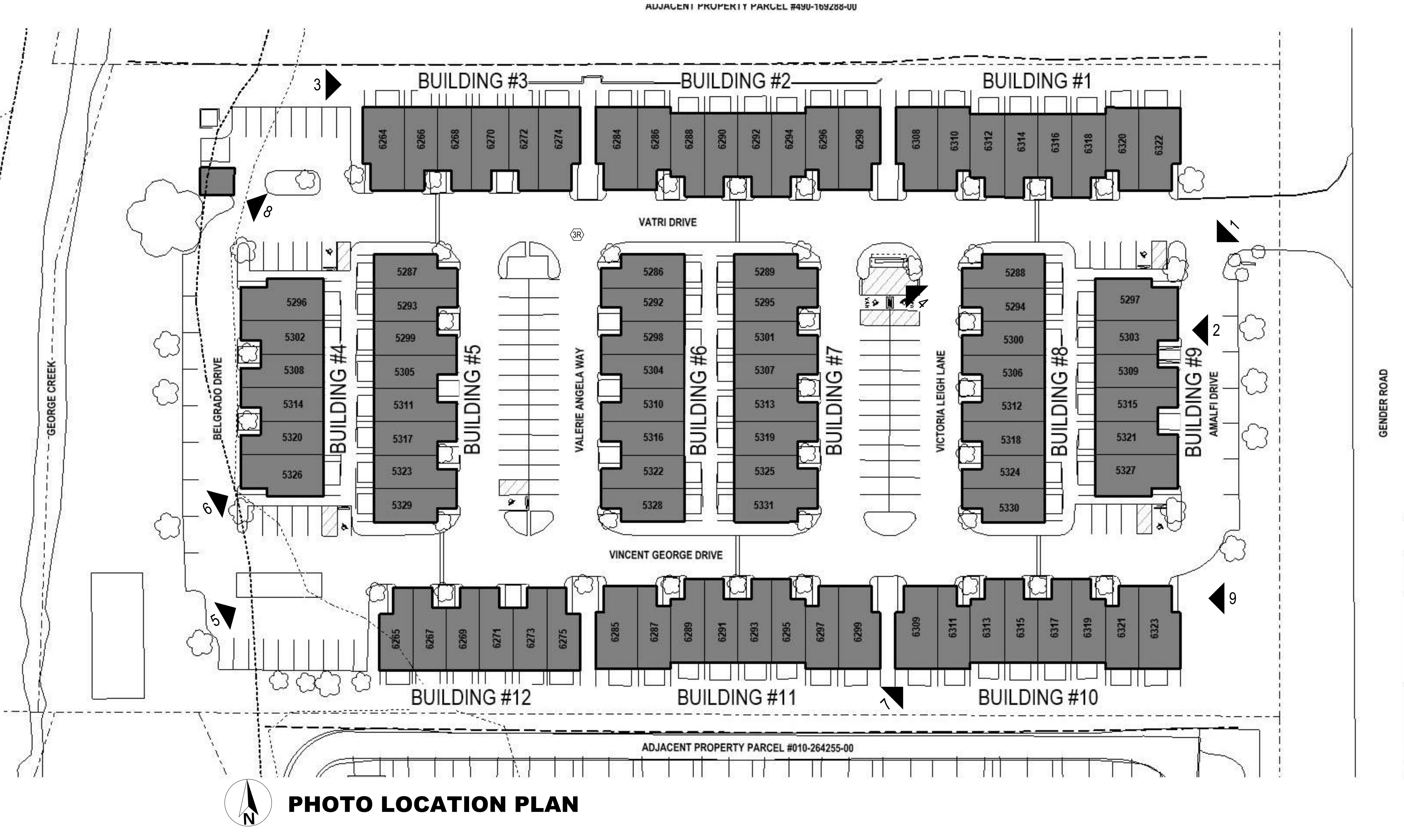


PHOTO LOCATION PLAN

GENERAL NOTES - BUILDING EXTERIOR

- A. AT ALL BUILDINGS, EXISTING VINYL SIDING TO BE REPLACED WITH NEW VINYL SIDING, TYP.
- B. AT ALL BUILDINGS, EXISTING GUTTERS, AND DOWNSPOUTS TO BE REPLACED, TYP.
- C. AT ALL BUILDINGS, EXISTING FACE BRICK TO REMAIN. CLEAN ANY GRAFFITI, TYP.
- D. AT ALL BUILDINGS, EXISTING VINYL WINDOW SYSTEM TO BE REPLACED, TYP.
- E. ANY NEW EXTERIOR SITE BUILDING SIGNAGE WILL BE EASY TO READ WITH HIGH CONTRAST LETTERS/ NUMBERS AND BACKGROUND.

CODED NOTES - BUILDING EXTERIOR

- 1. EXISTING MAIL KIOSK LOCATION TO REMAIN. ALTERNATE 1: NEW PREFABRICATED CANOPY FOR MAILBOX KIOSK. VENDOR TO PROVIDE CRITERIA DESIGN & SHOP DRAWINGS. SHOP DRAWINGS PROVIDED BY CONTRACTOR WILL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- 2. NEW SITE PERIMETER FENCING. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 3. EXISTING BULK TRASH LOCATION TO REMAIN. NEW CONCRETE PAD AND FENCING AT EXISTING BULK PICK UP AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 4. EXISTING TRASH COMPACTOR LOCATION TO REMAIN. NEW TRASH COMPACTOR FENCING. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 5. EXISTING UNIT CONCRETE PATIO, TYPICAL.
- 6. NEW UNIT FENCING AT PATIO. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 7. NEW SIDEWALK RAMP TO LEASING OFFICE. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 8. REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, FASCIA, GUTTERS AND ASSOCIATED TRIM.
