



# COLUMBUS METROPOLITAN HOUSING AUTHORITY

## **Request for Proposals (RFP) For Construction Manager at Risk (CMAR) Services for: Aspire Columbus**

### **Introduction**

The Columbus Metropolitan Housing Authority (CMHA) is requesting proposals from Construction Management at Risk (CMAR) firms for site development and construction of a new multi-family residential facility located at 360 S. Third Street, Columbus Ohio 43215.

Upon completion of a review of proposals received, CMHA anticipates awarding a contract for pre-construction services, and at CMHA's discretion, a subsequent contract for construction of the new development.

### **The Project**

Aspire Columbus is an 82-unit, five story multi-family residential building. The proposed building will have first floor rental office and amenity space and a mix of dwelling units. The dwelling units are located on the first floor to the fifth floor. The fifth floor will also feature another open-air terrace with an indoor/outdoor kitchenette. The roof will include a mechanical space. The exterior will include brick veneer with cast stone and metal panels with accent metal tiles to cover the remaining building. The proposed building will be Type 3 wood stud framed construction, FRT exterior wall construction and with a membrane roof system. The building will have a mix of studio, 1, 2, and 3-bedroom units. Vinyl window systems are proposed for the dwelling units and storefront for the first-floor amenity areas. The building will have elevators serving the lobby and each floor.

### **General Information**

Refer to the attached progress drawings and rendering as a reference point when compiling proposals.

Preliminary Construction Budget:       \$18,000,000

Preliminary Construction Schedule:    18 months

The project will pursue LEED silver certification.

The project may pursue 45L tax credits.

Demolition of the current building on the project site will be completed separately and will not be a part of the CMAR scope of work.

This project will comply with the 2024/2025 OHFA Qualified Allocation Plan and current Architectural Design Standards.

This project will be sales tax-exempt.

Any significant modifications made to this design prior to the proposal due date will be added as addenda to this RFP.

### **Objectives**

The Construction Manager at Risk (CMAR) firm will manage the construction, Attend and actively participate in Project Team meetings at regularly scheduled intervals, provide constructability and technical review during the pre-construction period, and provide cost evaluation assistance to the owner/architect team at conception, design development and contract document phase of design. The CMAR will assume responsibility for project construction costs by issuing a guaranteed maximum price (GMP). The GMP will be a contractual obligation. The CMAR will also develop an overall final project schedule, which will be a contractual obligation. In addition, the CMAR will be responsible for methods of construction, safety, and the scheduling and coordination of the work of all construction and all sub-contracts required for the completion of the project within its established budget and schedule.

When the project's design documents have been developed in sufficient detail (80%), the CMAR, with the architect's support and assistance, will commit to a Guaranteed Maximum Price (GMP) for all construction and site development with approved clarifications and assumptions.

### **Owner/Construction Manager at Risk Agreement**

The Construction Manager at Risk (CMAR) will be under contract to supply pre-construction services and construction services under the **Consensus Docs 500 agreement** to complete the project and place the Owner in occupancy of the project in a "turnkey" fashion. The Owner has contracted with the Architect separately from the CMAR. The CMAR shall hold all trade contracts and trade supplier contracts.

### **Compensation**

**Pre-Construction Phase Fee:** The Pre-Construction Phase Fee is the total compensation required for the CM to perform the work associated with the pre-construction phase of work. This fee shall be a lump sum amount based on the amount of work required to complete the pre-construction phase of work. Refer to proposal form, Exhibit A.

**Construction Services Phase:** Compensation for Construction Services shall be included in the CM's Guaranteed Maximum Price. The GMP proposal shall include (but limited to) All General Conditions Costs, Costs associated with materials, supplies, temporary facilities rentals, etc. Personnel Costs. permit and inspection fees, costs associated with insurance, bonds, and taxes, all Costs of Construction, sub-contract costs, and costs associated the general and supplemental conditions. The Construction Phase Fee shall be based on a percentage of the cost of work (GMP).

The total GMP will be the sum of the direct construction cost, general conditions, plus the construction phase fee. Refer to the proposal form, Exhibit A.

Shared savings below the guaranteed maximum price shall be allowable and divided 75% to the owner and 25% to the construction manager.

### **Payment and performance bond requirements**

The successful proposer must furnish payment and performance bonds with the appropriate “powers of attorney” in the amount of one hundred percent (100%) of the contract's total maximum price from a corporate surety authorized (licensed) by the State of Ohio and acceptable to the Columbus Metropolitan Housing Authority.

### **Insurance requirements**

Before work begins, the Contractor and all subcontractors engaged shall procure from a reputable insurance company authorized to do business in the State of Ohio the following insurance policies, which provide (at a minimum) the following coverages:

**Commercial General Liability:** Contractor shall maintain Commercial General Liability Insurance with a limit of not less than:

- Each Occurrence Limit \$2,000,000
- Personal & Advertising Limit \$2,000,000
- General Aggregate Limit \$4,000,000
- Products/Completed Operations Aggregate \$4,000,000

Products/complete operations coverage shall be maintained for a minimum period of two (2) years from the date of Completion of the Project. Policy limits must be per project, and defense costs must be outside of and not deplete policy limits. Contractor shall be responsible for all deductibles. Deductibles shall not exceed \$50,000 per Project.

Contractor shall also maintain Commercial Automobile Liability insurance with a combined single limit of not less than \$2,000,000 per occurrence for bodily injury and property damage.

Contractor shall also maintain Umbrella Liability and Excess Liability insurance with a combined single limit of not less than \$5,000,000 for each occurrence and aggregate.

The Commercial General Liability Insurance required by this Article shall include the Lessor of the premises where work occurs and multiple entities as additional insured and shall also include contractual liability, and products coverage/completed operations liability, Contractor’s protective liability, pollution liability and explosion, collapse and underground property damage hazard applicable to Contractor’s obligations under the construction contract for each Project. Prior to beginning the Work, Contractor shall deliver to CMHA, a Certificate of Insurance evidencing the coverages required under this Article naming multiple entities (to be determined) as “additional” insureds on the Commercial General Liability Insurance and Commercial Automobile Liability Insurance.

All such insurance shall include a waiver of subrogation in favor of CMHA and contain a provision requiring the insurer to notify both parties in writing, thirty (30) days prior to any modification or cancellation, of any such policy. All insurance shall be underwritten by an insurance company that carries an A- VII or better rating from A.M. Best and is qualified to do business in which the project is situated. All such insurance will be primary insurance with respect to CMHA and the Lessor of the premises where the work occurs.

Satisfaction of the obligation to carry the amount of such required insurance coverage required under this Article shall not serve to limit the Contractor's obligations under this Contract. If Lessor or CMHA is damaged by the failure of Contractor to maintain such insurance, then Lessor and/or CMHA may recover such damages from Contractor.

**Builders Risk Insurance:** In addition to the other insurance required hereunder, Contractor shall maintain, Builders Risk Insurance written on an "All Risk"/Special Causes of Loss form, with respect to each Project, which shall insure the full replacement value. Multiple entities will be named as additional insureds and loss payees. A certificate of insurance evidencing such insurance shall be provided to Lessor and CMHA prior to commencement of the Work.

Deductibles under each such policy shall not exceed \$10,000 per Project, and Contractor shall pay costs not covered because of such deductibles. Each such policy shall include coverage for loss of use and other "soft cost" coverage due to fire or other hazards, however, caused, in an amount not less than \$500,000 per project. The Contractor waives all rights of action against CMHA for damages caused by fire or other causes of loss to the extent covered by insurance pursuant to this section. Blanket or open policies shall not be allowed unless there is per project coverage in the amount required under this Article. Each policy shall remain in effect until Full Completion of the Project.

Satisfaction of the obligation to carry the amount of insurance coverage required shall not serve to limit Contractor's obligations under this Contract.

### **Section 3 Compliance**

HUD has made Section 3 Compliance a requirement. The Columbus Metropolitan Housing Authority is committed to ensuring that the economic opportunities generated by this project also benefit Section 3 Residents and Section 3 Business Concerns. For guidance related to Section 3 Compliance, refer to Exhibit C.

### **Minority Business Enterprises (MBE) Participation**

Columbus Metropolitan Housing Authority is committed to ensuring economic opportunities for minority business enterprises (MBEs). For guidance related to MBE, refer to Exhibit D.

### **Davis Bacon Act**

This project will comply with the Davis Bacon Act of 1931. Wage determinations will be locked at GMP submission.

### **Proposal Process**

All Proposals shall utilize the attached Exhibits. Two (2) hard copies shall be submitted to CMHA in a sealed envelope.

**The proposal form must be placed in an individually sealed and labeled envelope within the submission.** Exhibit A.

CMHA will not accept any submittal by facsimile, electronic submission or any other method other than required by this RFP.



Receipt of all Addenda to this RFP, if any, must be acknowledged on the fee proposal form. All Addenda shall become part of the requirements of this RFP. Failure to acknowledge receipt of an Addendum may result in rejection of the Proposal.

Respondents are solely responsible for any costs incurred in preparing or submitting Proposals for the project.

When received, all responses, inquiries, or correspondence relating to this RFP will become the property of CMHA and shall be regarded as public record.

CMHA reserves the right to:

1. Refuse any or all submittals received.
2. Cancel or modify this RFP at any time.
3. Request further documentation or information and discuss an RFP submittal for any purpose in order to answer questions or to provide clarification.

### **Proposal Schedule**

A Pre-submission meeting will be held on **Wednesday, June 26, 2024, at 10:00 AM** at CMHA headquarters located at 880 East 11<sup>th</sup> Avenue, Columbus, Ohio 43211

Final questions regarding this project are due no later than **Monday, July 8, 2024, at 12:00 PM**. Late submissions will not be accepted. Address questions to:

Mike Wagner [mwagner@cmhanet.com](mailto:mwagner@cmhanet.com)

Anup Janardhanan [anupj@moodynolan.com](mailto:anupj@moodynolan.com)

Deliver sealed proposals to 880 East 11<sup>th</sup> Ave Columbus, Ohio 43211 no later than **Tuesday, July 16, 2024, at 10:00 AM**. Late submissions will not be accepted.

Attention: Michael Wagner, Vice President of Construction

Award notifications will be announced by close of business on **Tuesday, July 23, 2024**.

### **Submission Requirements**

The instructions below provide guidance for preparing and submitting responses along with information on the Evaluation Criteria. Their purpose is to establish the requirements, format, and content of responses so that they are complete, contain all essential information, and can be evaluated fairly.

The submission package must be signed by an officer of the respondent who is legally authorized to enter a contractual relationship on behalf of the respondent. All submission packages should be bound (a 3-ring binder is acceptable) and tabbed by sections as follows:

#### 1. Title Page

Title Page should include the Request for Proposal subject, the firm's name; the name, address, telephone number, e-mail address of the contact person; and the date of the proposal

## 2. Statement of Firm's Qualifications

- a. State the size of the firm, the location of the office from which the work on this project is to be performed, the number and nature of the professional staff to be employed in this project on a full-time basis and part-time basis.
- b. List all Columbus, Ohio construction license numbers, classifications, limits and expiration dates of the Columbus, Ohio contractor licenses held by your business. If any of your firm's license(s) are held in the name of a corporation or partnership, list the names of the qualifying individual(s) listed on the records who meet(s) the experience and examination requirements for each license.
- c. If a joint venture or consortium is proposed, identify and include separate qualifications for each firm that is to be included in the proposal.
- d. Provide information relating to the firm's experience with green certifications such as LEED.
- e. Provide information relating to the firm's experience in working with Public Housing Authorities and/or HUD programs.
- f. Provide track record relating to job site safety.

## 3. Project team and staff experience

Identify the principal supervisory and management staff, including partners, managers, other supervisors, and specialists, who would be assigned to the project. Indicate whether each such person is registered or licensed to practice in Ohio. Provide information on the experience of each person and longevity with the firm.

## 4. Project Experience

List the most comparable projects (maximum of 5) performed in the last five (5) years that are like the project described in this Request for Proposal. Respondents who fail to demonstrate experience in the construction of three (3) or more mixed-use residential construction projects, consisting of fifty or more units, over the past five (5) years shall be deemed non-responsive.

Indicate the scope of work, date, engagement partners, original budget, final contract amount, project duration versus time to completion, and the name and telephone number of the principal client contact.

## 5. Specific Project Approach and Schedule

The proposal should set forth a work plan which describes in detail how you propose to accomplish the tasks outlined in the scope of services. Each key point of the process should be addressed. The work plan should address at a minimum:

- a. Quality assurance program or quality management plan would be proposed to be incorporated.
- b. Project management methods, including staffing
- c. Project progress reporting
- d. Project schedule management and approach

A project schedule should be a part of the proposal. This schedule should indicate the amount of time in calendar days that each phase and/or activity identified will require.

6. Financial Statement

Provide financial statements (preferably audited) for the past 3 years that provide evidence of the ability to obtain a performance bond. The statement should show assets, liabilities, and net worth of the firm and should include information on all general partners or principal shareholders. Also include bank references supporting the ability to finance major construction projects. If this information is confidential, place in a separate sealed envelope clearly marked "confidential" and it will be returned after the selection process. This information will be held confidential.

7. Arbitration, Mediation and Litigation History

List any claims, disputes ending in mediation, arbitration, or litigation associated with any project (initiated either by your company or against your company) in the past five (5) years that has not been settled/adjudicated in your favor.

State whether your firm has been terminated for cause on any project within the past ten (10) years and, if so, attach a description of each instance.

List and briefly describe all legal actions for the past five (5) years in which the Proposer has been a debtor in bankruptcy or a defendant in a lawsuit for deficient performance under an agreement or contract and damages claimed; or a respondent in an administrative action for deficient performance on a project; or a defendant in a criminal action.

**Selection Process**

1. The Selection Committee will review all proposals received in accordance with the following criteria:
  - a. **Fees (Objective) 50 points.**
  - b. **Successful experience in constructing similar facilities and CMAR process (Subjective) 20 points**
  - c. **Qualifications of the proposed project team (Subjective) 15 points.**
  - d. **Proposed approach, management plan, and financial information (Subjective) 15 points.**
2. The Selection Committee reserves the right to interview all qualified firms.
3. The Selection Committee will recommend contract negotiations with the highest-ranked firm. If negotiations are not successful, CMHA will negotiate with the second-ranked proposer, and so on.

**CMHA intends to award the preconstruction portion of the contract after the selection committee's recommendation. Construction will be awarded at a later date pending CMHA board approval.**

**List of Exhibits**

**EXHIBIT A**

Fee Sheet and Addendum Acknowledgement (must be sealed separately within the submission)

**EXHIBIT B**

Progress Plans and Rendering

**EXHIBIT C**

Section 3 requirements

**EXHIBIT D**

Minority Business Enterprise requirements

**EXHIBIT A**

**Aspire Columbus (The Project) Proposal Form:**

Proposing Firm: \_\_\_\_\_

Signature: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

1. **CMAR Fees:** Amount established by and agreed to by both parties, which is the full amount of compensation due to the CMAR as gross profit and for all expenses of the Project not included and identified as the Cost of the Work, provided that the CMAR performs all requirements of the Contract Documents within the time limits established.

A. Pre-Construction Fee:           \$\_\_\_\_\_ (lump sum)

B. General Conditions:           \$\_\_\_\_\_ % (percent of Guaranteed Maximum Price)

C. Construction Fee:           \$\_\_\_\_\_ % (percent of Guaranteed Maximum Price)

**Addendum Acknowledgement**

Number	Date	Number	Date
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

**NOTARY**

Notary#: \_\_\_\_\_

Name: \_\_\_\_\_

Expiration: \_\_\_\_\_

Signature: \_\_\_\_\_

Seal



# OHFA PROPOSAL APPLICATION

**PROJECT:** ASPIRE COLUMBUS

**OWNER / DEVELOPER:** ASPIRE COLUMBUS, LLC  
COLUMBUS METROPOLITAN HOUSING AUTHORITY (CMHA)  
880 EAST 11TH AVE.  
COLUMBUS, OHIO 43211  
(614) 421-6066

**SITE ADDRESS:** 360 SOUTH THIRD STREET COLUMBUS, OHIO 43215

**SITE INFORMATION:**  
**ZONING:** SEE SITE PLANS  
**AREA:** SEE SITE PLANS  
**PARKING:** SEE OVERALL SITE PLAN  
PROPOSED = xx SPACES

**APPLICABLE CODES:**  
**BUILDING CODES:** OHIO BUILDING CODE: 2017  
OHIO PLUMBING CODE: 2017  
OHIO MECHANICAL CODE: 2017  
NATIONAL ELECTRIC CODE: 2017  
OHIO FIRE CODE: 2017  
COLUMBUS OHIO ZONING CODE  
NFPA 101 LIFE SAFETY CODE 2015  
**ENERGY:** INTERNATIONAL ENERGY CONSERVATION CODE: 2012  
INTERNATIONAL FUEL GAS CODE: 2015  
ASHRAE 90.1 2010  
**ACCESSIBILITY:** ICC A117.1-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
**SUSTAINABILITY:** ENTERPRISE GREEN COMMUNITIES OR LEED CERTIFICATION

**BUILDING DATA:**  
**CONSTRUCTION TYPE:** 3B

**MIXED USE GROUP:** R-2 (RESIDENTIAL)  
A-3 (ASSEMBLY)  
B (BUSINESS)

**ALLOWABLE HEIGHT:** R-2, A-3, B, = 5 STORIES; 75 FEET

**ACTUAL HEIGHT:** 5 STORIES; 61 FEET

**ALLOWABLE AREA SF:** R-2, A-3, B, = 64,000 SQ.FT

**ALLOWABLE AREA INCREASE FOR SPRINKLERS:** N/A  
**ALLOWABLE AREA INCREASE FOR OPEN PERIMETER:** N/A

**ACTUAL FLOOR AREAS:** 17,356 (GROUND FLOOR)  
51,504 (17,168 PER TYPICAL FLOOR)  
14,709 (FIFTH FLOOR)  
**83,569 TOTAL**

**BUILDING DATA (CONTINUED):**  
**FIRE SUPPRESSION:** NFPA-13  
**FIRE RESISTANCE RATINGS TABLE 601 (403.2.1.1 USE TYPE IIA)**  
EXTERIOR BEARING WALLS: 2 HR  
INTERIOR BEARING WALLS: 0 HR  
INTERIOR NONBEARING WALLS: 0 HR  
FLOOR CONSTRUCTION: 0 HR  
ROOF CONSTRUCTION: 0 HR  
DWELLING UNIT SEPARATION (VERTICAL AND HORIZONTAL PER 420): 1 HR  
STAIR / SHAFT ENCLOSURES: 2 HR  
ELEVATOR EQUIPMENT ROOM: 2 HR  
CORRIDORS: 1 HR  
SEPARATED MIXED USES: 1 HR

NONBEARING EXTERIOR WALLS 1 HR (A, B, I, R, S-2)  
2 HR (M)

RESIDENTIAL UNIT MIX			82 TOTAL UNITS
<b>STUDIO UNITS</b>			<b>17 UNITS</b>
TYPICAL	14 UNITS	XXX GSF (AVG.)	
TYPE A	2 UNITS	XXX GSF	
SENSORY	X UNIT	XXX GSF	
<b>1-BEDROOM UNITS</b>			<b>33 UNITS</b>
TYPICAL	29 UNITS	XXX GSF (AVG.)	
TYPE A	4 UNITS	XXX GSF	
SENSORY	X UNIT	XXX GSF	
<b>2-BEDROOM UNITS</b>			<b>23 UNITS</b>
TYPICAL	21 UNITS	XXX GSF (AVG.)	
TYPE A	2 UNITS	XXX GSF	
SENSORY	X UNIT	XXX GSF	
<b>3-BEDROOM UNITS</b>			<b>9 UNITS</b>
TYPICAL	9 UNITS	XXX GSF (AVG.)	
TYPE A	X UNITS	XXX GSF	
SENSORY	X UNIT	XXX GSF	

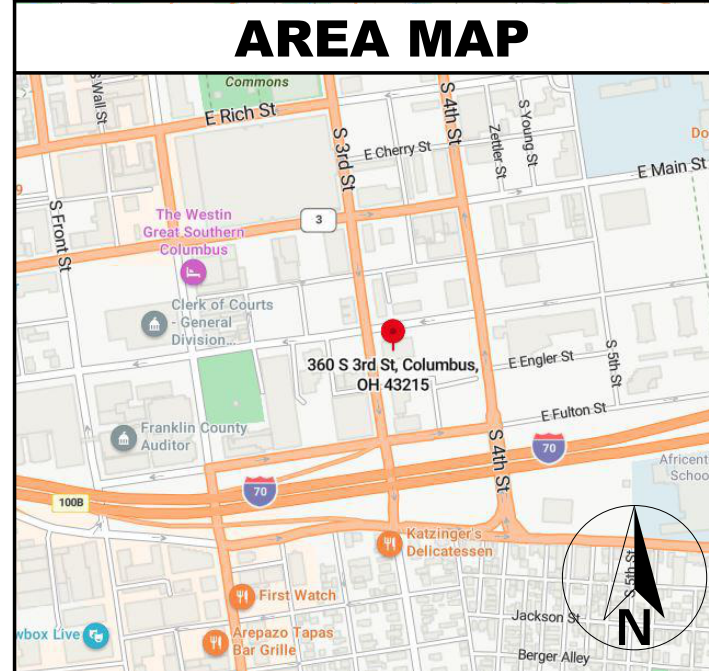
REQUIRED MOBILITY UNITS (10%) = 10 REQUIRED / 10 PROVIDED (ANSI TYPE A)

REQUIRED SENSORY UNITS (2%) = 1.64 REQUIRED / 2 PROVIDED (HEARING / VISUALLY IMPAIRED)

**GREEN CERTIFICATION**  
THIS PROJECT WILL PURSUE LEED SILVER CERTIFICATION

**PROJECT DESCRIPTION:**  
ASPIRE COLUMBUS IS AN 82-UNIT, FIVE STORY MULTI-FAMILY RESIDENTIAL FACILITY. THE PROPOSED BUILDING WILL HAVE FIRST FLOOR AMENITY SPACES AND A MIX OF DWELLING UNITS. THE DWELLING UNITS CONTINUE UP FROM THE SECOND FLOOR TO THE FIFTH FLOOR. THE FIFTH FLOOR WILL ALSO FEATURE ANOTHER OPEN AIR TERRACE WITH AN INDOOR / OUTDOOR KITCHENETTE. THE ROOF WILL INCLUDE A MECHANICAL SPACE. THE EXTERIOR MATERIALS WILL INCLUDE BRICK VENEER WITH CAST STONE ON THE FIRST FLOOR AND METAL PANELS WITH ACCENT METAL TILES TO COVER THE REMAINING BUILDING.

