



2 AXONOMETRIC LOOKING FROM NORTHEAST



1 AXONOMETRIC LOOKING FROM SOUTHWEST

GENERAL NOTES - AXONOMETRIC VIEWS

1. AXONOMETRIC VIEWS ARE INTENDED FOR GENERAL REFERENCE ONLY. ALL BUILDING COMPONENTS MAY NOT BE REPRESENTED ACCURATELY. SITE AND LANDSCAPE INFORMATION IS SHOWN FOR GENERAL REFERENCE. SEE ARCHITECTURAL, CIVIL AND LANDSCAPE DRAWINGS.

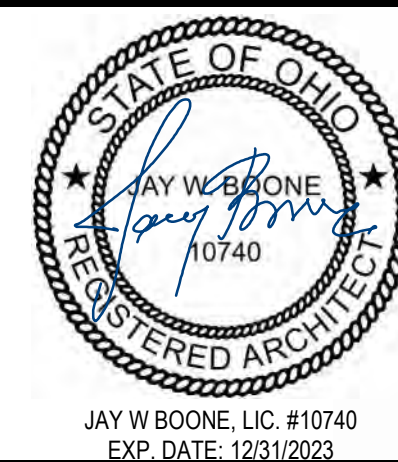
#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1000 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

AXONOMETRIC VIEWS



06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A300**  
PERMIT & BID SET





**4 ELEVATION** OVERALL WEST  
1/16" = 1'-0" REF: 1 / A1.1



**3 ELEVATION** OVERALL NORTH  
1/16" = 1'-0" REF: 1 / A1.1



**2 ELEVATION** OVERALL SOUTH  
1/16" = 1'-0" REF: 1 / A1.1



**1 ELEVATION** OVERALL EAST  
1/16" = 1'-0" REF: 1 / A1.1

GENERAL NOTES - ELEVATIONS

1. REFER TO SHEET A301 FOR OVERALL ELEVATIONS.
2. PROVIDE HIGH VISIBILITY BUILDING ADDRESS NUMBERS AT MAIN ENTRY TO BUILDING. COORDINATE LOCATION WITH ARCHITECT. SEE SIGNAGE TYPE LEGEND FOR ADDITIONAL INFORMATION.

EXTERIOR MATERIAL LEGEND

- ROOFING SHINGLES
- STONE VENEER
- BRICK VENEER
- HORIZONTAL SIDING
- VERTICAL SIDING

EXTERIOR WALL TYPE LEGEND

- EX-01 BRICK ON WD STUD
- EX-02 STONE VENEER ON WD STUD
- EX-03 FIBER CEMENT SIDING ON WD STUD
- EX-04 BRICK ON CMU
- EX-05 STONE VENEER ON CMU

#	DATE	CHANGE DESCRIPTION




**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

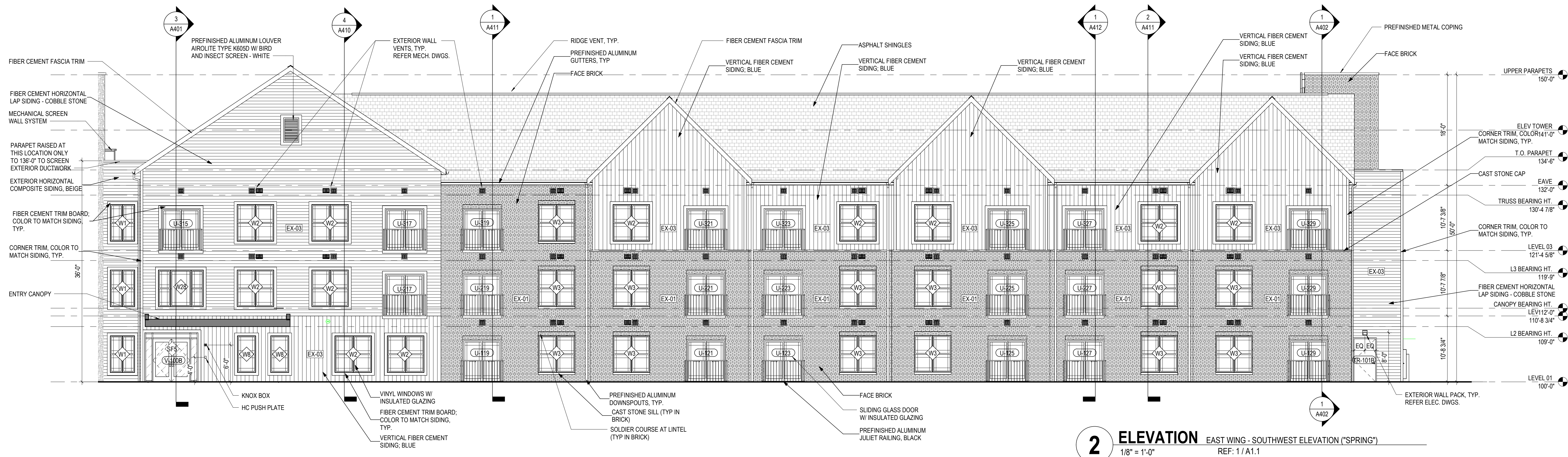
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**EXTERIOR ELEVATIONS -  
OVERALL**