- 9. NEW VINYL WINDOW SYSTEM. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW TYPES. SEE SPECIFICATIONS, TYP.
- 10. ALL EXTERIOR HM DOORS AND FRAMES TO BE PAINTED.
- 11. NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. ADD LEAF GUARDS TO ALL GUTTERS.
 - A. GUTTER COLOR - BLACK TO MATCH FASCIA.
 - B. DOWNSPOUT COLOR - WHITE TO MATCH SIDING.
- 12. NEW VINYL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- 13. NEW BOARD AND BATTEN VERTICAL SIDING AND ASSOCIATED TRIM. REPLACE ALL DETERIORATED SHEATHING.
- 14. CLEAN AND PREP SURFACE TO RECEIVE NEW PAINT ON ALL WOOD COLUMNS AT PORCH.
- 15. NEW ALUMINUM CLAD FASCIA - COLOR: BLACK, TYP.
- 16. NEW VINYL LOUVER, SIZE AND LOCATION TO MATCH EXISTING - COLOR: BLACK.
- 17. EXISTING GARAGE DOOR TO REMAIN. PAINT. REPLACE JAMB TRIMS, PAINT.
- 18. NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST LETTERS/ NUMBERS AND BACKGROUND. COORDINATE FINAL LOCATION WITH OWNER, TYPICAL ALL BUILDINGS.
- 19. EXISTING BRICK MASONRY TO REMAIN.
- 20. EXISTING VINYL SLIDING DOOR TO REMAIN, TYP.
- 21. REPLACE EXISTING FABRIC AWNING AND METAL FRAMING. MATCH EXISTING.
- 22. CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES ETC. FILED VERIFY EXACT LOCATIONS IN THE FIELD.

#	DATE	CHANGE DESCRIPTION
1	12/10/2025	ADDENDUM NO.2

CMHA CANAL'S EDGE RENOVATION
COLUMBUS METROPOLITAN HOUSING AUTHORITY
5303 AMALFI DRIVE
CANAL WINCHESTER, OH 43110
FOR
CMHA

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664
FIRM CERTIFICATE NO: 00197475

DRAWING TITLE:
EXTERIOR AND SITE PHOTOS

10%

2

A

BID / PE

JAY W. BOONE, LIC. # 10740
EXP. DATE: 12/31/2025