THE PROPOSED FIVE STORY BUILDING WILL BE WOOD STUD FRAMED CONSTRUCTION AND HAVE A MEMBRANE ROOF SYSTEM. THE BUILDING WILL HAVE A MIX OF STUDIO, 1, 2, AND 3-BEDROOM UNITS. ALUMINUM WINDOW SYSTEMS ARE PROPOSED FOR THE DWELLING UNITS AND STOREFRONT FOR THE FIRST FLOOR AND AMENITY AREAS. THE BUILDING WILL HAVE ELEVATORS SERVING THE LOBBY AND EACH FLOOR. DWELLING UNIT DOORS WILL BE PRE-HUNG, SOLID CORE. ALL FINISHES WILL MEET THE REQUIREMENTS OF OHFA'S QAP. SEE FOLLOWING DRAWING SHEETS FOR ADDITIONAL INFORMATION.



DRAWING INDEX - PRELIMINARY APPLICATION	
SHEET NUMBER	SHEET NAME
A1.0	SITE PLAN
A1.1	GROUND FLOOR
A1.2	TYPICAL FLOOR
A1.3	FIFTH FLOOR
A1.4	ROOF LEVEL
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	ELEVATIONS
A3.4	RENDERINGS
A3.5	RENDERINGS
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	TYPICAL WALL SECTIONS
A5.1	TYPICAL WALL SECTIONS
A6.0	ENLARGED UNIT FLOOR PLANS
A6.1	ENLARGED UNIT FLOOR PLANS
A6.2	ENLARGED UNIT FLOOR PLANS
A6.3	ENLARGED UNIT FLOOR PLANS
A6.4	ENLARGED UNIT FLOOR PLANS
A6.5	ENLARGED UNIT FLOOR PLANS
A6.6	ENLARGED UNIT FLOOR PLANS
A6.7	ENLARGED UNIT FLOOR PLANS
A6.8	ENLARGED UNIT FLOOR PLANS
A9.0	TYPICAL UNIT FINISHES
A9.1	TYPICAL AMENITY FINISHES
A9.2	FINISH LEGEND
G0.0	COVER SHEET
G1.0	DRAWING INDEX & PROJECT SUMMARY
G1.1	UNIVERSAL DESIGN NARRATIVE
G2.0	STRUCTURAL SCOPE NARRATIVE
G2.1	ELECTRICAL SCOPE NARRATIVE
G2.2	ELECTRICAL SCOPE NARRATIVE
G2.3	ELECTRICAL SCOPE NARRATIVE
G2.4	PLUMBING SCOPE NARRATIVE
G2.5	FIRE PROTECTION SCOPE NARRATIVE
G2.6	HVAC SCOPE NARRATIVE
G2.7	HVAC SCOPE NARRATIVE
G2.8	LANDSCAPE SCOPE NARRATIVE
G3.0	AREA PLANS - GROSS BUILDING
G3.1	AREA PLANS - GROSS
G3.2	AREA PLANS - NET
SCHEMATIC: 42	
Grand total: 42	



## UNIVERSAL DESIGN NARRATIVE

THE SCOPE OF WORK INCLUDES ONE (1) NEW MID RISE RESIDENTIAL BUILDING. THE DESIGN OF INTERIOR AREAS WILL INCORPORATE PRINCIPLES OF UNIVERSAL DESIGN WHICH INCLUDE EQUITABLE USE, FLEXIBILITY IN USE, SIMPLE, INTUITIVE USE, PERCEPTIBLE INFORMATION AND TOLERANCE FOR ERROR, LOW PHYSICAL EFFORT, AND SIZE AND SPACE FOR APPROACH AND USE. THE INTENT IS TO IMPLEMENT UNIVERSAL DESIGN FEATURES IN THE PROJECT THROUGHOUT. AS REQUIRED FOR OFHA HTC PROJECTS, ASPIRE COLUMBUS WILL PURSUE UNIVERSAL DESIGN FEATURES. AS NEW CONSTRUCTION, THE PROJECT WILL FULLY INCORPORATE MANDATORY UNIVERSAL DESIGN FEATURES AS REQUIRED BY OHFA'S QAP.

PRINCIPLES OF UNIVERSAL DESIGN:

**#1 EQUITABLE USE** – THE BUILDING AND UNIT ENTRANCES WILL HAVE A ZERO-STEP ENTRANCE AND ACCESSIBLE TOILETS (PUBLIC USE ON FIRST FLOOR) AND USABLE BATHROOM (UNITS) THAT MEETS THE VISITABILITY REQUIREMENTS. UNIVERSAL DESIGN FEATURES WILL BE IMPLEMENTED TO MAKE THE UNITS USER FRIENDLY. PARKING WILL BE PROVIDED ALONG AN ACCESSIBLE ROUTE. ACCESSIBLE PARKING SPACES WILL BE LOCATED CLOSEST TO THE BUILDING ENTRANCES TO PROVIDE DIRECT ACCESS TO THE BUILDING.

**#2 FLEXIBILITY IN USE** – RESIDENTIAL UNITS WILL PROVIDE BLOCKING AROUND TOILETS FOR THE INSTALLATION (ACCESSIBLE BATHS) AND FUTURE INSTALLATION (NON-ACCESSIBLE BATHS) OF GRAB BARS AND AN OPEN FLOOR PLAN FOR EASY MANEUVERABILITY. WHERE TUBS ARE INSTALLED IN NON-ACCESSIBLE BATHS, BLOCKING WILL BE PROVIDED FOR THE FUTURE INSTALLATION OF GRAB BARS. WHERE TUBS OR ROLL-IN SHOWERS ARE INSTALLED IN ACCESSIBLE BATHS, BLOCKING AND GRAB BARS WILL BE PROVIDED.

**#3 SIMPLE, INTUITIVE USE** – THE LAYOUT OF THE RESIDENTIAL UNITS IS EASY TO UNDERSTAND REGARDLESS OF THE USER'S EXPERIENCE, KNOWLEDGE, LANGUAGE SKILLS, OR CURRENT CONCENTRATION LEVEL.

**#4 PERCEPTIBLE INFORMATION** – EXTERIOR AND INTERIOR ILLUMINATION HELP RESIDENTS AND GUESTS FEEL SECURE AND MOVE COMFORTABLY AROUND A ROOM. THE FLOORING AND FINISHES IN THE RESIDENTIAL UNITS WILL BE DESIGNED TO PROVIDE SLIP-RESISTANT FLOORING. MATERIALS WITH EASY TO READ OR MINIMUM PATTERN WILL BE SELECTED TO ACCOMMODATE THE SENSE OF PERCEPTION OF AGING PERSONS OR PERSONS WITH VISUAL IMPAIRMENTS.

**#5 TOLERANCES FOR ERROR** – THE ROUTE AROUND THE BUILDING AND INTO THE RESIDENTIAL UNITS ALLOWS GUESTS TO SAFELY ACCESS THE RESIDENCE AND PROTECT FROM ACCIDENTAL AND TRIPPING/FALLING. MAIN EXTERIOR ENTRANCE WILL BE COVERED TO PROTECT THE RESIDENTS AND GUESTS FROM THE WEATHER. ILLUMINATION IS PROVIDED AT EXTERIOR DOORS (INSIDE AND OUTSIDE) FOR ADDED SECURITY AND SAFE EGRESS. IN THE INTERIORS, MINIMAL TRANSITIONS BETWEEN FLOORING MATERIALS WILL BE INCORPORATED TO AVOID TRIPPING HAZARDS. SLIP-RESISTANT LVT FLOORING WILL BE LOCATED THROUGHOUT THE UNITS.

**#6 LOW PHYSICAL EFFORT** – UNIT DOOR HARDWARE, PLUMBING, MECHANICAL AND ELECTRICAL CONTROLS ACCESSIBLE TO THE RESIDENTS AND WILL REQUIRE LOW EFFORT TO OPERATE. DEVICES INCLUDED IN THIS PROJECT WILL BE LOCATED NO LESS THAN 18" (OUTLETS) ABOVE THE FLOOR AND NO HIGHER THAN 42" ABOVE THE FLOOR.

**#7 SIZE AND SPACE FOR APPROACH AND USE** – THE NEW RESIDENTIAL BUILDING WILL PROVIDE VARIOUS TYPES OF ANSI TYPE A UNITS WITH FEATURES THAT INCLUDE MANEUVERABILITY WITHIN THE UNITS.

### SITE DESIGN:

- ALL COMMON OPEN SPACE AREAS WILL BE ON AN ACCESSIBLE ROUTE.
- ADEQUATE NON-GLARE LIGHTING AT WALKWAYS, ACCESSIBLE ROUTES, AND EXTERIOR SPACES

### BUILDING ENTRANCES

- ZERO-STEP ENTRY, MINIMUM 36-INCH DOOR AT THE BUILDING ENTRY WITH REQUIRED DOOR SWING CLEARANCES.
- A COVERED ENTRANCE AT MAIN BUILDING ENTRY PROVIDES WEATHER PROTECTION AND WILL INCLUDE ADEQUATE NON-GLARE LIGHTING, BOTH INSIDE AND OUTSIDE THE BUILDING ENTRANCE.
- MINIMUM CLEARANCES INSIDE AND OUTSIDE THE BUILDING ENTRY DOORS WILL BE PROVIDED.
- FLOORING MATERIALS WILL BE NON-SLIP ON WALKWAYS AND ENTRYWAYS (EXTERIOR WILL BE IN CONCRETE AND INTERIOR WILL BE LVT).
- BUILDING SIGNAGE WILL BE EASY TO READ WITH HIGH CONTRASTING LETTERS / NUMBERS AND BACKGROUND.

### INTERIOR CIRCULATION

- ADA COMPLIANT THRESHOLDS WILL BE PROVIDED AT ANSI TYPE A UNITS.
- 5 LB. MAXIMUM FORCE TO OPEN DOORS AT ANSI TYPE A UNITS AND USABLE DOORS ON ACCESSIBLE ROUTE
- ADEQUATE NON-GLARE LIGHTING AT STAIRWAYS, LANDINGS, AND HALLWAYS
- MINIMUM CLEARANCES (42-INCHES MINIMUM) WITHIN INTERIOR HALLWAYS WILL BE PROVIDED.
- ANTI-SLIP STRIPS ON FRONT EDGE OF STEPS IN COLOR-CONTRAST MATERIAL IN INTERIOR STAIRS TO BE PROVIDED.
- HANDRAILS PROVIDED ON BOTH SIDES OF INTERIOR STAIRS.

### RESIDENTIAL UNIT ENTRY

- ZERO-STEP ENTRY WITH A 36-INCH DOOR AT ALL RESIDENTIAL UNITS WITH LEVER-STYLE DOOR HANDLE.
- MINIMUM CLEARANCES INSIDE AND OUTSIDE THE RESIDENTIAL UNIT ENTRY DOORS WILL BE PROVIDED.
- 5 LB. MAXIMUM FORCE TO OPEN DOORS.
- NON-SLIP LVT FLOORING IN UNIT FOYER.
- UNIT ENTRIES ARE TREATED AS FRONT PORCHES AND INCLUDE ADEQUATE NON-GLARE LIGHTING TO UNLOCK THE DOOR, BOTH INSIDE AND OUTSIDE THE UNIT ENTRANCE.
- UNIT ENTRY TO PROVIDE ACCESSIBLE/ DUAL PEEPHOLE AT ANSI TYPE A UNITS

### FAUCETS

- PROVIDE ANTI-SCALD FAUCETS WITH LEVER HANDLE FOR ALL SINKS, BATHTUBS AND SHOWERS
- PRESSURE BALANCED FAUCETS

### ELECTRICAL

- LIGHT SWITCHES, ELECTRICAL OUTLETS AND ENVIRONMENTAL CONTROLS WILL BE LOCATED AT ACCESSIBLE LOCATIONS (NO LESS THAN 18" ABOVE THE FLOOR AND NO HIGHER THAN 42" ABOVE THE FLOOR) AND WILL BE EASY TO READ AND SIMPLE TO OPERATE.
- ROCKER, TOUCH LIGHT, OR HANDS-FREE SWITCHES WILL BE USED.
- IN BEDROOMS, PROVIDE EXTRA ELECTRICAL OUTLETS (NO LESS THAN 18" ABOVE THE FLOOR AND NO HIGHER THAN 24" ABOVE THE FLOOR) AND WHERE POSSIBLE, PROVIDE SWITCHED OUTLETS FOR LAMPS, ETC. TO BE TURNED ON WITH WALL SWITCH
- PROVIDE AUDIBLE AND VISUAL ALARMS FOR SMOKE / FIRE / CARBON MONOXIDE IN ALL CODE-REQUIRED ACCESSIBLE AREAS AND ALL UNITS.

### BATHS (RESIDENTIAL UNITS) / TOILETS (PUBLIC)

- IN UNITS, PROVIDE COUNTERTOPS WITH BEVELED / RADIUS CORNERS. OUTSIDE CORNERS ARE TO BE 2-INCH CORNER RADIUS, WATERFALL EDGE WITH 1-INCH RADIUS, OR 2-INCH CHAMFER.
- IN BATHS, PROVIDE ADJUSTABLE-HEIGHT SHOWERHEAD/ HAND-HELD SHOWERHEAD WITH FLEXIBLE HOSE AND EASILY OPERABLE CONTROLS
- NON-GLARE LIGHTING AT VANITIES
- PROVIDE MINIMUM BATH FLOOR CLEARANCES
- PROVIDE TOILETS CENTERED 18-INCHES FROM ANY SIDE WALL, TUB, OR CABINET
- AT ANSI TYPE A UNITS PROVIDE:
  - ROLL-IN SHOWERS WITH ACCESSIBLE THRESHOLD AND REINFORCED GRAB BARS INSTALLED
  - IN-WALL BLOCKING FOR THE INSTALLATION OF GRAB BARS IN WALLS AROUND THE TOILETS
  - CLEAR KNEE SPACE UNDER SINK WITH INSULATED PIPES
- AT ALL UNITS PROVIDE:
  - NON-SLIP FLOORING
  - LOOP HANDLE PULLS ON THE CABINETS THAT ALLOW FOR EASY OPERATION AND LOW-EFFORT
  - 34-INCH MAXIMUM AFF LAVATORY AND COUNTER HEIGHT
  - COLOR CONTRAST BETWEEN FLOOR, COUNTERTOPS AND CABINET FACES
  - IN-WALL BLOCKING FOR THE FUTURE INSTALLATION (TYPICAL UNITS) AND INSTALLATION (ANSI TYPE A UNITS) OF GRAB BARS IN WALLS AROUND THE TUBS AND TOILETS.

### KITCHENS

- MINIMUM 15-INCH CLEAR SPACE ON EACH SIDE OF STOVE, SINK, AND ONE SIDE OF REFRIGERATOR
- NON-GLARE TASK LIGHTING TO ILLUMINATE SINK, STOVE, AND WORK AREAS
- AT PLUMBING FIXTURES, PROVIDE ANTI-SCALD FAUCETS WITH SINGLE-LEVER HANDLE.
- IN UNITS, PROVIDE COUNTERTOPS WITH BEVELED / RADIUS CORNERS. OUTSIDE CORNERS ARE TO BE 2-INCH CORNER RADIUS, WATERFALL EDGE WITH 1-INCH RADIUS, OR 2-INCH CHAMFER.
- PROVIDE MINIMUM KITCHEN FLOOR CLEARANCES
- AT ANSI TYPE A UNITS PROVIDE:
  - FRONT MOUNTED CONTROLS ON THE RANGE
  - CLEAR KNEE SPACE UNDER SINK WITH INSULATED PIPES
  - 34-INCH MAXIMUM AFF SINK AND COUNTER HEIGHT
- AT ALL UNITS PROVIDE:
  - NON-SLIP FLOORING
  - LOOP HANDLE PULLS ON THE CABINETS THAT ALLOW FOR EASY OPERATION AND LOW-EFFORT
  - COLOR CONTRAST BETWEEN FLOOR, COUNTERTOPS AND CABINET FACES
  - ADJUSTABLE HEIGHT SHELVES IN WALL CABINETS

### CLOSETS / STORAGE

- DOORS AND HANDLE PULLS THAT ALLOW FOR EASY OPERATION
- ADJUSTABLE-HEIGHT SHELVING AND/ OR CLOSET RODS OR CLOTHES RODS INSTALLED AT MULTIPLE HEIGHTS



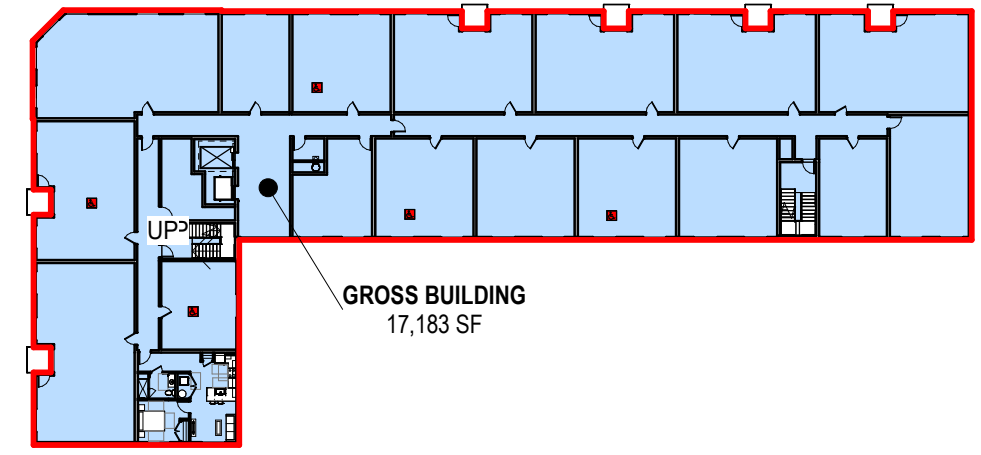
AREA PLAN SCHEDULE (GROSS BLDG)		AREA PLAN SCHEDULE (GROSS BLDG) - EXTERIOR PATIO (UNCOVERED)	
LEVEL	AREA	LEVEL	AREA
GROSS BUILDING		EXTERIOR PATIO (UNCOVERED)	
LEVEL 01	17,356 SF	LEVEL 05	2,454 SF
LEVEL 02	17,183 SF	TOTAL	2,454 SF
LEVEL 03	17,168 SF		
LEVEL 04	17,168 SF		
LEVEL 05	14,787 SF		
TOTAL	83,662 SF		

**GENERAL NOTES AREA PLANS**

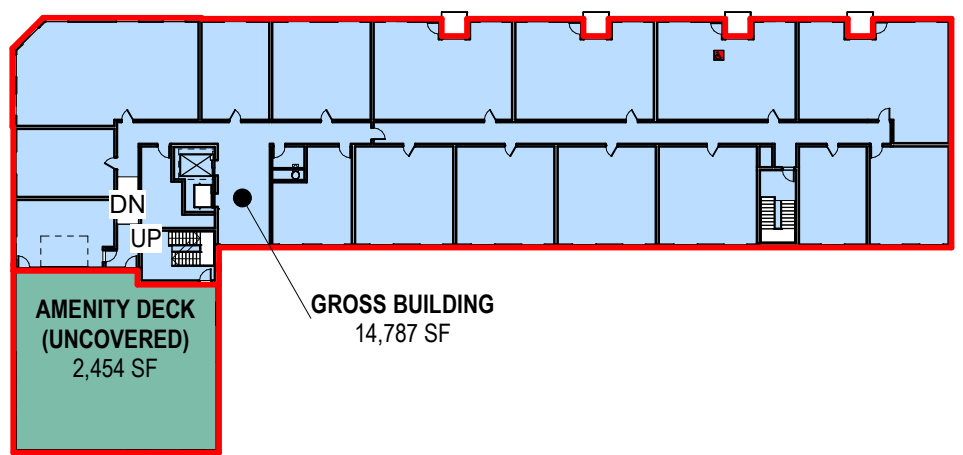
A. REFER TO OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION.