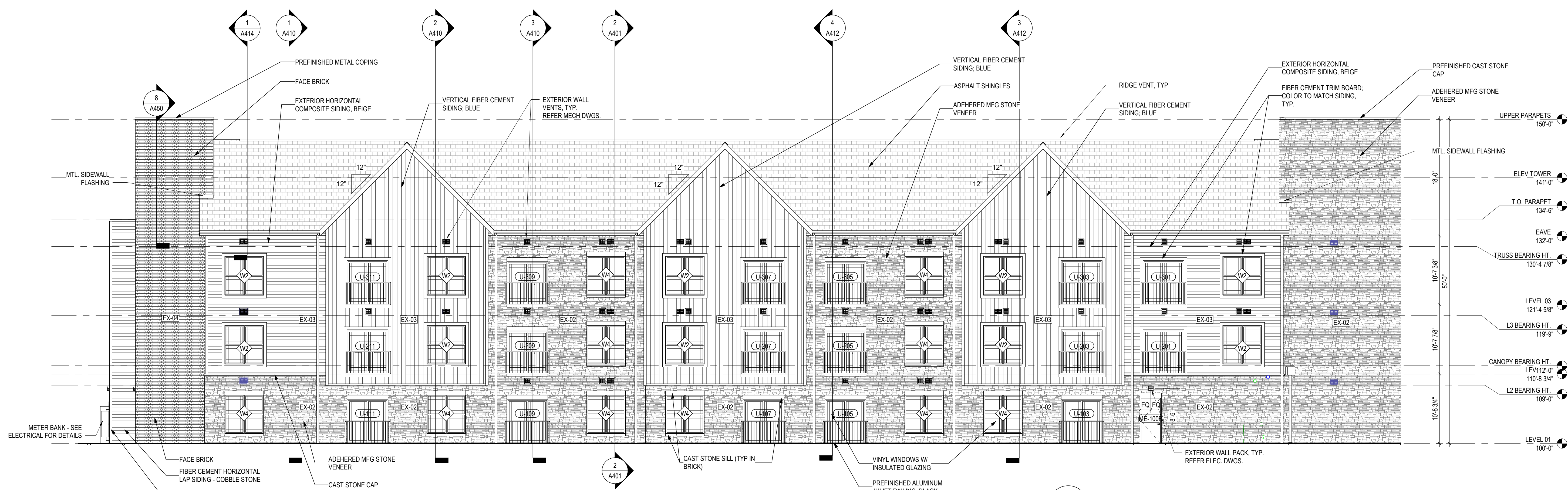
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: XXXX  
CHECKED BY: XXXX  
#22172.01  
**A301**  
PERMIT & BID SET





**2 ELEVATION** EAST WING - SOUTHWEST ELEVATION ("SPRING")  
1/8" = 1'-0" REF: 1 / A1.1



**1 ELEVATION** WEST WING - SOUTH ELEVATION ("WINTER")  
1/8" = 1'-0" REF: 1 / A1.1

**GENERAL NOTES - ELEVATIONS**

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2. PROVIDE HIGH VISIBILITY BUILDING ADDRESS NUMBERS AT MAIN ENTRY TO BUILDING. COORDINATE LOCATION WITH ARCHITECT. SEE SIGNAGE TYPE LEGEND FOR ADDITIONAL INFORMATION.