**AREA LEGEND**

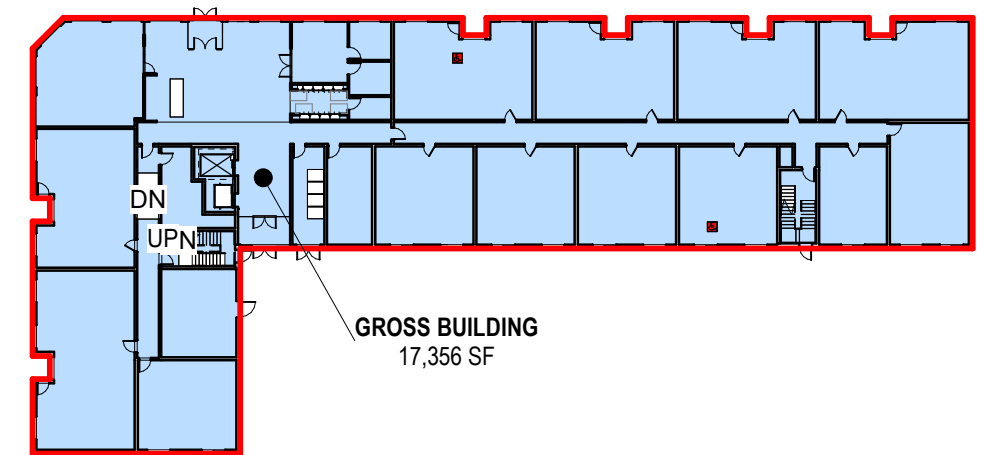
- EXTERIOR PATIO (UNCOVERED)
- GROSS BUILDING



**2 PLAN** LEVEL 02-04 - GROSS BUILDING AREA  
1" = 50'-0"



**3 PLAN** LEVEL 05 - GROSS BUILDING AREA  
1" = 50'-0"



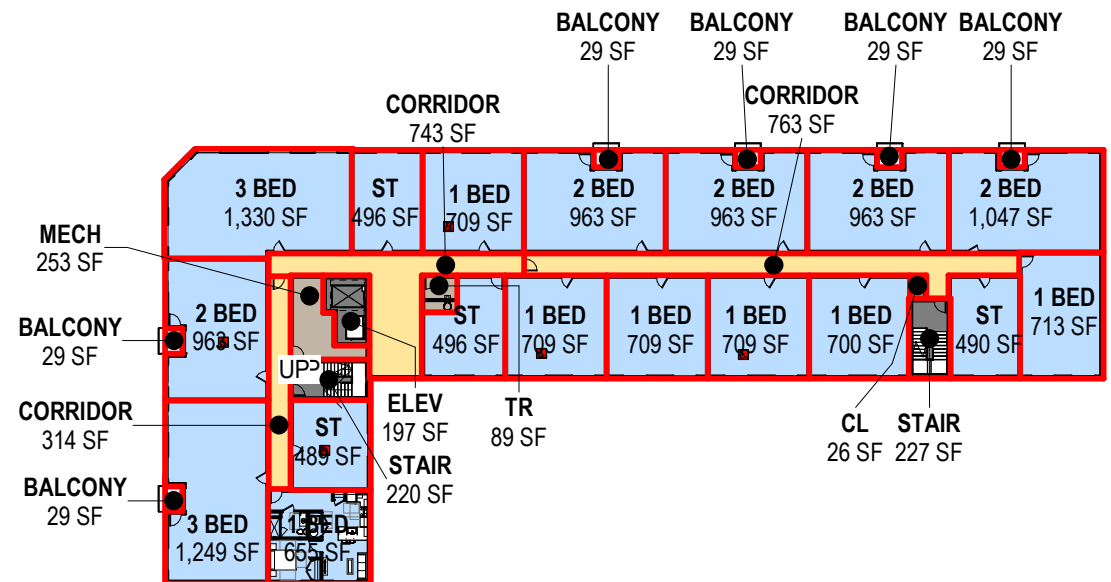
**1 PLAN** LEVEL 01 - GROSS BUILDING AREA  
1" = 50'-0"

AREA SCHEDULE (GROSS)		AREA SCHEDULE (GROSS)	
LEVEL	AREA	LEVEL	AREA
C.A. CIRCULATION		3,359 SF	
Not Placed	0 SF		
LEVEL 01	1,902 SF	RESIDENTIAL	
LEVEL 02	1,820 SF	LEVEL 01	10,970 SF
LEVEL 03	1,819 SF	LEVEL 02	14,351 SF
LEVEL 04	1,819 SF	LEVEL 03	14,366 SF
LEVEL 05	1,742 SF	LEVEL 04	14,366 SF
	9,102 SF	LEVEL 05	11,456 SF
		TOTAL	65,508 SF
C.A. PUBLIC		SUPPORT	
Not Placed	0 SF	LEVEL 01	1,364 SF
LEVEL 01	2,472 SF	LEVEL 02	368 SF
LEVEL 05	489 SF	LEVEL 03	316 SF
	2,961 SF	LEVEL 04	316 SF
		LEVEL 05	368 SF
LIMITED C.A.		TOTAL	
LEVEL 02	176 SF		2,732 SF
LEVEL 05	117 SF		83,954 SF
	293 SF		
MAJOR VERTICAL PENETRATION			
LEVEL 01	648 SF		
LEVEL 02	644 SF		
LEVEL 03	667 SF		
LEVEL 04	667 SF		
LEVEL 05	732 SF		

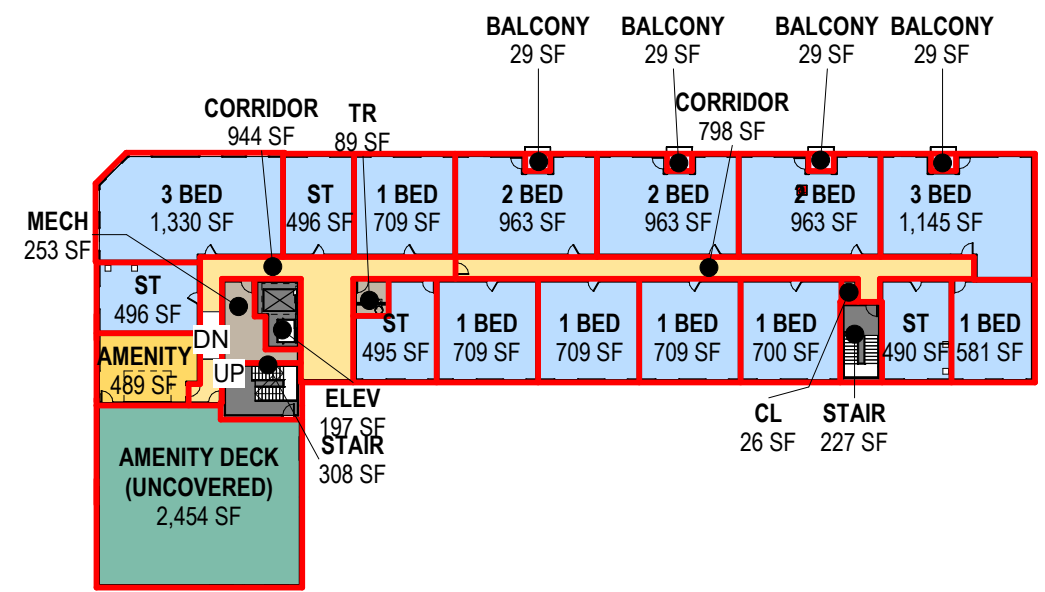
AREA SCHEDULE (GROSS) - EXTERIOR PATIO (UNCOVERED)	
DEPARTMENT	AREA
EXTERIOR PATIO (UNCOVERED)	2,454 SF
TOTAL	2,454 SF

### GENERAL NOTES AREA PLANS

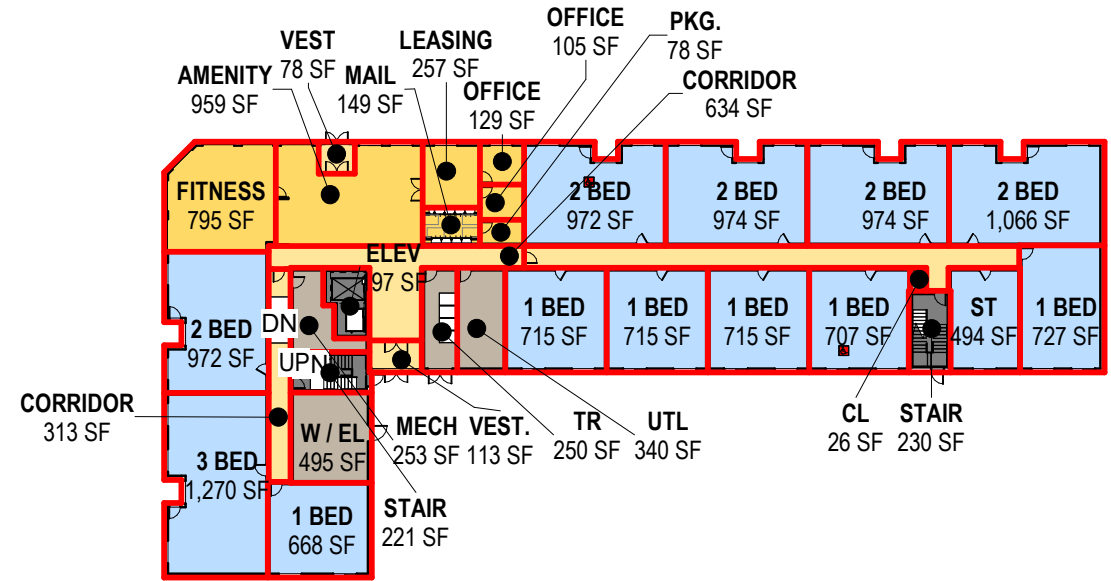
A. REFER TO OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION.



**2 PLAN** LEVEL 02-04 - GROSS AREA  
1" = 50'-0"



**3 PLAN** LEVEL 05 - GROSS AREA  
1" = 50'-0"



**1 PLAN** LEVEL 01 - GROSS AREA  
1" = 50'-0"

### AREA LEGEND

- C.A. CIRCULATION
- C.A. PUBLIC
- EXTERIOR PATIO (UNCOVERED)
- LIMITED C.A.
- MAJOR VERTICAL PENETRATION
- RESIDENTIAL
- SUPPORT

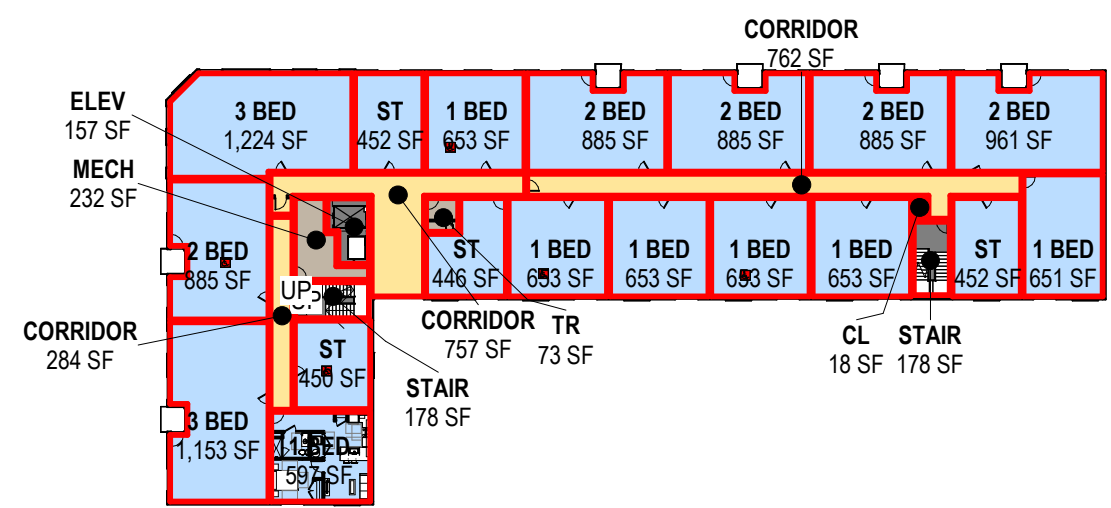
AREA PLAN SCHEDULE (NET)		AREA PLAN SCHEDULE (NET) - EXTERIOR PATIO (UNCOVERED)	
DEPARTMENT	AREA	DEPARTMENT	AREA
C.A. CIRCULATION	8,986 SF	EXTERIOR PATIO (UNCOVERED)	2,347 SF
C.A. PUBLIC	2,728 SF	GRAND TOTAL	2,347 SF
MAJOR VERTICAL PENETRATION	2,683 SF		
RESIDENTIAL	60,147 SF		
SUPPORT	2,410 SF		
GRAND TOTAL	76,954 SF		

**GENERAL NOTES AREA PLANS**

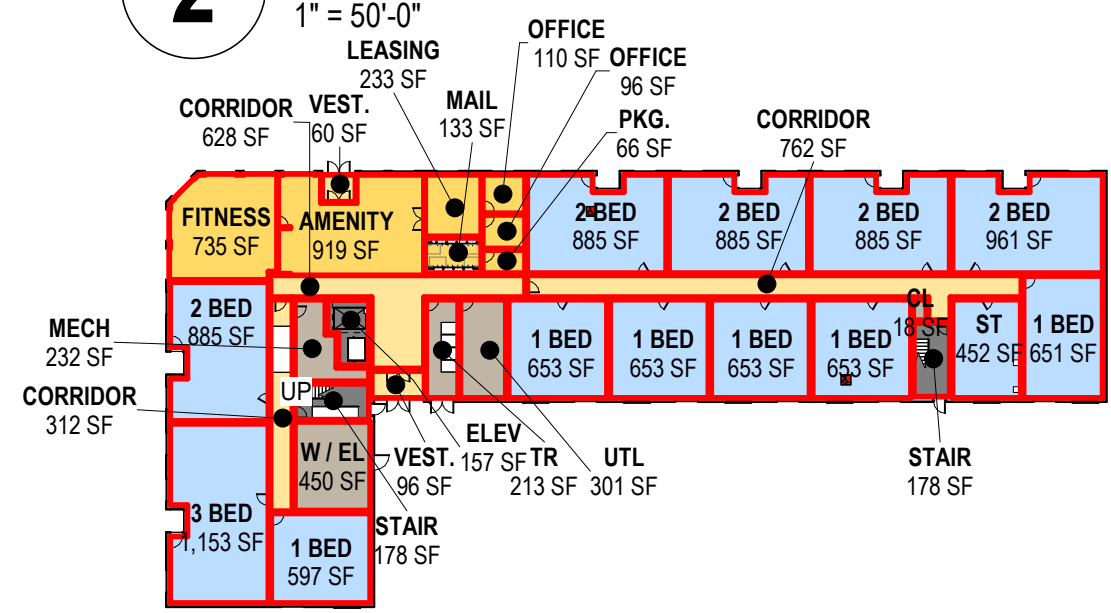
A. REFER TO OVERALL FLOOR PLANS AND ENLARGED UNIT PLANS FOR ADDITIONAL INFORMATION.

**AREA LEGEND**

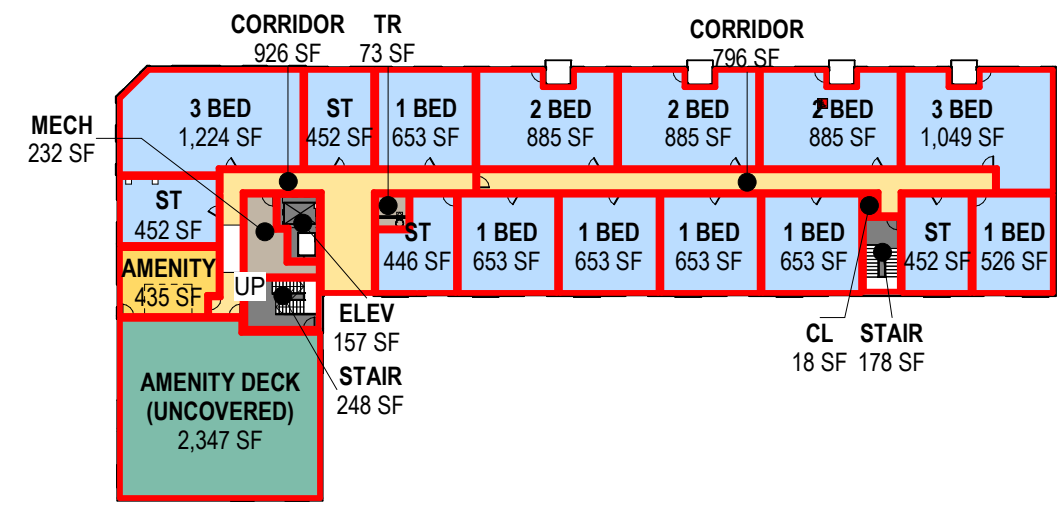
- C.A. CIRCULATION
- C.A. PUBLIC
- EXTERIOR PATIO (UNCOVERED)
- MAJOR VERTICAL PENETRATION
- RESIDENTIAL
- SUPPORT



**2 PLAN** LEVEL 02-04 NET AREA  
1" = 50'-0"



**1 PLAN** LEVEL 01 - NET AREA  
1" = 50'-0"





**3 PLAN** LEVEL 05 - NET AREA  
1" = 50'-0"



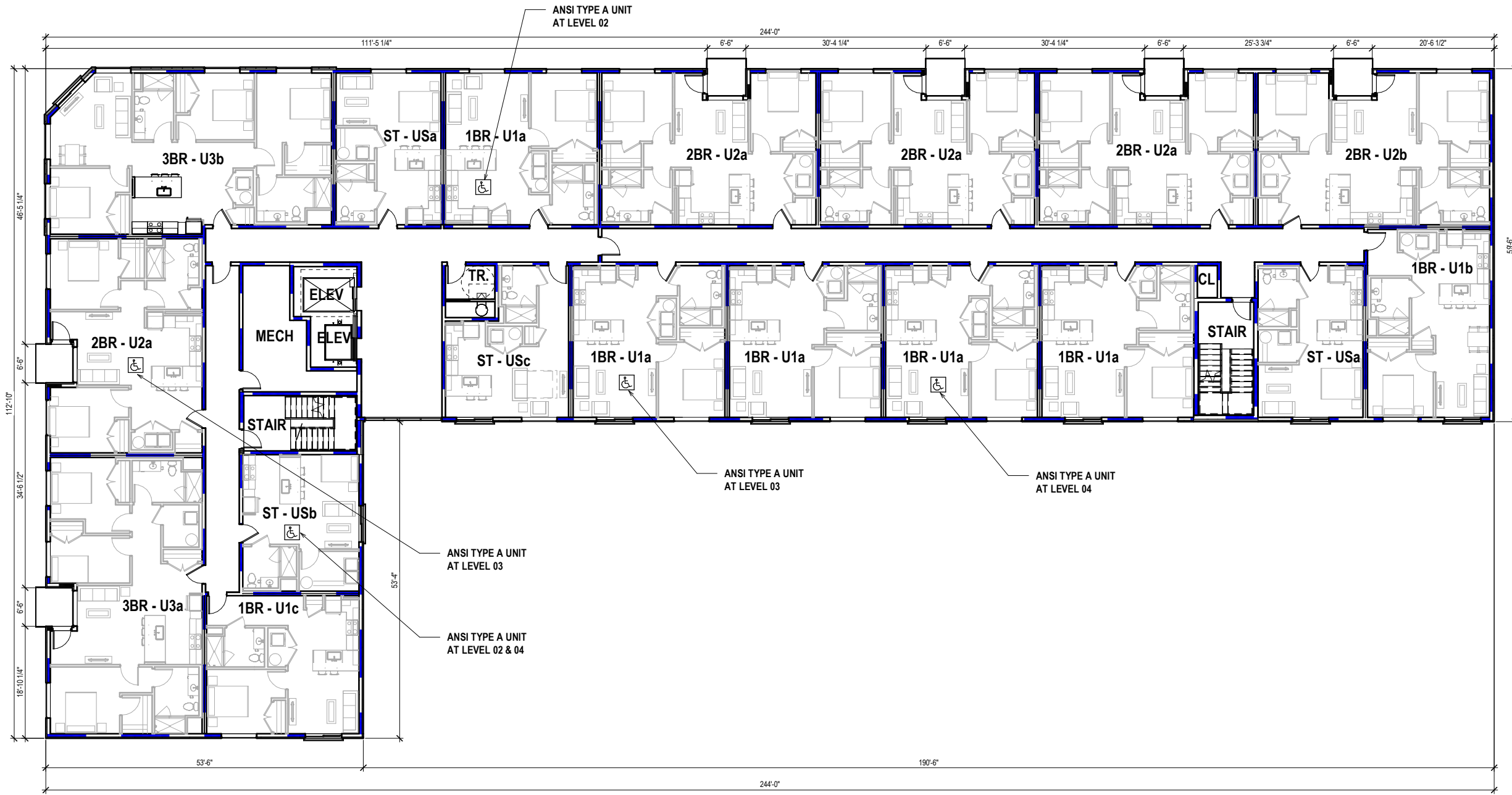
**GENERAL NOTES - FLOOR PLAN**

- A. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
- B. LIGHTED AND LOW THRESHOLD ENTRANCES AT BUILDING ENTRY (MAX. 1/2"). PROVIDE MIN. 5'-0" X 5'-0" LEVEL, ADA FORWARD APPROACH CLEARANCES AT BUILDING ENTRY DOORS.
- C. ACCESSIBLE ROUTE WIDTH SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- D. ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM WIDE CLEARANCE AT DOORS.
- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. ALL UNITS TYPICAL UNLESS NOTED OTHERWISE. SEE ENLARGED FLOOR PLANS FOR UNIT TYPE AND ADDITIONAL INFORMATION.
- G. FLOOR FINISHES TO BE 'WOOD-LOOK' RESILIENT FLOORING IN ALL ROOMS EXCEPT BATH. BATH FLOOR FINISH TO BE 'STONE-LOOK' RESILIENT FLOORING.
- H. NEW CONSTRUCTION TO INCLUDE NEW APPLIANCES-ENERGY STAR RATED WHERE APPLICABLE.
- I. INSTALL LOOP HANDLE PULLS ON ALL KITCHEN CASEWORK.
- J. ANSI TYPE A UNITS: LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS. KITCHENS AND BATHROOMS MUST BE USABLE.

**GENERAL NOTE LEGEND**

-  ANSI TYPE A UNIT
-  SENSORY UNIT (HEARING / VISUALLY IMPAIRED)





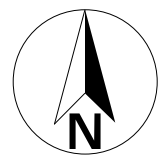


**GENERAL NOTES - FLOOR PLAN**

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- B. LIGHTED AND LOW THRESHOLD ENTRANCES AT BUILDING ENTRY (MAX. 1/2"). PROVIDE MIN. 5'-0" X 5'-0" LEVEL, ADA FORWARD APPROACH CLEARANCES AT BUILDING ENTRY DOORS.
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- J. ANSI TYPE A UNITS: LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS. KITCHENS AND BATHROOMS MUST BE USABLE.

**GENERAL NOTE LEGEND**

-  ANSI TYPE A UNIT
-  SENSORY UNIT (HEARING / VISUALLY IMPAIRED)







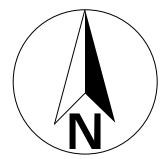


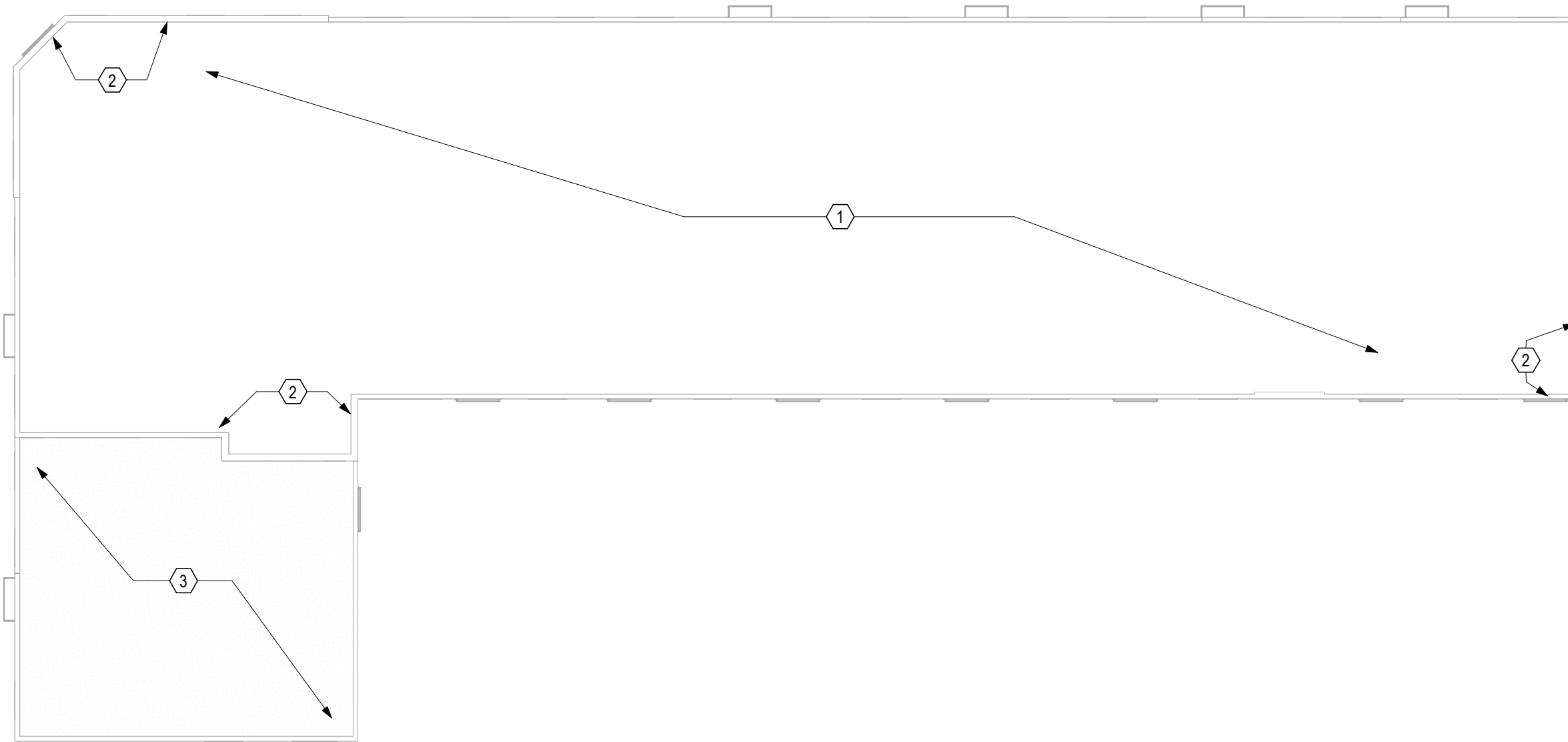
**GENERAL NOTES - FLOOR PLAN**

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- B. LIGHTED AND LOW THRESHOLD ENTRANCES AT BUILDING ENTRY (MAX. 1/2"). PROVIDE MIN. 5'-0" X 5'-0" LEVEL, ADA FORWARD APPROACH CLEARANCES AT BUILDING ENTRY DOORS.
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- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. ALL UNITS TYPICAL UNLESS NOTED OTHERWISE. SEE ENLARGED FLOOR PLANS FOR UNIT TYPE AND ADDITIONAL INFORMATION.
- G. FLOOR FINISHES TO BE 'WOOD-LOOK' RESILIENT FLOORING IN ALL ROOMS EXCEPT BATH. BATH FLOOR FINISH TO BE 'STONE-LOOK' RESILIENT FLOORING.
- H. NEW CONSTRUCTION TO INCLUDE NEW APPLIANCES-ENERGY STAR RATED WHERE APPLICABLE.
- I. INSTALL LOOP HANDLE PULLS ON ALL KITCHEN CASEWORK.
- J. ANSI TYPE A UNITS: LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS. KITCHENS AND BATHROOMS MUST BE USABLE.

**GENERAL NOTE LEGEND**

-  ANSI TYPE A UNIT
-  SENSORY UNIT (HEARING / VISUALLY IMPAIRED)



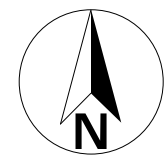


**GENERAL NOTES - ROOF PLAN**

A. R-30ci ROOF SYSTEM WITH INSULATION ENTIRELY ABOVE DECK.

**CODED NOTE LEGEND**

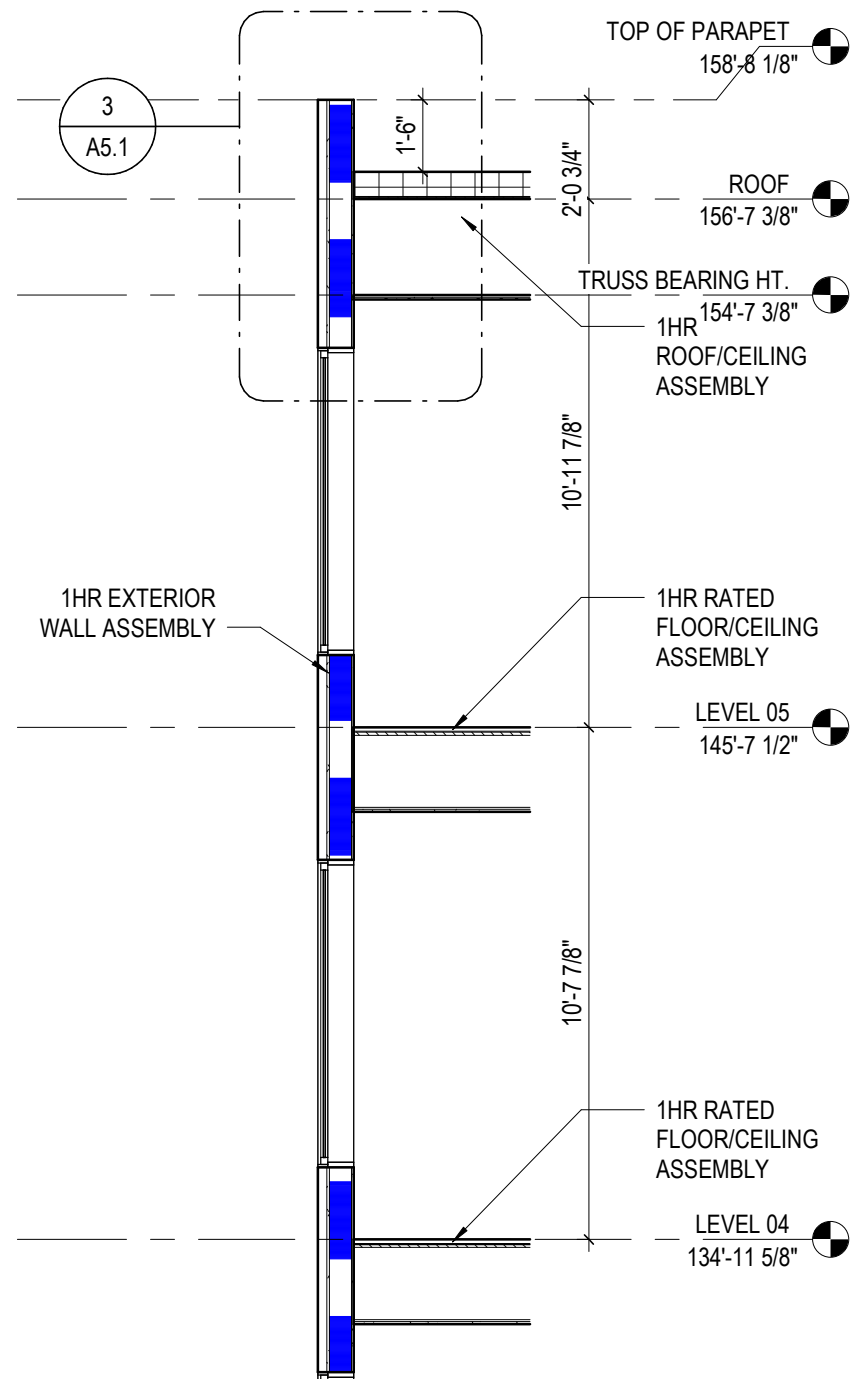
- 1. TPO MEMBRANE ROOFING SYSTEM
- 2. METAL COPING
- 3. AMENITY DECK BELOW
- 4. MEP EQUIPMENT