**EXTERIOR MATERIAL LEGEND**

	ROOFING SHINGLES
	STONE VENEER
	BRICK VENEER
	HORIZONTAL SIDING
	VERTICAL SIDING

**EXTERIOR WALL TYPE LEGEND**

- |       |                                |
|-------|--------------------------------|
| EX-01 | BRICK ON WD STUD               |
| EX-02 | STONE VENEER ON WD STUD        |
| EX-03 | FIBER CEMENT SIDING ON WD STUD |
| EX-04 | BRICK ON CMU                   |
| EX-05 | STONE VENEER ON CMU            |

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
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GROVE CITY, OH 43123  
FOR  
**CMHA**

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SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

**EXTERIOR ELEVATIONS**

JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: XXXX CHECKED BY: XXXX  
#22172.01  
**A302**  
PERMIT & BID SET





1. REFER TO SHEET A301 FOR OVERALL ELEVATIONS.
2. PROVIDE HIGH VISIBILITY BUILDING ADDRESS NUMBERS AT MAIN ENTRY TO BUILDING. COORDINATE LOCATION WITH ARCHITECT. SEE SIGNAGE TYPE LEGEND FOR ADDITIONAL INFORMATION.

ROOFING SHINGLES

STONE VENEER

BRICK VENEER

HORIZONTAL SIDING


HORIZONTAL SIDING

VERTICAL SIDING

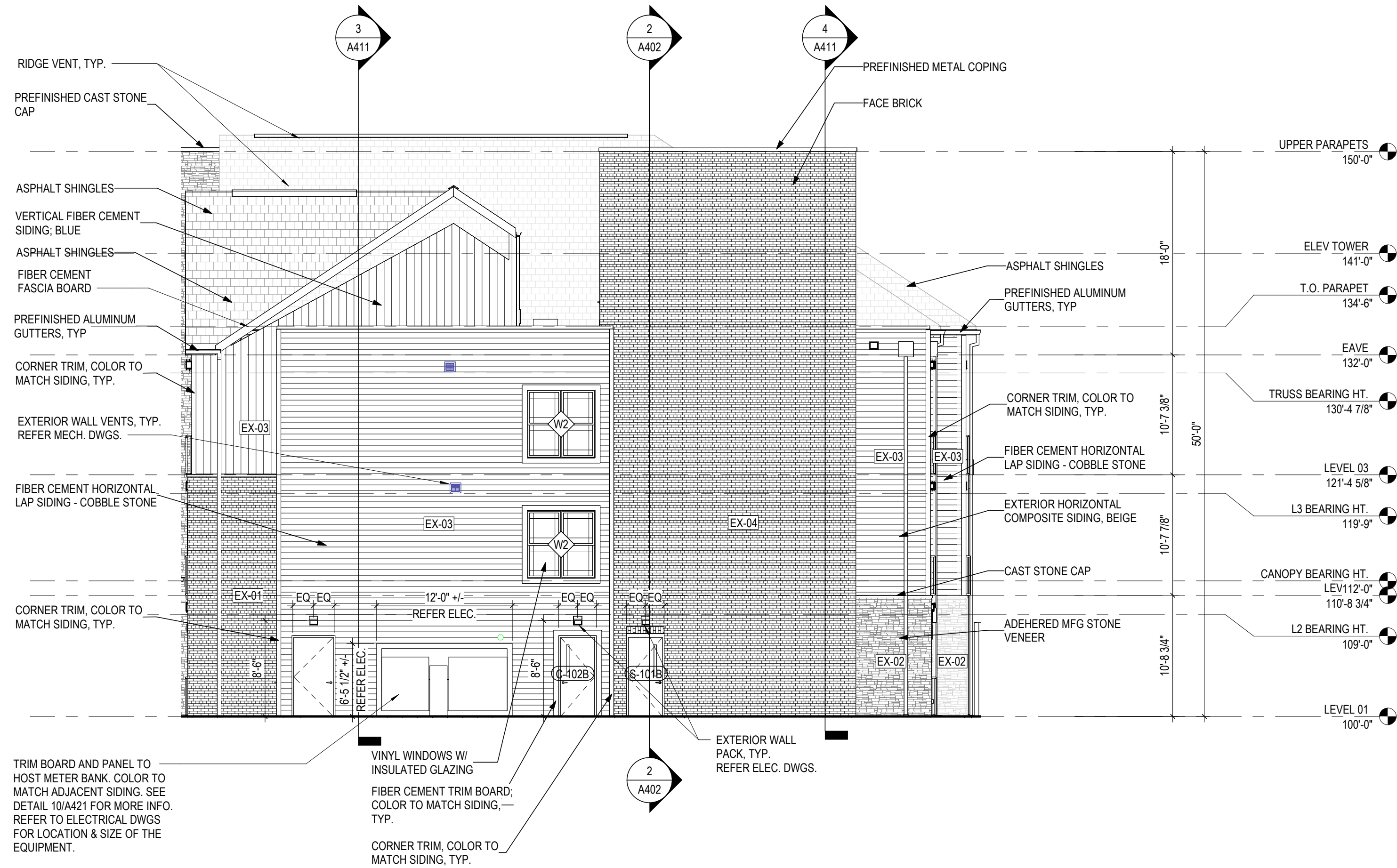
EX-01	BRICK ON WD STUD
EX-02	STONE VENEER ON WD STUD
EX-03	FIBER CEMENT SIDING ON WD STUD
EX-04	BRICK ON CMU
EX-05	STONE VENEER ON CMU