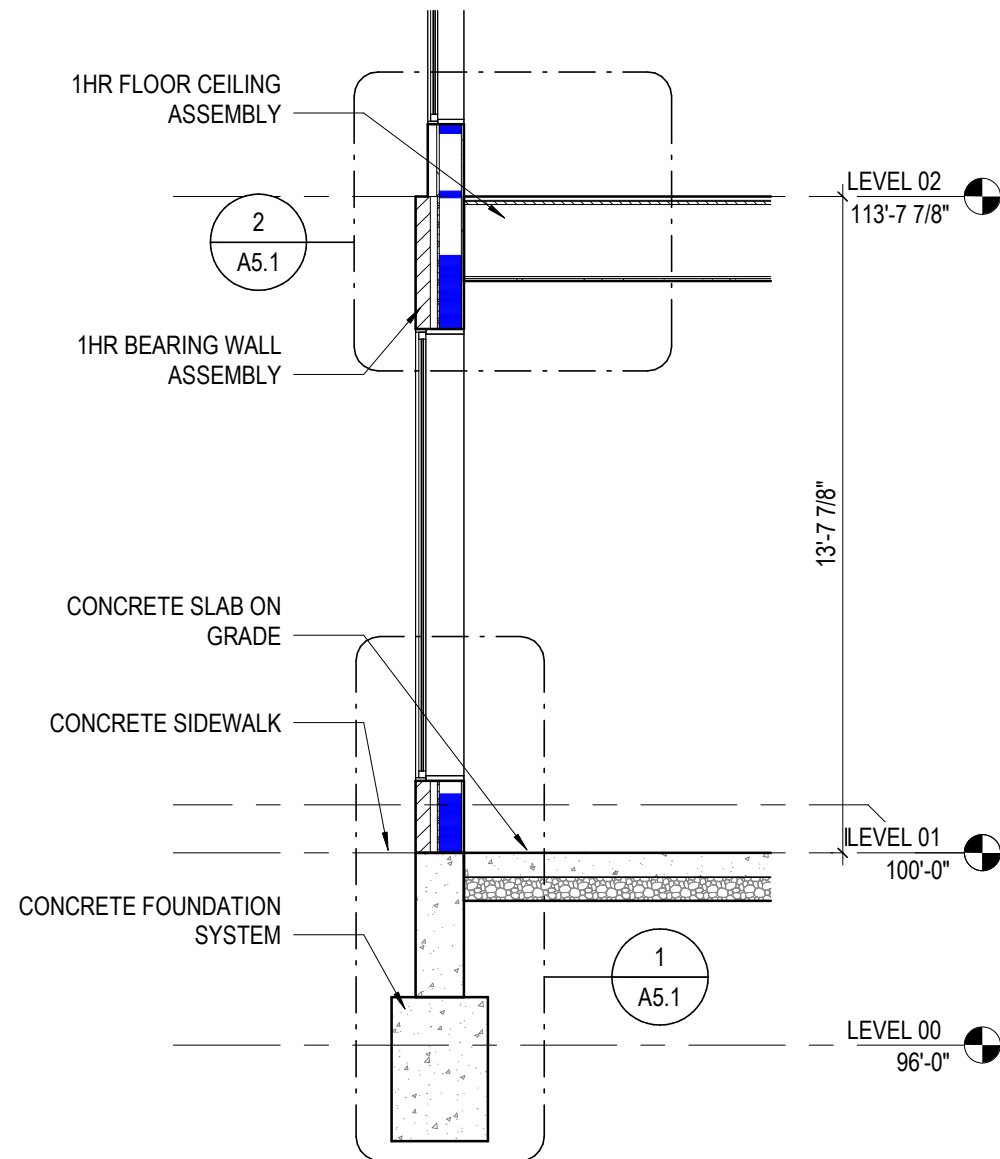




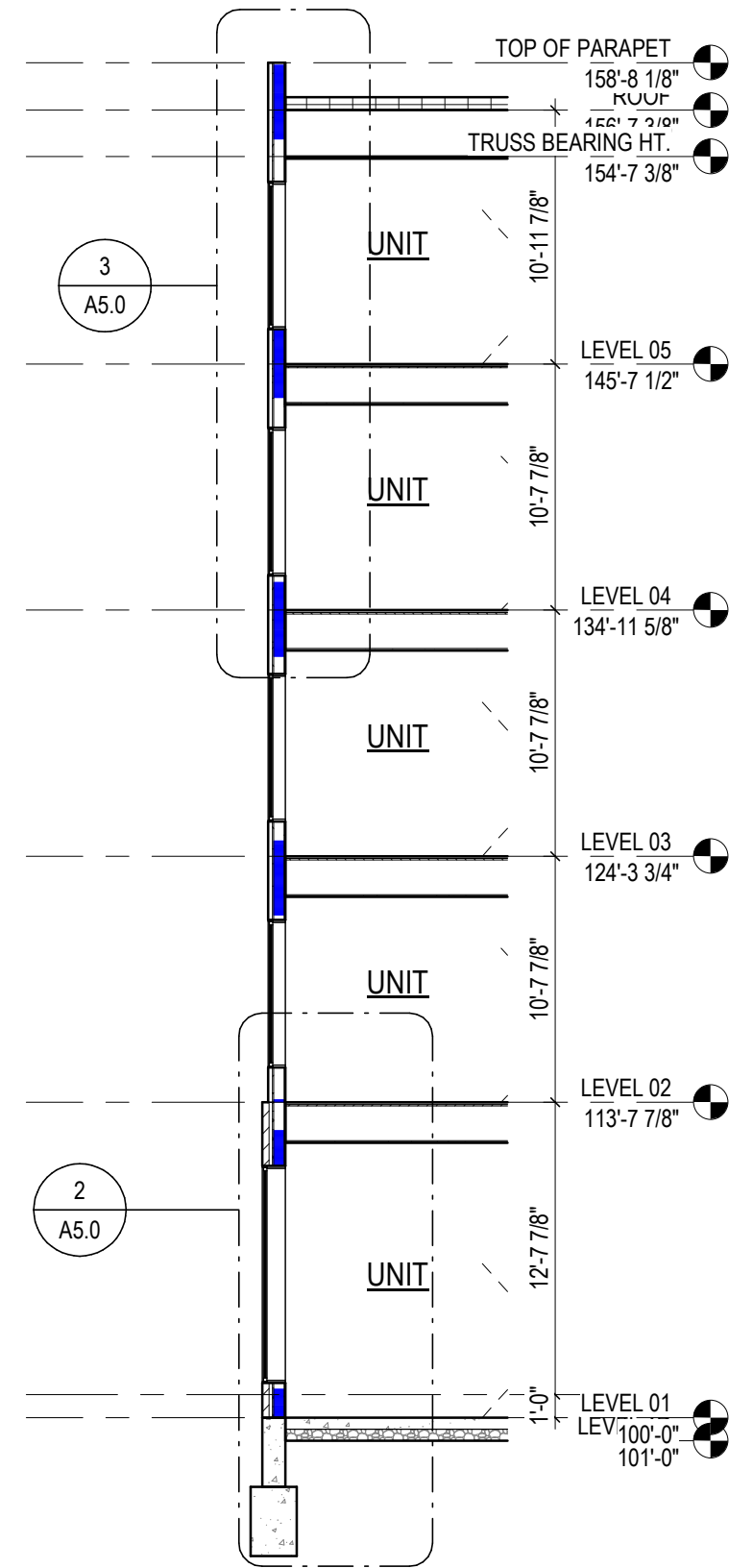




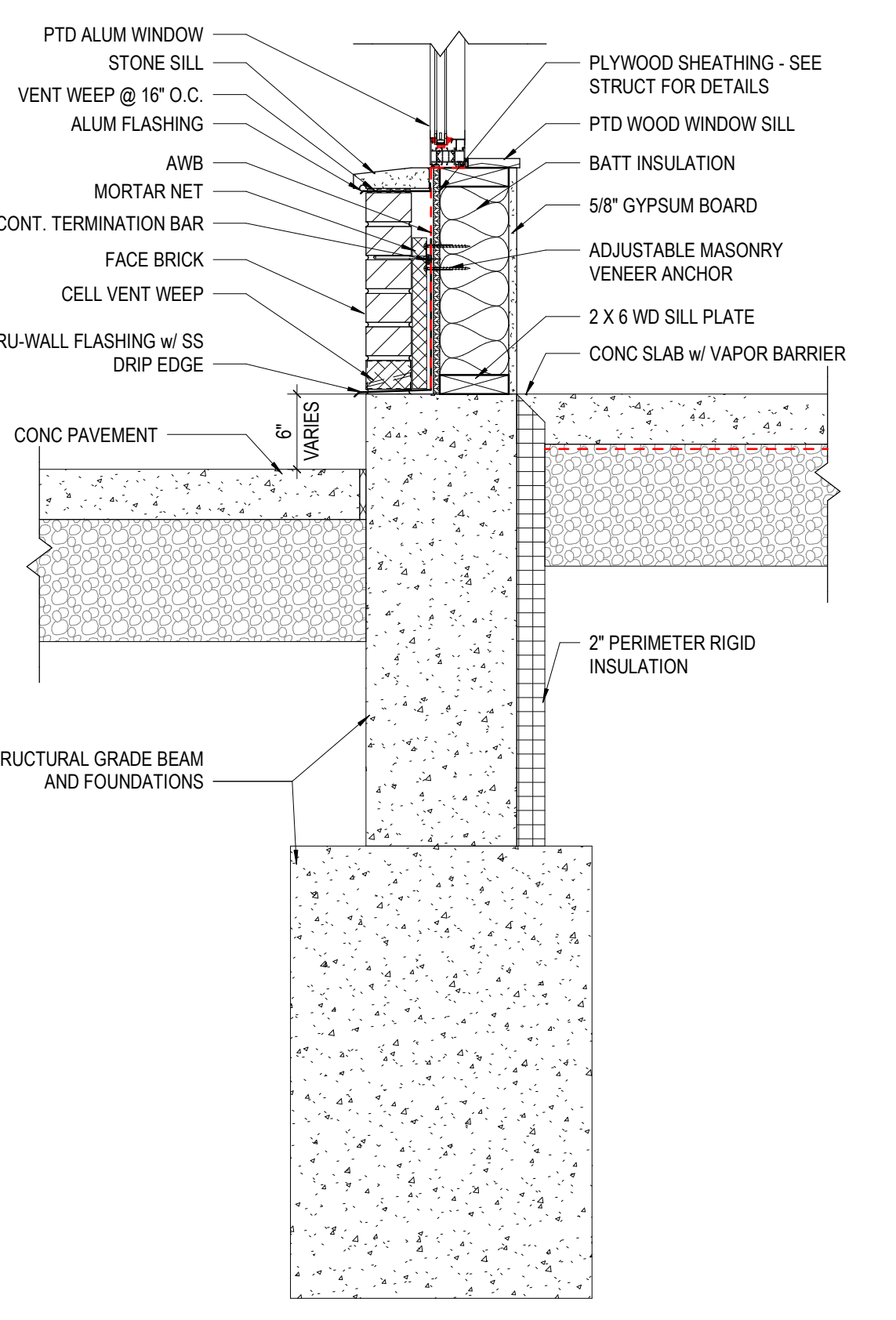
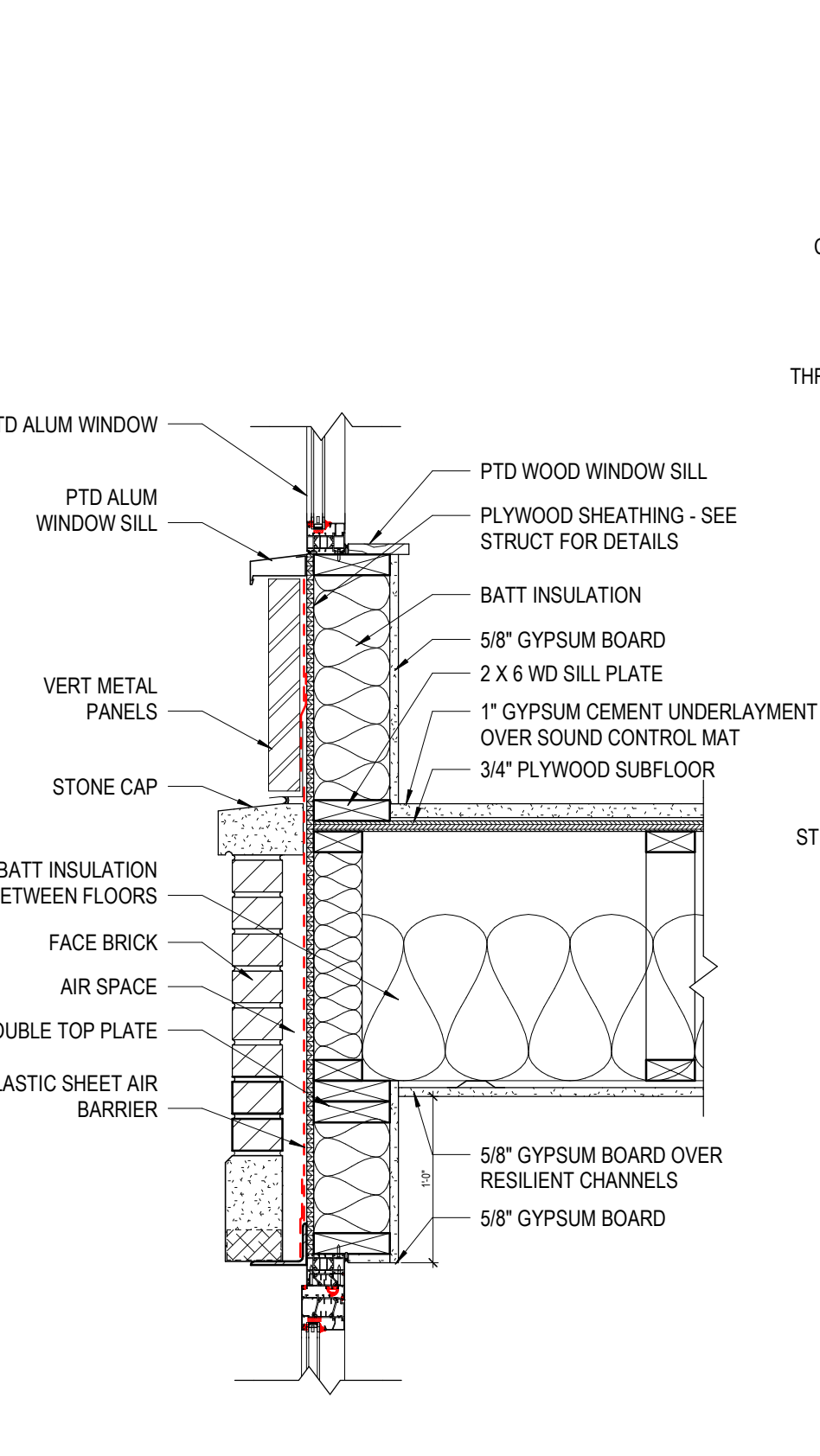
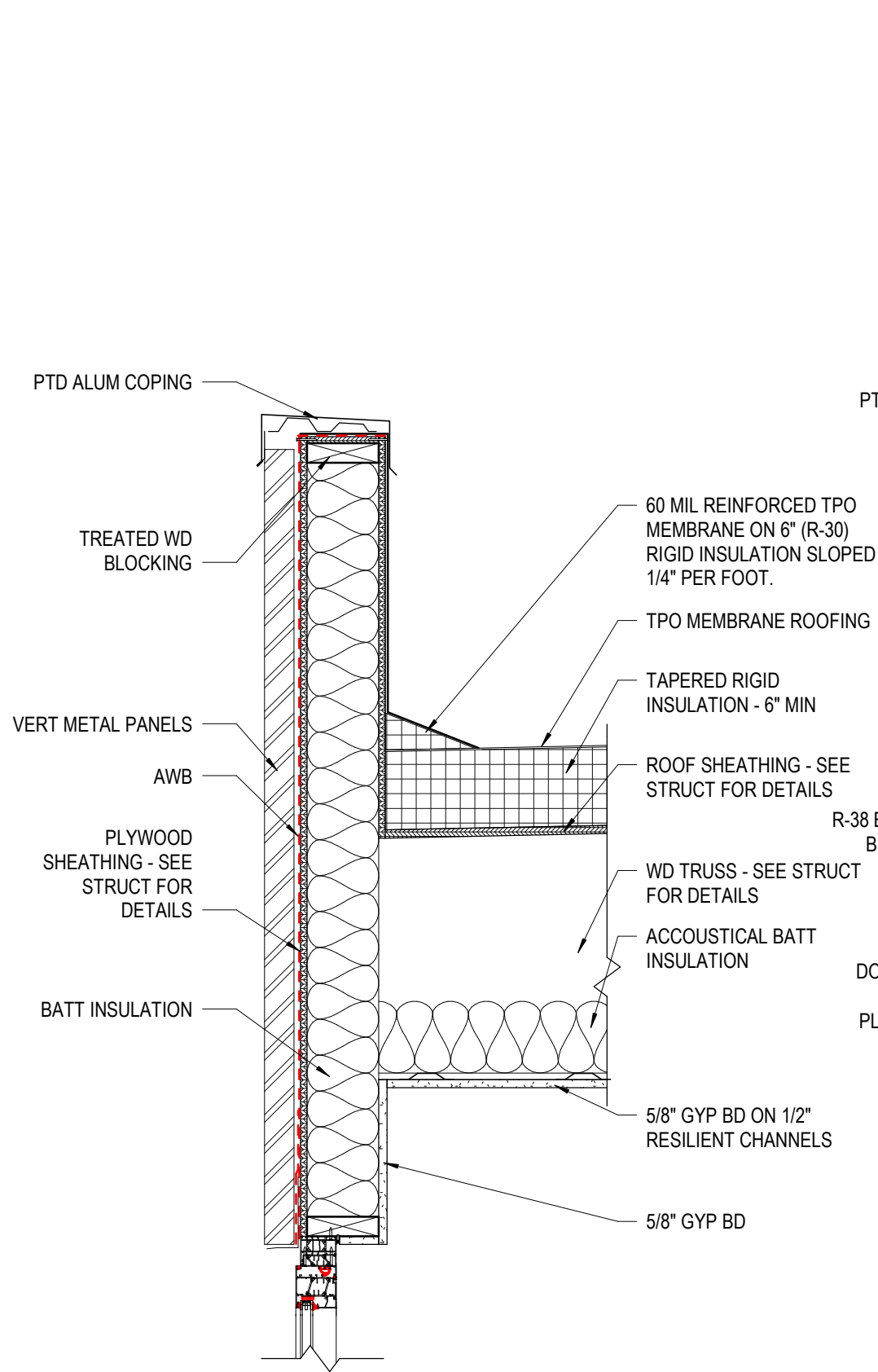
**3 SECTION** TYPICAL PARAPET  
 1/4" = 1'-0" REF: 1 / A5.0



**2 SECTION** TYPICAL FOUNDATION  
 1/4" = 1'-0" REF: 1 / A5.0



**1 SECTION** SOUTH WALL SECTION  
 1/8" = 1'-0" REF: 1 / A001



**3** **DETAIL** TYPICAL PARAPET  
1" = 1'-0" REF: 3 / A5.0

**2** **DETAIL** BRICK TO METAL PANEL TRANSITION  
1" = 1'-0" REF: 2 / A5.0

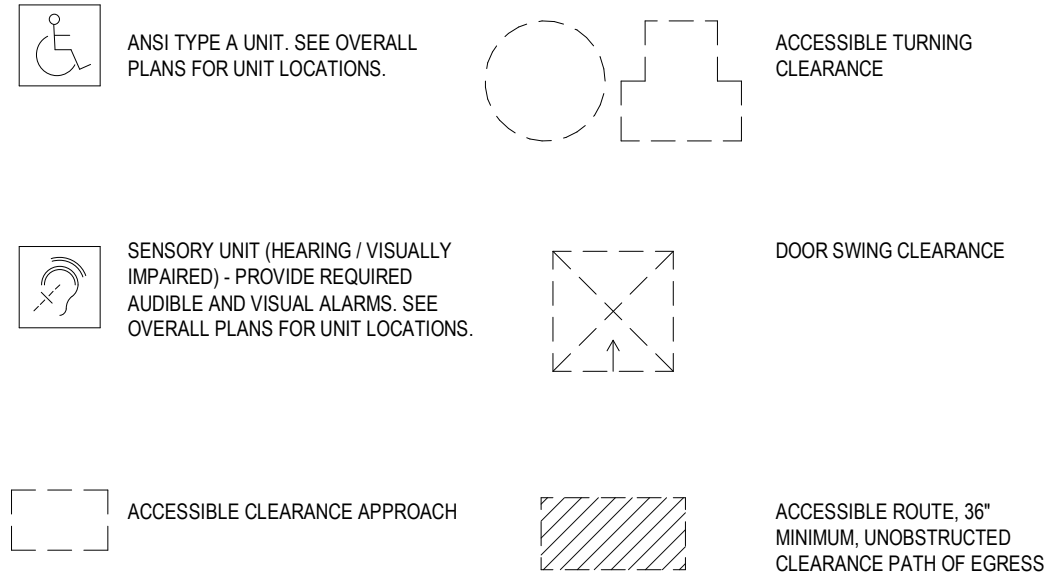
**1** **DETAIL** FOUNDATIONS  
1" = 1'-0" REF: 2 / A5.0

TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR TYPE	DOOR				FRAME		FIRE RATING	REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL	ELEV		
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
C2	CLOSET	5'-0"	6'-8"	WD	AP	WD	1		
C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
M1	MECHANICAL	6'-0"	8'-0"	WD	AP	WD	2		
M2	MECHANICAL	5'-0"	8'-0"	WD	AP	WD	2		
M3	MECHANICAL	3'-0"	8'-0"	WD	AP	WD	1		

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)
- SEE SHEET A701 FOR DOOR AND FRAME ELEVATIONS.

GENERAL NOTES - LEGEND

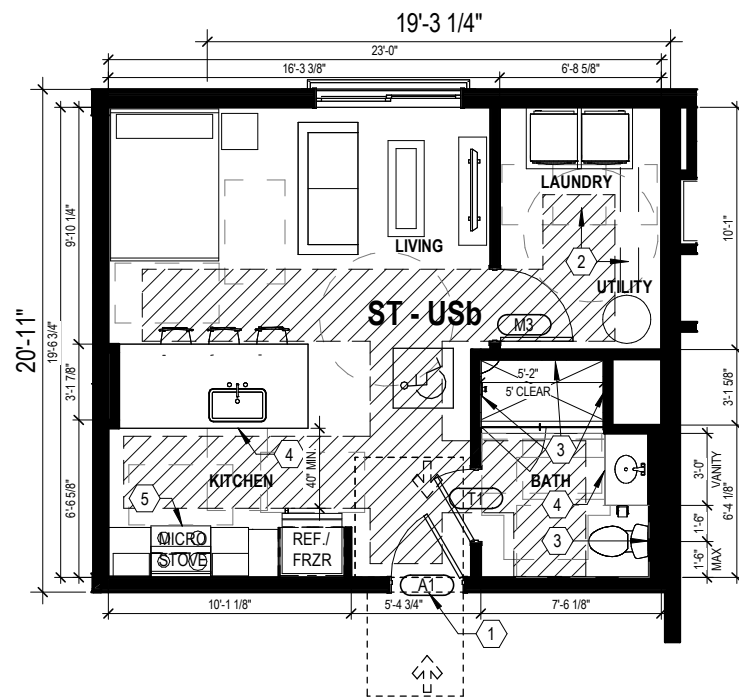


GENERAL NOTES - UNIT PLAN

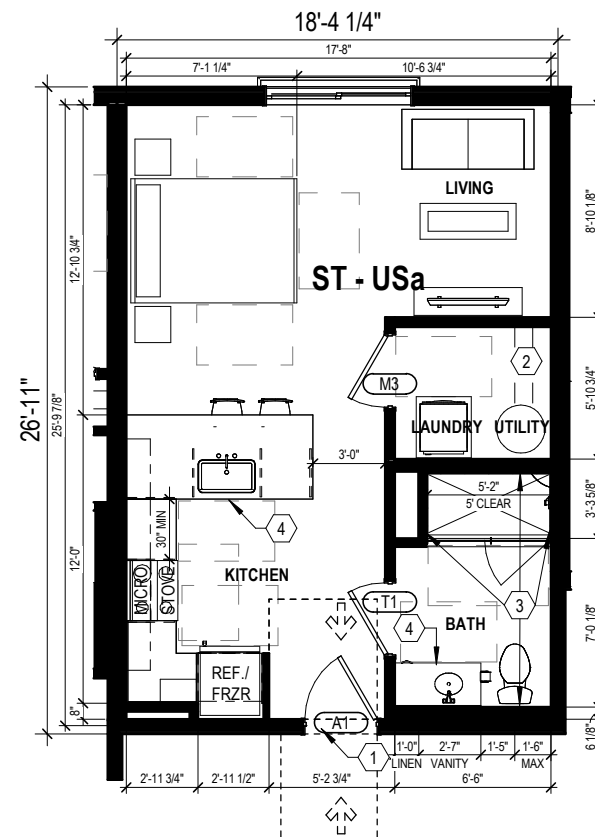
- A. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
- B. LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE MIN. 5'-0" X 5'-0" LEVEL, FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- C. ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- D. ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM CLEARANCE A DOORS.
- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/ CEILING ASSEMBLIES.
- G. MOISTURE-RESISTANT DRYWALL AT ALL BATH CEILINGS & WALLS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS, AND KITCHENS BEHIND SINK BASE.
- H. REMOVABLE BASE CABINET SINK BASES AT ALL UNIT KITCHENS AND BATHS.
- I. LOOP PULLS ON ALL CASEWORK.
- J. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
- K. LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS. REAR-DRAINED SINKS IN ANSI TYPE A UNITS.
- L. PROVIDE ENERGY STAR-RATED APPLIANCES AND WATERSENSE-RATED FIXTURES.
- M. IN ANSI TYPE A UNITS, KITCHEN AND ACCESSIBLE BATH COUNTERTOPS AND COOKTOPS TO BE AT 34" AFF MAXIMUM.
- N. IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH. KITCHENS AND BATHS MUST BE USABLE.
- O. IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.

CODED NOTES LEGEND

- 1. LIGHTED, "NO-STEP" UNIT ENTRANCE
- 2. ADJUSTABLE HEIGHT CLOSET SHELF / ROD
- 3. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER/TUB LOCATIONS.
- 4. REMOVABLE BASE CABINET SINK BASES AT ALL UNITS IN KITCHENS AND BATHS, LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- 5. IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS



**2 ENLARGED PLAN** UNIT USb - ANSI TYPE A  
1/8" = 1'-0"



**1 ENLARGED PLAN** UNIT USa - ANSI TYPE B  
1/8" = 1'-0"



TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR				FRAME		FIRE RATING	REMARKS	
	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL			ELEV
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
C2	CLOSET	5'-0"	6'-8"	WD	AP	WD	1		
C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
M1	MECHANICAL	6'-0"	8'-0"	WD	AP	WD	2		
M2	MECHANICAL	5'-0"	8'-0"	WD	AP	WD	2		
M3	MECHANICAL	3'-0"	8'-0"	WD	AP	WD	1		

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)
- SEE SHEET A701 FOR DOOR AND FRAME ELEVATIONS.

GENERAL NOTES - LEGEND

ANSI TYPE A UNIT. SEE OVERALL PLANS FOR UNIT LOCATIONS.

SENSORY UNIT (HEARING / VISUALLY IMPAIRED) - PROVIDE REQUIRED AUDIBLE AND VISUAL ALARMS. SEE OVERALL PLANS FOR UNIT LOCATIONS.

ACCESSIBLE CLEARANCE APPROACH

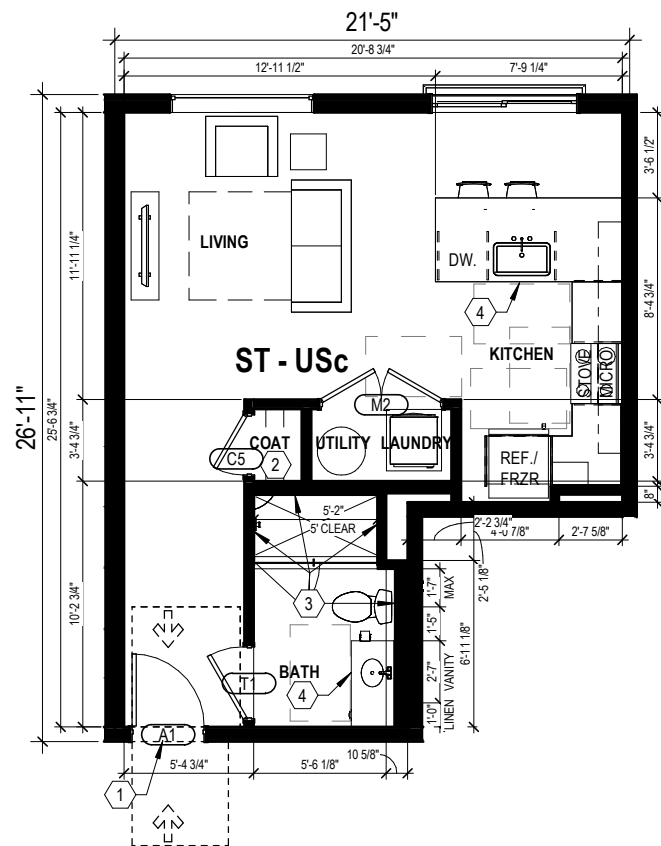
ACCESSIBLE TURNING CLEARANCE

DOOR SWING CLEARANCE

ACCESSIBLE ROUTE, 36" MINIMUM, UNOBSTRUCTED CLEARANCE PATH OF EGRESS

GENERAL NOTES - UNIT PLAN

- A. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
- B. LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE MIN. 5'-0" X 5'-0" LEVEL, FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- C. ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- D. ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM CLEARANCE A DOORS.
- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/ CEILING ASSEMBLIES.
- G. MOISTURE-RESISTANT DRYWALL AT ALL BATH CEILINGS & WALLS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS, AND KITCHENS BEHIND SINK BASE.
- H. REMOVABLE BASE CABINET SINK BASES AT ALL UNIT KITCHENS AND BATHS.
- I. LOOP PULLS ON ALL CASEWORK.
- J. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
- K. LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS. REAR-DRAINED SINKS IN ANSI TYPE A UNITS.
- L. PROVIDE ENERGY STAR-RATED APPLIANCES AND WATERSENSE-RATED FIXTURES.
- M. IN ANSI TYPE A UNITS, KITCHEN AND ACCESSIBLE BATH COUNTERTOPS AND COOKTOPS TO BE AT 34" AFF MAXIMUM.
- N. IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH. KITCHENS AND BATHS MUST BE USABLE.
- O. IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.



**1 ENLARGED PLAN** UNIT USc - ANSI TYPE B  
1/8" = 1'-0"

**X CODED NOTES LEGEND**

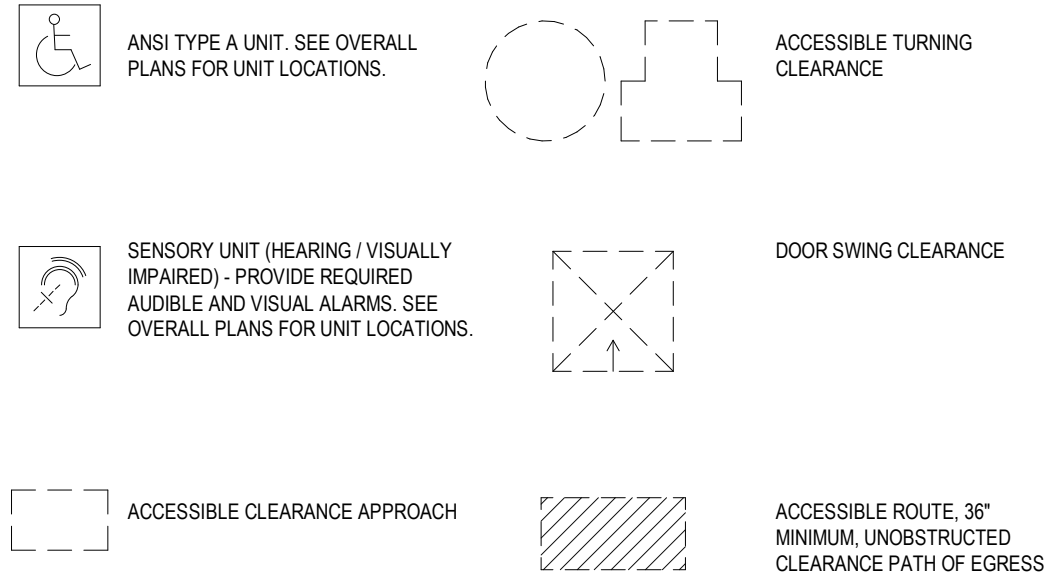
- 1. LIGHTED, "NO-STEP" UNIT ENTRANCE
- 2. ADJUSTABLE HEIGHT CLOSET SHELF / ROD
- 3. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER/TUB LOCATIONS.
- 4. REMOVABLE BASE CABINET SINK BASES AT ALL UNITS IN KITCHENS AND BATHS, LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- 5. IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS

TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR TYPE	DOOR				FRAME		FIRE RATING	REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL	ELEV		
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
C2	CLOSET	5'-0"	6'-8"	WD	AP	WD	1		
C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
M1	MECHANICAL	6'-0"	8'-0"	WD	AP	WD	2		
M2	MECHANICAL	5'-0"	8'-0"	WD	AP	WD	2		
M3	MECHANICAL	3'-0"	8'-0"	WD	AP	WD	1		

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)
- SEE SHEET A701 FOR DOOR AND FRAME ELEVATIONS.

GENERAL NOTES - LEGEND

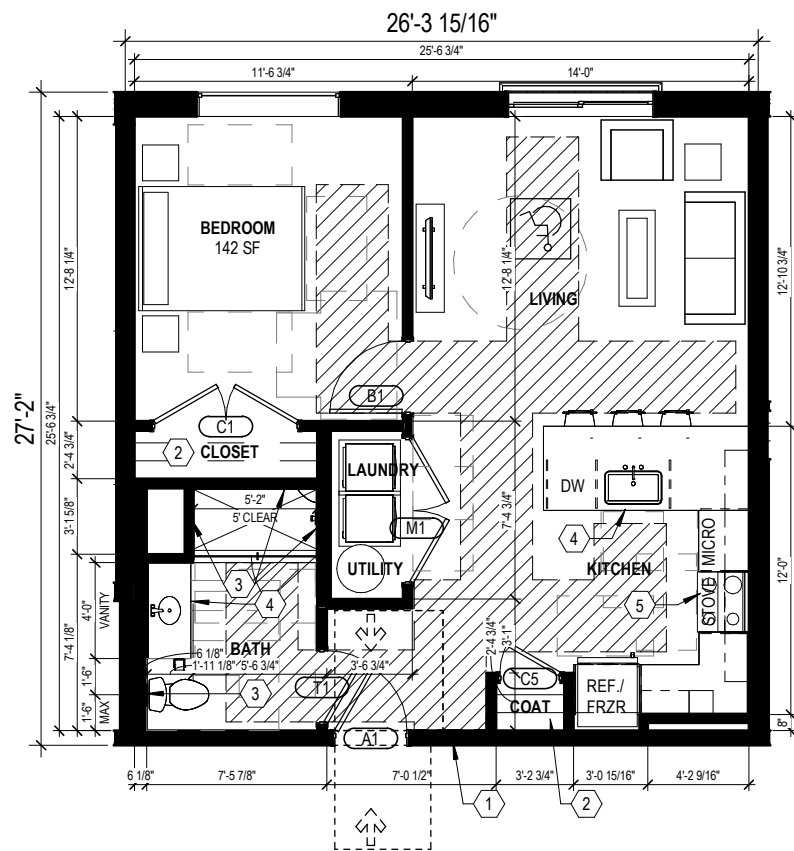


GENERAL NOTES - UNIT PLAN

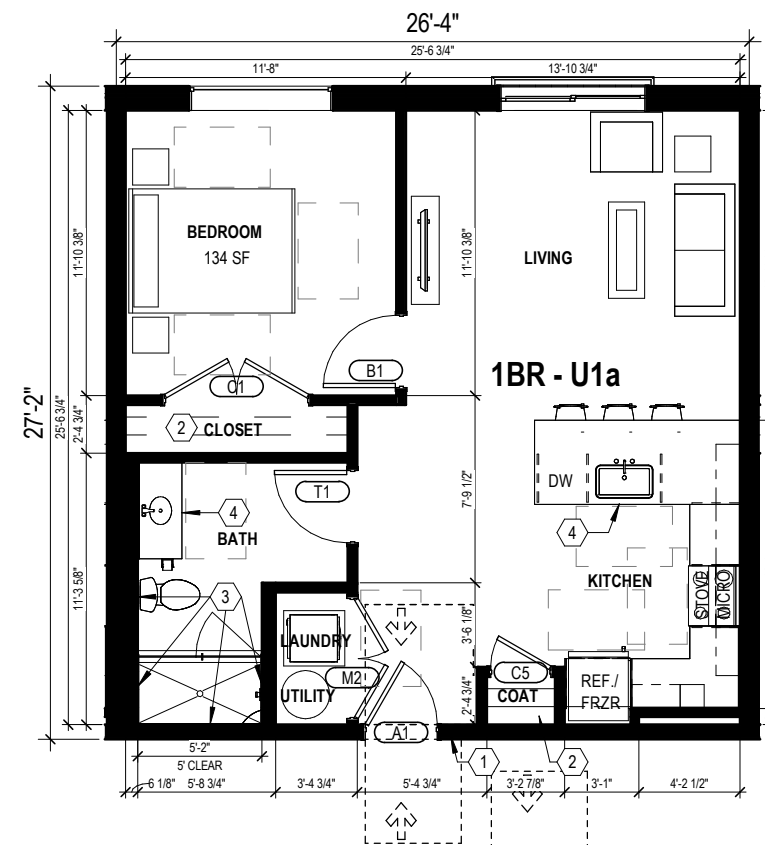
- A. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
- B. LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE MIN. 5'-0" X 5'-0" LEVEL, FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- C. ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- D. ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM CLEARANCE A DOORS.
- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/ CEILING ASSEMBLIES.
- G. MOISTURE-RESISTANT DRYWALL AT ALL BATH CEILINGS & WALLS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS, AND KITCHENS BEHIND SINK BASE.
- H. REMOVABLE BASE CABINET SINK BASES AT ALL UNIT KITCHENS AND BATHS.
- I. LOOP PULLS ON ALL CASEWORK.
- J. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
- K. LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS. REAR-DRAINED SINKS IN ANSI TYPE A UNITS.
- L. PROVIDE ENERGY STAR-RATED APPLIANCES AND WATERSENSE-RATED FIXTURES.
- M. IN ANSI TYPE A UNITS, KITCHEN AND ACCESSIBLE BATH COUNTERS AND COOKTOPS TO BE AT 34" AFF MAXIMUM.
- N. IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH.
- O. KITCHENS AND BATHS MUST BE USABLE. IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.

CODED NOTES LEGEND

- 1. LIGHTED, "NO-STEP" UNIT ENTRANCE
- 2. ADJUSTABLE HEIGHT CLOSET SHELF / ROD
- 3. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER/TUB LOCATIONS.
- 4. REMOVABLE BASE CABINET SINK BASES AT ALL UNITS IN KITCHENS AND BATHS, LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- 5. IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS



**2 ENLARGED PLAN** UNIT U1a - ANSI TYPE A  
1/8" = 1'-0"



**1 ENLARGED PLAN** UNIT U1a - ANSI TYPE B  
1/8" = 1'-0"

**TYPICAL RESIDENTIAL DOOR SCHEDULE**

MARK	DOOR TYPE	DOOR				FRAME		FIRE RATING	REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL	ELEV		
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
C2	CLOSET	5'-0"	6'-8"	WD	AP	WD	1		
C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
M1	MECHANICAL	6'-0"	8'-0"	WD	AP	WD	2		
M2	MECHANICAL	5'-0"	8'-0"	WD	AP	WD	2		
M3	MECHANICAL	3'-0"	8'-0"	WD	AP	WD	1		

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)
- SEE SHEET A701 FOR DOOR AND FRAME ELEVATIONS.

**GENERAL NOTES - LEGEND**

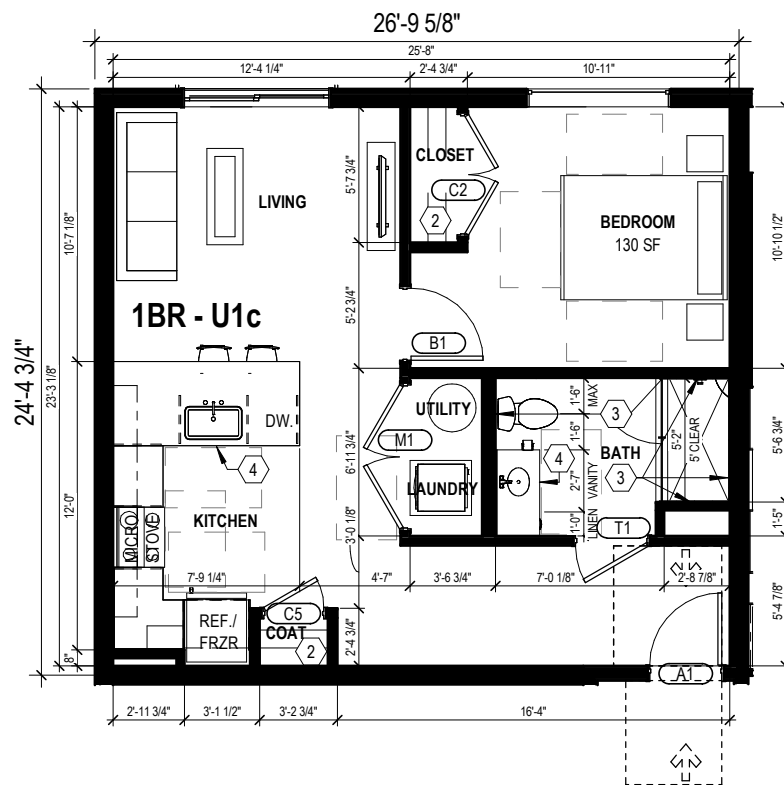
ANSI TYPE A UNIT. SEE OVERALL PLANS FOR UNIT LOCATIONS.
 ACCESSIBLE TURNING CLEARANCE

SENSORY UNIT (HEARING / VISUALLY IMPAIRED) - PROVIDE REQUIRED AUDIBLE AND VISUAL ALARMS. SEE OVERALL PLANS FOR UNIT LOCATIONS.
 DOOR SWING CLEARANCE

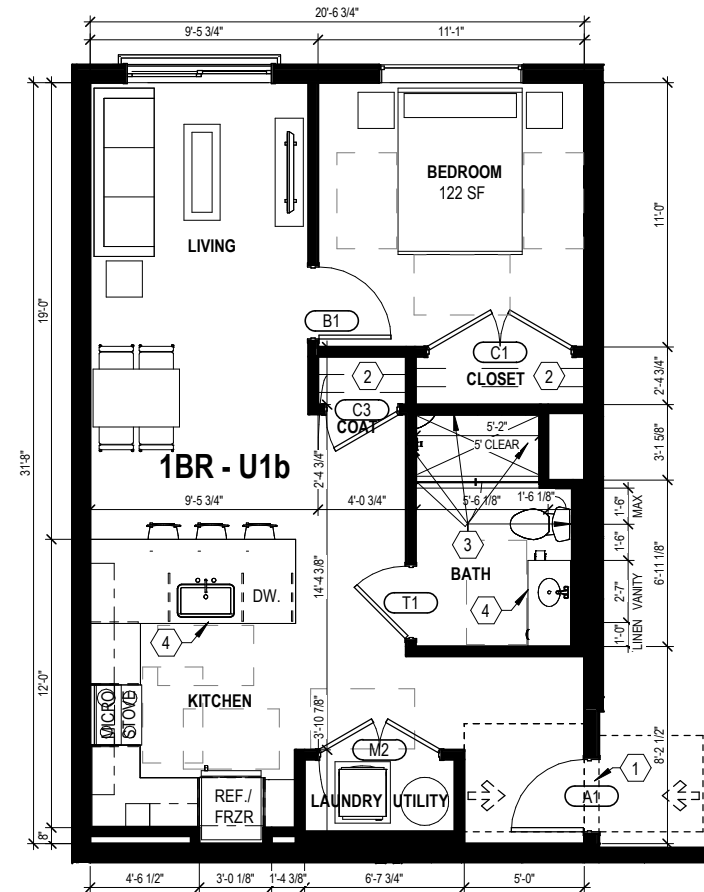
ACCESSIBLE CLEARANCE APPROACH
 ACCESSIBLE ROUTE, 36" MINIMUM, UNOBSTRUCTED CLEARANCE PATH OF EGRESS

**GENERAL NOTES - UNIT PLAN**

- DIMENSIONS ARE TO FACE OF WALL, U.N.O. LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE MIN. 5'-0" X 5'-0" LEVEL, FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM CLEARANCE A DOORS.
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- SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/ CEILING ASSEMBLIES.
- MOISTURE-RESISTANT DRYWALL AT ALL BATH CEILINGS & WALLS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS, AND KITCHENS BEHIND SINK BASE.
- REMOVABLE BASE CABINET SINK BASES AT ALL UNIT KITCHENS AND BATHS.
- LOOP PULLS ON ALL CASEWORK.
- IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
- LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS. REAR-DRAINED SINKS IN ANSI TYPE A UNITS.
- PROVIDE ENERGY STAR-RATED APPLIANCES AND WATERSENSE-RATED FIXTURES.
- IN ANSI TYPE A UNITS, KITCHEN AND ACCESSIBLE BATH COUNTERS AND COOKTOPS TO BE AT 34" AFF MAXIMUM.
- IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH.
- KITCHENS AND BATHS MUST BE USABLE.
- IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.



**2 ENLARGED PLAN** UNIT U1c - ANSI TYPE B  
1/8" = 1'-0"



**1 ENLARGED PLAN** UNIT U1b - ANSI TYPE B  
1/8" = 1'-0"

**X CODED NOTES LEGEND**

- LIGHTED, "NO-STEP" UNIT ENTRANCE
- ADJUSTABLE HEIGHT CLOSET SHELF / ROD
- IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER/TUB LOCATIONS.
- REMOVABLE BASE CABINET SINK BASES AT ALL UNITS IN KITCHENS AND BATHS, LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS

TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR TYPE	DOOR				FRAME		FIRE RATING	REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL	ELEV		
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
C2	CLOSET	5'-0"	6'-8"	WD	AP	WD	1		
C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
M1	MECHANICAL	6'-0"	8'-0"	WD	AP	WD	2		
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M3	MECHANICAL	3'-0"	8'-0"	WD	AP	WD	1		

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)
- SEE SHEET A701 FOR DOOR AND FRAME ELEVATIONS.

GENERAL NOTES - LEGEND

ANSI TYPE A UNIT. SEE OVERALL PLANS FOR UNIT LOCATIONS.

ACCESSIBLE TURNING CLEARANCE

SENSORY UNIT (HEARING / VISUALLY IMPAIRED) - PROVIDE REQUIRED AUDIBLE AND VISUAL ALARMS. SEE OVERALL PLANS FOR UNIT LOCATIONS.