**COLUMBUS METROPOLITAN HOUSING AUTHORITY**  
 COMMUNITY. COMMITMENT. COLLABORATION.

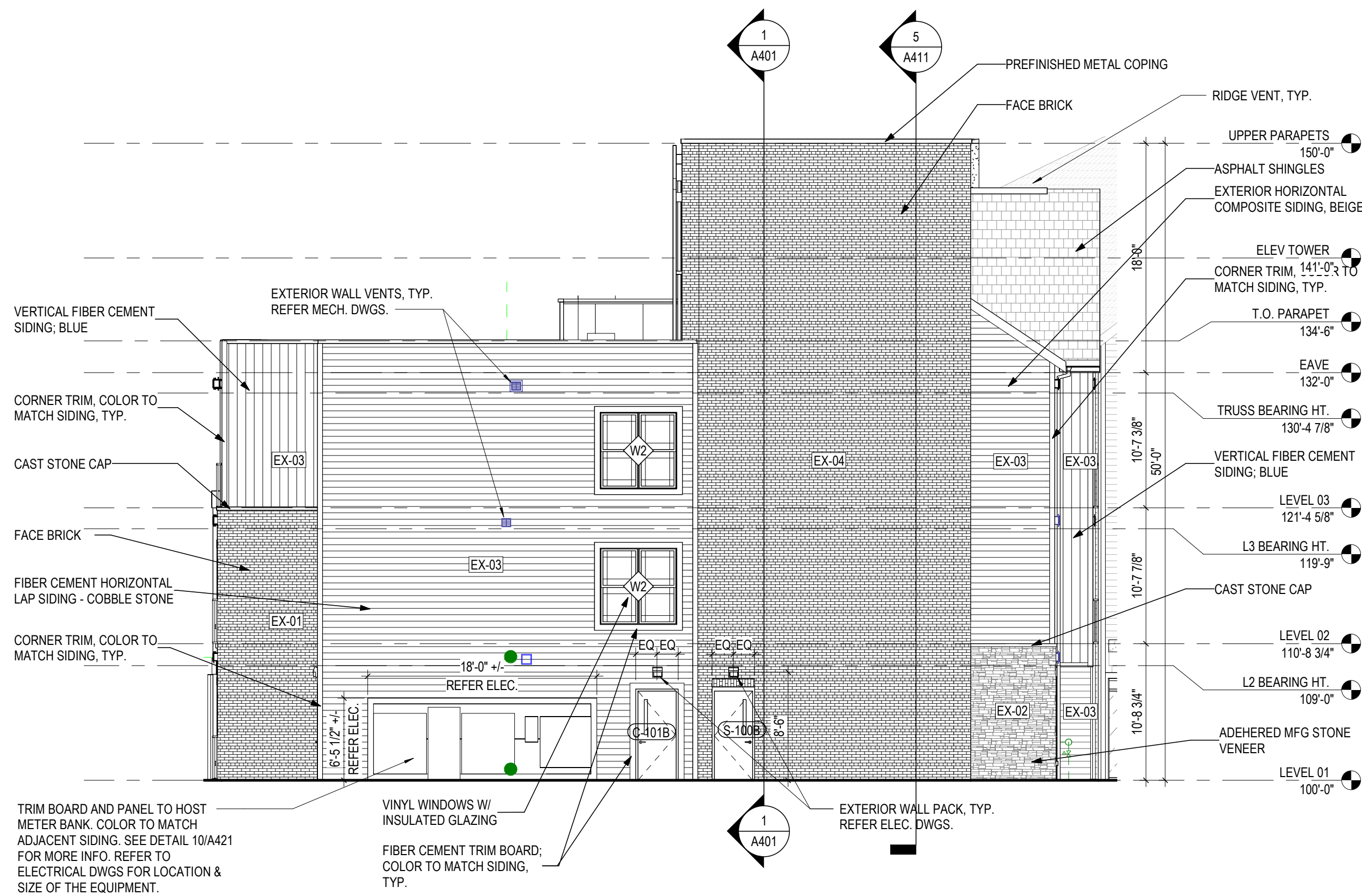


	06/08/2023	
	DRAWN BY: XXX	CHECKED BY: XXX
	#22172.01	
	<h1>A303</h1>	
JAY W BOONE, LIC. #10740 EXP. DATE: 12/31/2023		
PERMIT & BID SET		

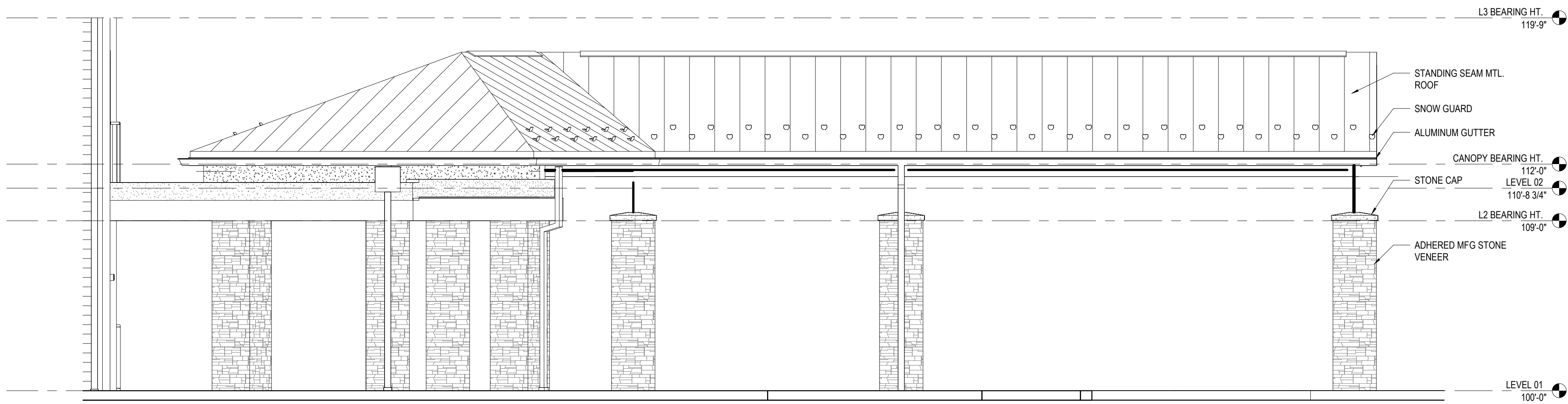