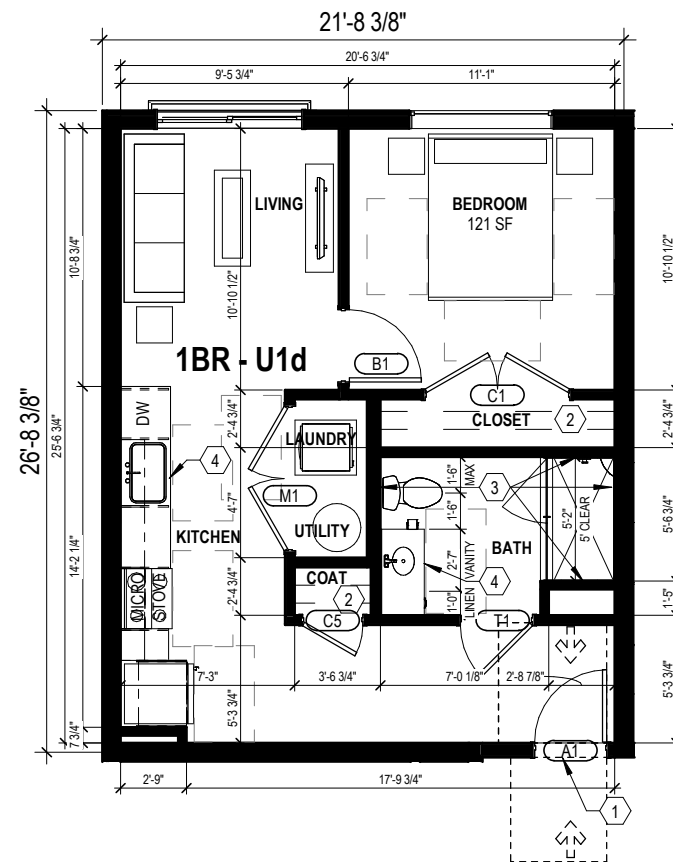
DOOR SWING CLEARANCE

ACCESSIBLE CLEARANCE APPROACH

ACCESSIBLE ROUTE, 36" MINIMUM, UNOBSTRUCTED CLEARANCE PATH OF EGRESS

GENERAL NOTES - UNIT PLAN

- A. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
- B. LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE MIN. 5'-0" X 5'-0" LEVEL, FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- C. ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- D. ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM CLEARANCE A DOORS.
- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/ CEILING ASSEMBLIES.
- G. MOISTURE-RESISTANT DRYWALL AT ALL BATH CEILINGS & WALLS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS, AND KITCHENS BEHIND SINK BASE.
- H. REMOVABLE BASE CABINET SINK BASES AT ALL UNIT KITCHENS AND BATHS.
- I. LOOP PULLS ON ALL CASEWORK.
- J. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
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- M. IN ANSI TYPE A UNITS, KITCHEN AND ACCESSIBLE BATH COUNTERS AND COOKTOPS TO BE AT 34" AFF MAXIMUM.
- N. IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH. KITCHENS AND BATHS MUST BE USABLE.
- O. IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.



**1 ENLARGED PLAN** UNIT U1d - ANSI TYPE B  
1/8" = 1'-0"

**X CODED NOTES LEGEND**

- 1. LIGHTED, "NO-STEP" UNIT ENTRANCE
- 2. ADJUSTABLE HEIGHT CLOSET SHELF / ROD
- 3. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER/TUB LOCATIONS.
- 4. REMOVABLE BASE CABINET SINK BASES AT ALL UNITS IN KITCHENS AND BATHS, LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- 5. IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS



TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR				FRAME		FIRE RATING	REMARKS	
	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL			ELEV
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
C2	CLOSET	5'-0"	6'-8"	WD	AP	WD	1		
C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
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- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
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GENERAL NOTES - LEGEND

ANSI TYPE A UNIT. SEE OVERALL PLANS FOR UNIT LOCATIONS.

SENSORY UNIT (HEARING / VISUALLY IMPAIRED) - PROVIDE REQUIRED AUDIBLE AND VISUAL ALARMS. SEE OVERALL PLANS FOR UNIT LOCATIONS.

ACCESSIBLE CLEARANCE APPROACH

ACCESSIBLE TURNING CLEARANCE

DOOR SWING CLEARANCE

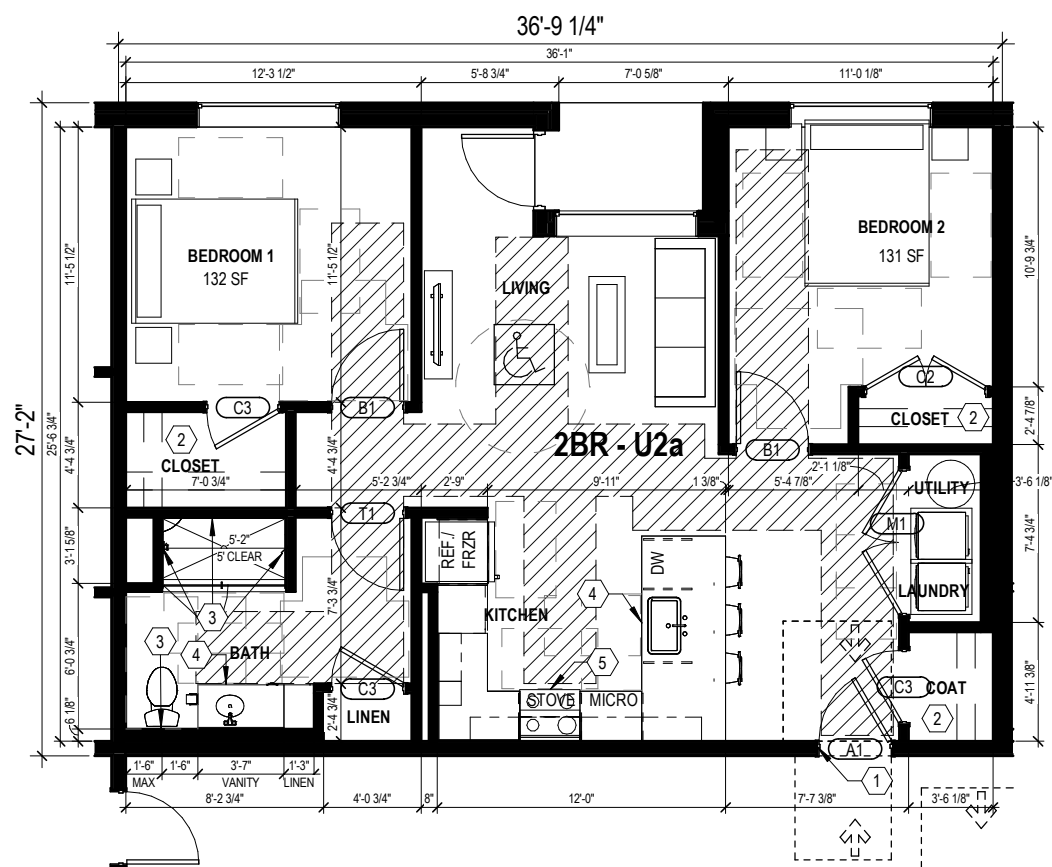
ACCESSIBLE ROUTE, 36" MINIMUM, UNOBSTRUCTED CLEARANCE PATH OF EGRESS

GENERAL NOTES - UNIT PLAN

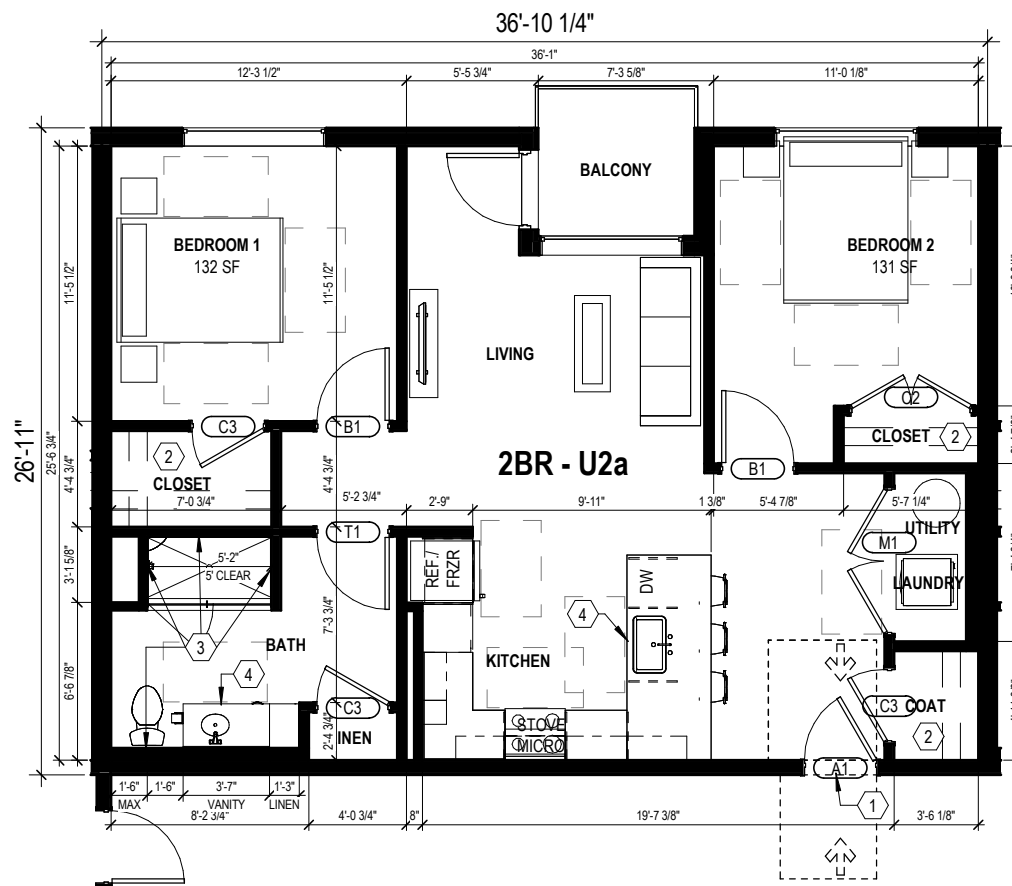
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- C. ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
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- I. LOOP PULLS ON ALL CASEWORK.
- J. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
- K. LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS. REAR-DRAINED SINKS IN ANSI TYPE A UNITS.
- L. PROVIDE ENERGY STAR-RATED APPLIANCES AND WATERSENSE-RATED FIXTURES.
- M. IN ANSI TYPE A UNITS, KITCHEN AND ACCESSIBLE BATH COUNTERS AND COOKTOPS TO BE AT 34" AFF MAXIMUM.
- N. IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH. KITCHENS AND BATHS MUST BE USABLE.
- O. IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.

CODED NOTES LEGEND

- 1. LIGHTED, "NO-STEP" UNIT ENTRANCE
- 2. ADJUSTABLE HEIGHT CLOSET SHELF / ROD
- 3. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER/TUB LOCATIONS.
- 4. REMOVABLE BASE CABINET SINK BASES AT ALL UNITS IN KITCHENS AND BATHS, LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- 5. IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS



**2 ENLARGED PLAN** UNIT U2a - ANSI TYPE A  
1/8" = 1'-0"



**1 ENLARGED PLAN** UNIT U2a - ANSI TYPE B  
1/8" = 1'-0"

TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR TYPE	DOOR				FRAME		FIRE RATING	REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL	ELEV		
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
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C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
M1	MECHANICAL	6'-0"	8'-0"	WD	AP	WD	2		
M2	MECHANICAL	5'-0"	8'-0"	WD	AP	WD	2		
M3	MECHANICAL	3'-0"	8'-0"	WD	AP	WD	1		

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)
- SEE SHEET A701 FOR DOOR AND FRAME ELEVATIONS.

GENERAL NOTES - LEGEND

ANSI TYPE A UNIT. SEE OVERALL PLANS FOR UNIT LOCATIONS.

SENSORY UNIT (HEARING / VISUALLY IMPAIRED) - PROVIDE REQUIRED AUDIBLE AND VISUAL ALARMS. SEE OVERALL PLANS FOR UNIT LOCATIONS.

ACCESSIBLE CLEARANCE APPROACH

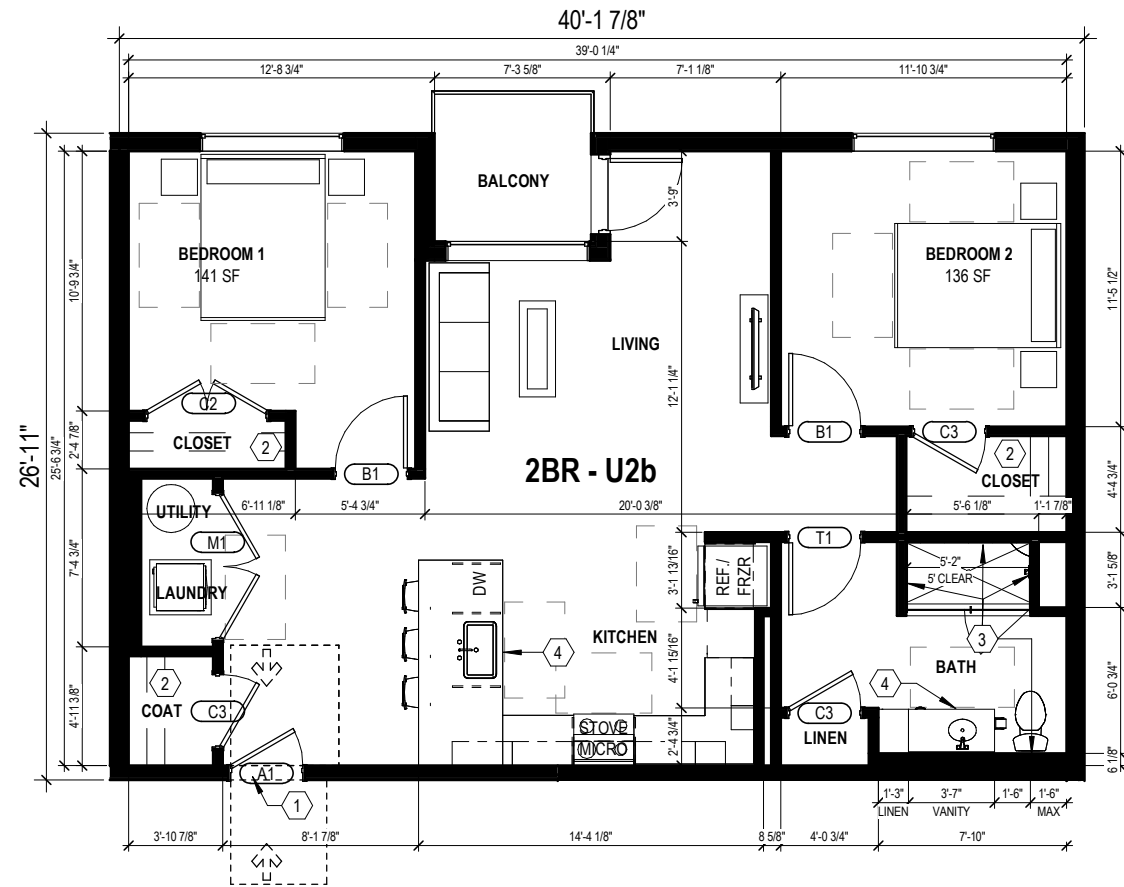
ACCESSIBLE TURNING CLEARANCE

DOOR SWING CLEARANCE

ACCESSIBLE ROUTE, 36" MINIMUM, UNOBSTRUCTED CLEARANCE PATH OF EGRESS

GENERAL NOTES - UNIT PLAN

- A. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
- B. LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE MIN. 5'-0" X 5'-0" LEVEL, FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
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- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/ CEILING ASSEMBLIES.
- G. MOISTURE-RESISTANT DRYWALL AT ALL BATH CEILINGS & WALLS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS, AND KITCHENS BEHIND SINK BASE.
- H. REMOVABLE BASE CABINET SINK BASES AT ALL UNIT KITCHENS AND BATHS.
- I. LOOP PULLS ON ALL CASEWORK.
- J. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
- K. LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS. REAR-DRAINED SINKS IN ANSI TYPE A UNITS.
- L. PROVIDE ENERGY STAR-RATED APPLIANCES AND WATERSENSE-RATED FIXTURES.
- M. IN ANSI TYPE A UNITS, KITCHEN AND ACCESSIBLE BATH COUNTERS AND COOKTOPS TO BE AT 34" AFF MAXIMUM.
- N. IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH. KITCHENS AND BATHS MUST BE USABLE.
- O. IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.



**1 ENLARGED PLAN** UNIT U2b - ANSI TYPE B  
1/8" = 1'-0"

**(X) CODED NOTES LEGEND**

- 1. LIGHTED, "NO-STEP" UNIT ENTRANCE
- 2. ADJUSTABLE HEIGHT CLOSET SHELF / ROD
- 3. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER/TUB LOCATIONS.
- 4. REMOVABLE BASE CABINET SINK BASES AT ALL UNITS IN KITCHENS AND BATHS, LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- 5. IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS

TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR TYPE	DOOR				FRAME		FIRE RATING	REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL	ELEV		
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
B1	BEDROOM	3'-0"	6'-8"	WD	AP	WD	1		
C1	CLOSET	6'-0"	6'-8"	WD	AP	WD	1		
C2	CLOSET	5'-0"	6'-8"	WD	AP	WD	1		
C3	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		
C4	CLOSET	3'-0"	6'-8"	WD	AP	WD	1		CASED OPENING
C5	CLOSET	2'-6"	6'-8"	WD	AP	WD	1		
T1	TOILET	3'-0"	6'-8"	WD	AP	WD	1		
M1	MECHANICAL	6'-0"	8'-0"	WD	AP	WD	2		
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- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
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- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)
- SEE SHEET A701 FOR DOOR AND FRAME ELEVATIONS.

GENERAL NOTES - LEGEND

ANSI TYPE A UNIT. SEE OVERALL PLANS FOR UNIT LOCATIONS.

SENSORY UNIT (HEARING / VISUALLY IMPAIRED) - PROVIDE REQUIRED AUDIBLE AND VISUAL ALARMS. SEE OVERALL PLANS FOR UNIT LOCATIONS.

ACCESSIBLE CLEARANCE APPROACH

ACCESSIBLE TURNING CLEARANCE

DOOR SWING CLEARANCE

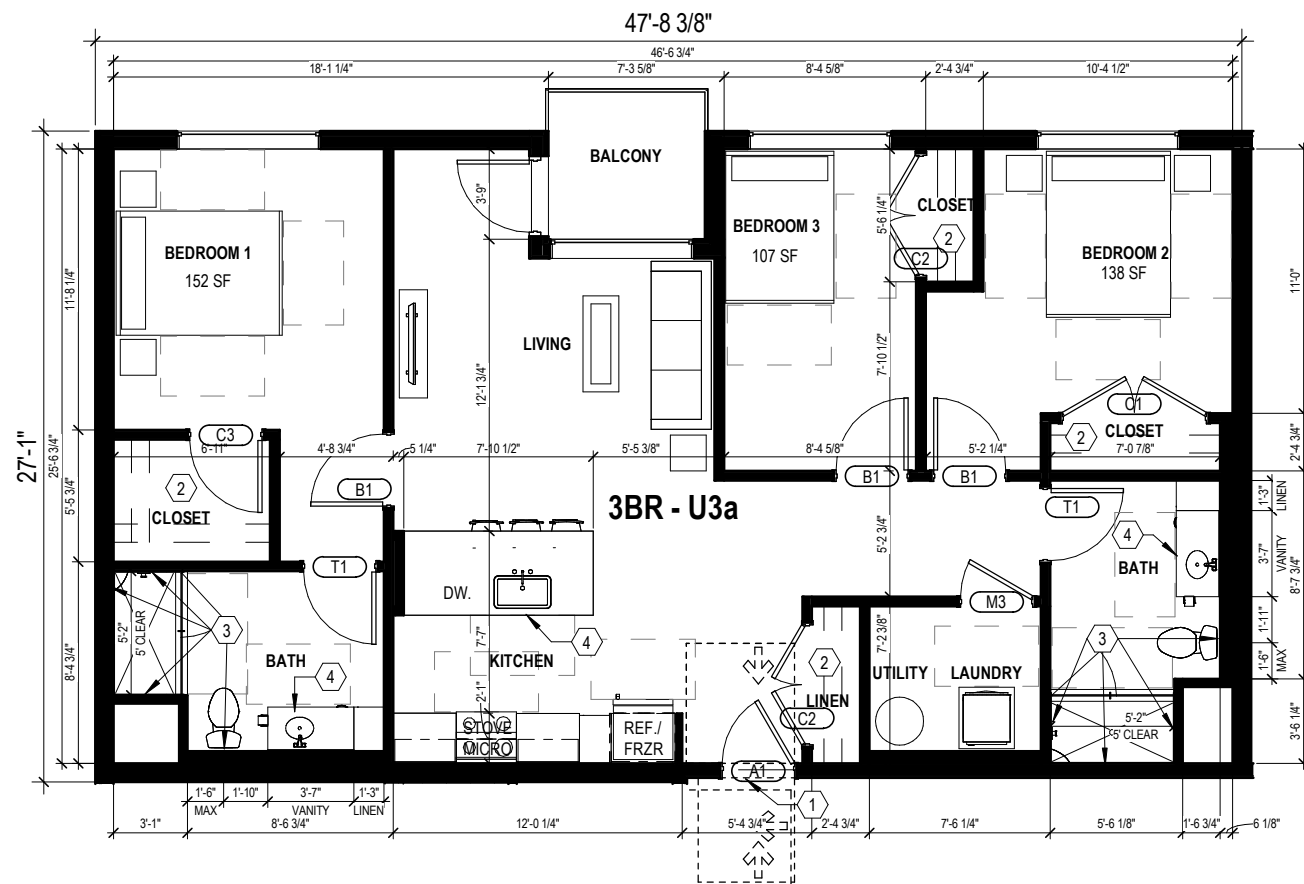
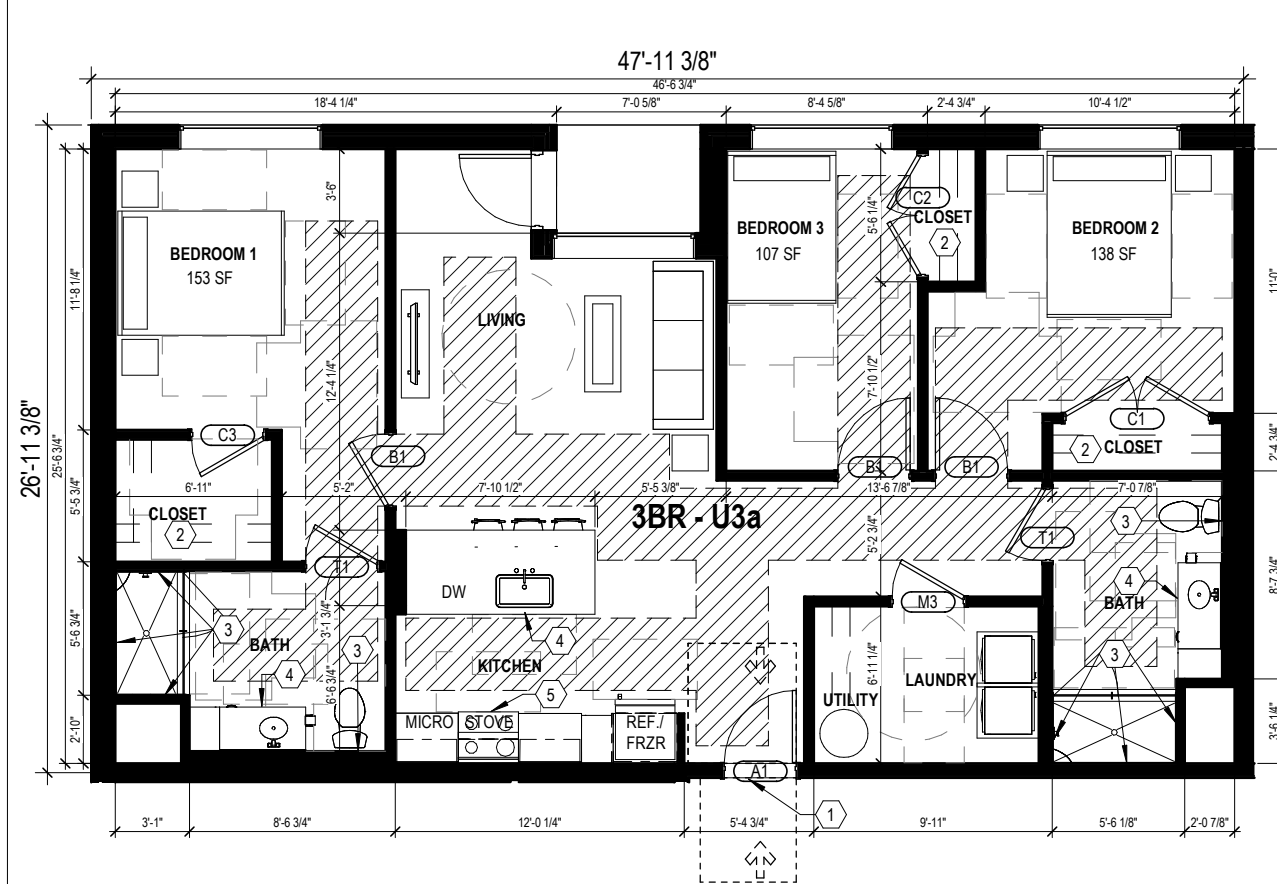
ACCESSIBLE ROUTE, 36" MINIMUM, UNOBSTRUCTED CLEARANCE PATH OF EGRESS

GENERAL NOTES - UNIT PLAN

- A. DIMENSIONS ARE TO FACE OF WALL, U.N.O.
- B. LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE MIN. 5'-0" X 5'-0" LEVEL, FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
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- D. ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM CLEARANCE A DOORS.
- E. ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- F. SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/ CEILING ASSEMBLIES.
- G. MOISTURE-RESISTANT DRYWALL AT ALL BATH CEILINGS & WALLS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE CLOSETS, AND KITCHENS BEHIND SINK BASE.
- H. REMOVABLE BASE CABINET SINK BASES AT ALL UNIT KITCHENS AND BATHS.
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- J. IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS).
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- N. IN ANSI TYPE A UNITS, LIGHT SWITCHES, ELECTRICAL OUTLETS & PANELS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE IN ACCESSIBLE LOCATIONS WITHIN ACCESSIBLE REACH.
- O. KITCHENS AND BATHS MUST BE USABLE. IN ANSI TYPE A UNITS AND SENSORY UNITS, HARD-WIRE CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.

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- 5. IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS



**2 ENLARGED PLAN** UNIT U3a - ANSI TYPE A  
1/8" = 1'-0"

**1 ENLARGED PLAN** UNIT U3a - ANSI TYPE B  
1/8" = 1'-0"



TYPICAL RESIDENTIAL DOOR SCHEDULE

MARK	DOOR				FRAME		FIRE RATING	REMARKS	
	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL			ELEV
A1	UNIT ENTRY	3'-0"	6'-8"	WD	AT	HM	1	45 MIN	UNIT ENTRANCE DOOR
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ACCESSIBLE CLEARANCE APPROACH

ACCESSIBLE TURNING CLEARANCE

DOOR SWING CLEARANCE

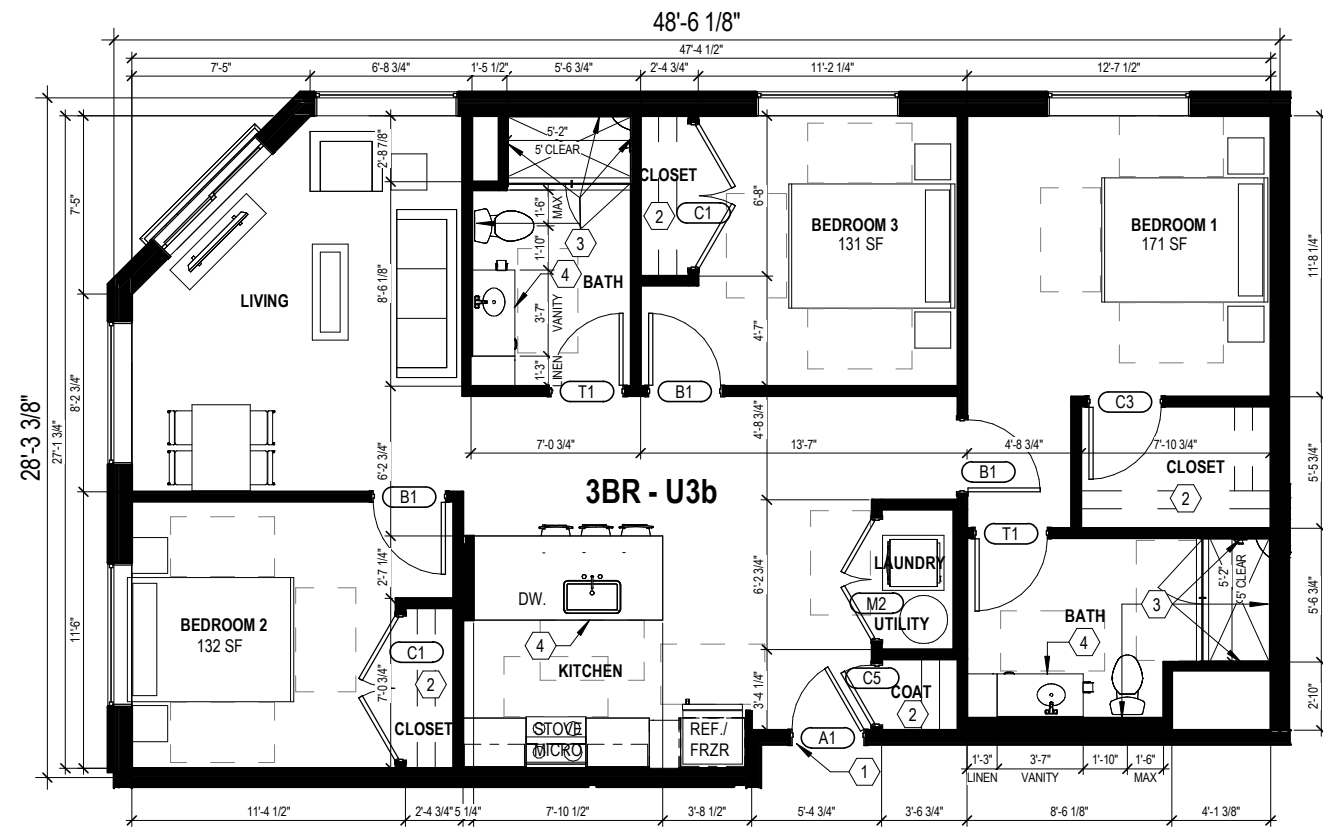
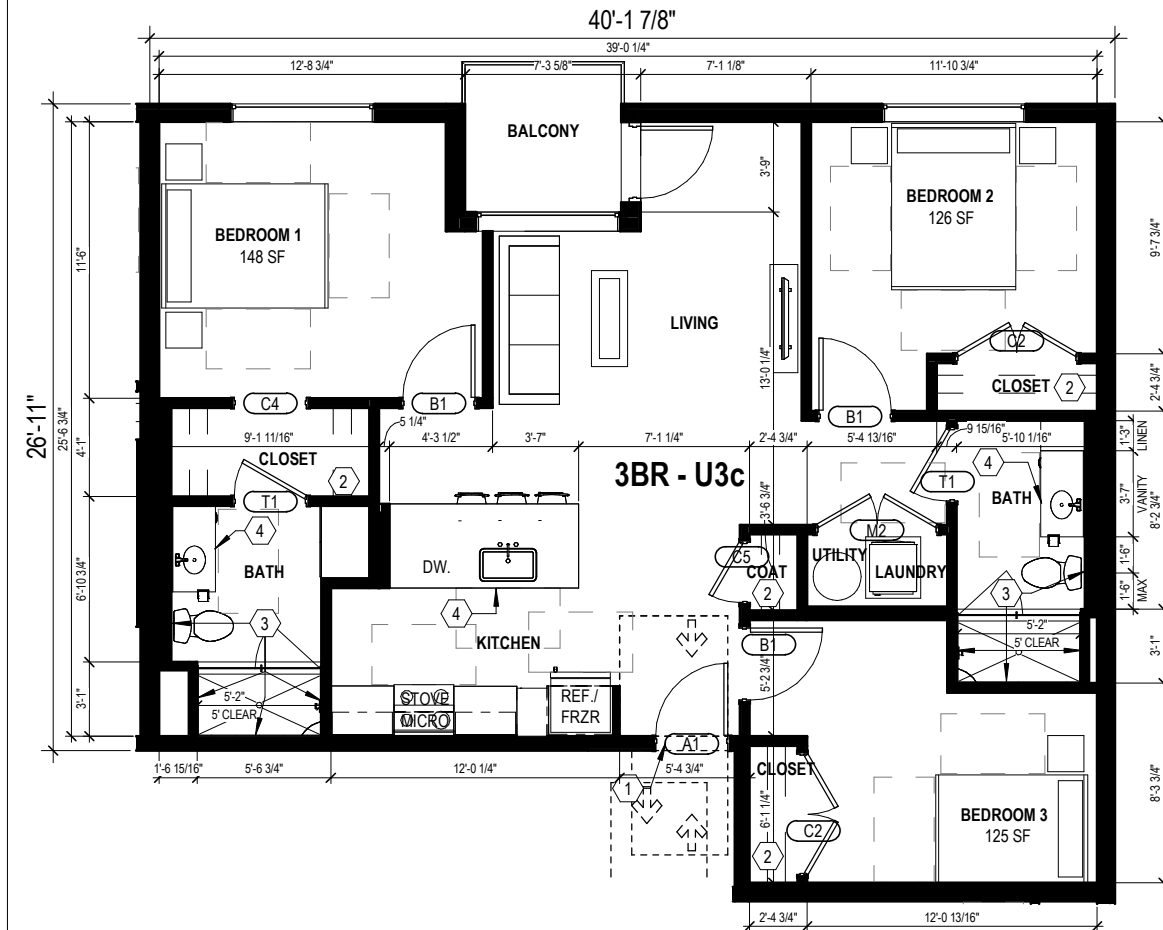
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X CODED NOTES LEGEND

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- IN ANSI TYPE A UNITS, FRONT-MOUNTED RANGE CONTROLS



**2 ENLARGED PLAN** UNIT U3c - ANSI TYPE B  
1/8" = 1'-0"

**1 ENLARGED PLAN** UNIT U3b - ANSI TYPE B  
1/8" = 1'-0"



**AERIAL AT S. 3RD ST. AND E. MOUND ST.**



**PERSPECTIVE AT S. 3RD ST. AND E. MOUND ST.**

## Section 3

Section 3 is a provision of the Housing and Urban Development Act of 1968. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by certain HUD financial assistance shall, to the greatest extent feasible, and consistent with existing Federal, State, and local laws and regulations, be directed to low- and very low-income persons, particularly those who are recipients of government assistance for housing, and to business concerns which provide economic opportunities to low- and very low-income persons.

The Columbus Metropolitan Housing Authority (CMHA) is a recipient of HUD public housing financial assistance for which Section 3 requirements apply. All projects receiving public housing financial assistance, regardless of the amount of assistance, must comply with Section 3. There are no funding thresholds for public housing programs.

Public Housing Financial Assistance means:

- Development assistance provided pursuant to Section 5 of the United States Housing Act of 1937 (the 1937 Act)
- Operations and management assistance provided pursuant to Section 9(e) of the 1937 Act
- Development, modernization, and management assistance provided pursuant to Section 9(d) of the 1937 Act
- The entirety of a mixed-finance development project as described in 24 CFR 905.604, regardless of whether the project is fully or partially assisted with public housing financial assistance as defined in subsections (i) through (iii)

Section 3 applicability for public housing funding includes operation, maintenance and development construction, and rehabilitation. Maintenance activities include re-painting, pest control, landscaping, HVAC repair, etc.

Section 3 does not apply to:

Professional Services

- Contracts for, including but not limited to, legal services, accounting services, financial consulting, environmental assessment, architectural services, and civil engineering services
- Services that require an advanced degree or professional licensing and considered non-construction services

Material Supply Contracts

- Contracts for material supplies: commercially available materials and products (ex. lumber, drywall, wiring, concrete, pipes, toilets, sinks, carpet, office supplies)
- If delivery not included for material supplies, the contract for delivery is subject to Section 3 requirements

## MBE and FBE Business Utilization

CMHA projects have a combined minority business enterprise (MBE) and female business enterprise (FBE) participation goal of 20 percent (contractors and/or suppliers). Contract award recipients are required to adhere and actively work to achieve the goal throughout the life of the project.

Bidders will be required to demonstrate efforts to achieve the MBE and FBE participation goal by submitting documentation of outreach and engagement efforts. Failure to submit required documentation may constitute a non-responsive bid.

The business utilization requirements apply to contractors, subcontractors, and all contractors engaged on the project regardless of tier status.

Contractors should be certified as a minority business enterprise or women-owned business enterprise by one of the following CMHA approved certifying agencies to receive credit toward the MBE/FBE goal:

- The City of Columbus, Office of Diversity & Inclusion
- The Ohio Department of Development
- Ohio Minority Supplier Development Council

Proof of certification is required.

### *Monthly Reporting*

All contract award recipients will be required to submit monthly reports documenting performance toward meeting the MBE and FBE participation goals. Reports, instruction details, and due dates are provided during the project's pre-construction meeting. Failure to comply with the reporting requirements may result in a delay of contract draw payments.



Organizations, developers, contractors, and subcontractors bidding on projects must demonstrate efforts to meet Section 3 requirements by submitting the required documents. Failure to submit the required documents may constitute a non-responsive bid.

It is the responsibility of contract award recipients to implement proactive and ongoing efforts to meet or exceed the Section 3 requirements and goals throughout the life of the project.

Section 3 requirements apply to contractors, subcontractors, and all contractors engaged on the project regardless of tier status.

### *Goals*

CMHA projects have the following Section 3 goals:

- 25 percent or more of the total number of labor hours worked by all workers are worked by Section 3 workers
- 5 percent or more of the total number of labor hours worked by all workers are worked by Targeted Section 3 workers

A CMHA Section 3 Worker Certification Form is required for all workers to determine their status as a Section 3 worker and a Targeted Section 3 worker. The information obtained will be used to document compliance performance against the Section 3 goals.

### *Employment and Training*

Section 3 requires that best efforts must be made to provide employment and training opportunities generated by the project to Section 3 Workers. Bidders are required to provide a list of employment and training opportunities anticipated for the project's scope of work. Contract award recipients are required to communicate opportunities as they become available through the life of the project and conduct outreach activities to identify and provide consideration to Section 3 workers.

Bidders (and contract award recipients) shall not fill new opportunities immediately before undertaking work to circumvent Section 3 requirements. **First consideration for employment or training opportunities shall be granted to Section 3 Workers in the following order of priority:**

1. CMHA residents of the public housing property for which the public housing financial assistance is expended
2. Residents of other CMHA properties or residents of Section 8-assisted housing managed by the CMHA
3. Participants in a YouthBuild program
4. Low- and very low-income persons residing in Columbus, OH or Franklin County, OH



In all cases, a Section 3 worker must meet the minimum qualifications for any new opportunity. In no instance shall it be construed that preference is given to a Section 3 Worker who does not meet the minimum qualifications.

Contract award recipients may be required to report on the number of new hires for the project. Details pertaining to reporting requirements and activities are provided at the project's pre-construction meeting.

### *Contracting*

Section 3 requires that best efforts must be made to award contracts and subcontracts to business concerns that provide economic opportunities to Section 3 workers (*this is a Section 3 business*).

### **Section 3 businesses shall be extended preference in contracting, purchasing, and servicing activities in the following order of priority:**

1. Section 3 business concerns that provide economic opportunities for CMHA residents of the public housing property for which the assistance is provided
2. Section 3 business concerns that provide economic opportunities for other CMHA residents or residents of Section 8-assisted housing managed by CMHA
3. YouthBuild programs
4. Section 3 business concerns that provide economic opportunities to Section 3 Workers residing in Columbus, OH or Franklin County, OH

Contractors must be confirmed by CMHA as a Section 3 business to meet the contracting requirements. To receive a list of Section 3 businesses or to be certified as a Section 3 business, please contact:

Andrea Quinichett, Purchasing Manager  
Columbus Metropolitan Housing Authority  
880 East 11<sup>th</sup> Avenue  
Columbus, Ohio 43211-2771  
Phone: (614) 421-4434  
Fax: (614) 421-6271  
Email: [aquinichett@cmhanet.com](mailto:aquinichett@cmhanet.com)

### *Definitions*

#### **Who is a Section 3 Worker?**

Any worker who currently fits or when hired within the past five years\* fit at least one of the following categories:

- Income for the previous or annualized calendar year is below the income limit established by HUD
- Employed by a Section 3 business concern

- A YouthBuild participant

### **Who is a Targeted Section 3 Worker?**

A Targeted Section 3 worker is a Section 3 worker who is:

- Employed by a Section 3 business concern; or
- Currently fits or when hired fit at least one of the following categories, as documented within the past five years\*:
  - Resident of CMHA public housing or CMHA Section 8-assisted housing for which the public housing financial assistance is expended; or
  - Resident of other CMHA public housing properties or Section 8-assisted housing managed by CMHA; or
  - A YouthBuild participant

*\*HUD Section 3 implementing regulations codified at 24 CFR Part 75 became effective November 30, 2020; as such, the five-year look-back period begins on this date and not before.*

### **What is a Section 3 business?**

A business concern meeting at least one of the following criteria, documented within the last six-month period:

- Is at least 51 percent owned and controlled by low- or very low-income persons; or
- Over 75 percent of the labor hours performed for the business over the prior three-month period are performed by Section 3 workers; or
- Is a business at least 51 percent owned and controlled by current public housing residents or residents who currently live in Section 8-assisted housing

### *Section 3 Clause*

All contracts awarded must include the CMHA Section 3 Clause (Attachment ). The CMHA Section 3 Clause should be among all binding contracts signed by award recipients, contractors, subcontractors, and all subcontractors engaged on the project regardless of tier status.

### *Monthly Reporting*

All contract award recipients will be required to submit monthly reports documenting performance toward meeting the Section 3 goals. Reports, instruction details, and due dates are provided during the project's pre-construction meeting. Failure to comply with the reporting requirements may result in a delay of contract draw payments.

For more Section 3 information, refer to the CMHA Section 3 Plan.