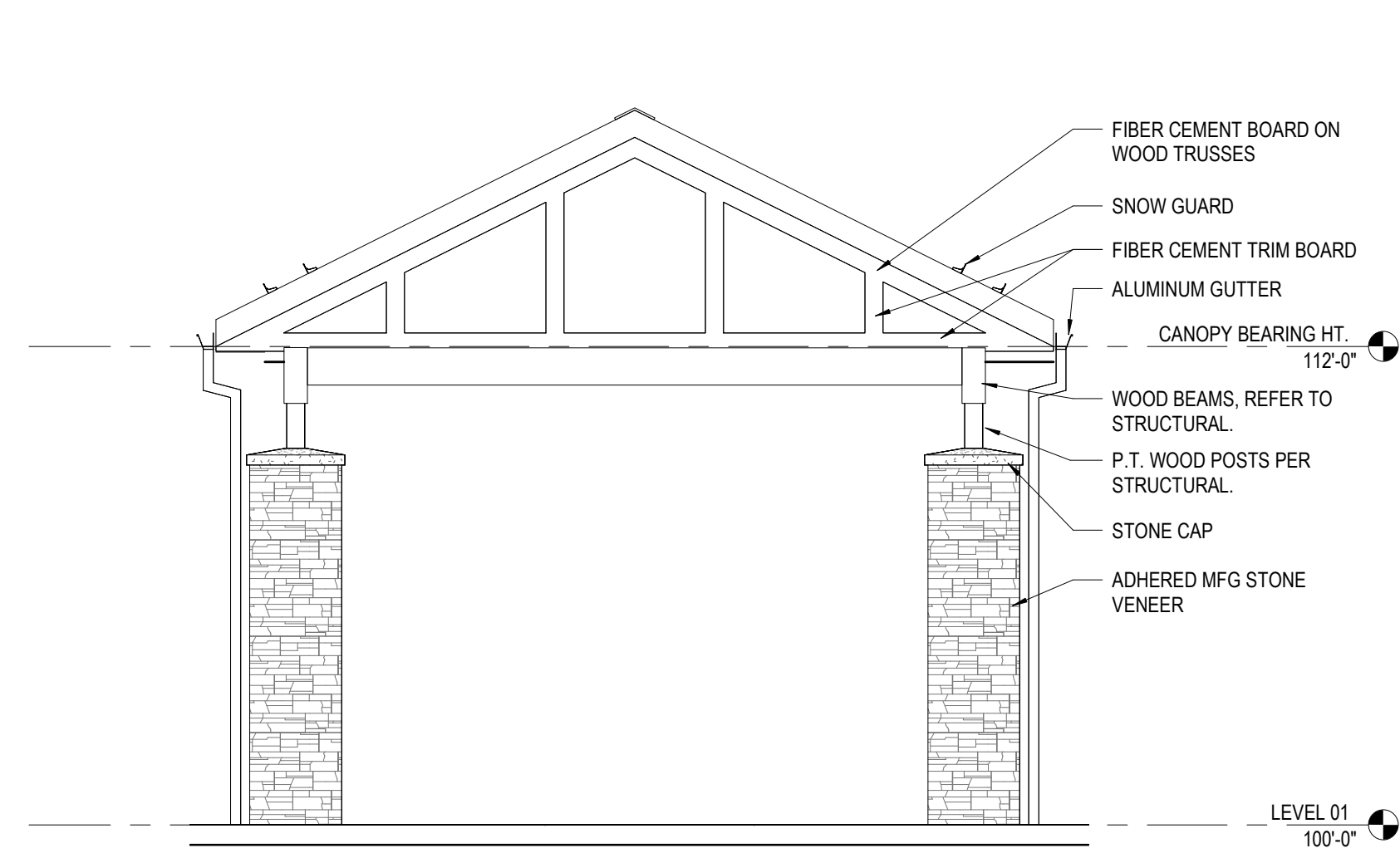
**4 ELEVATION** EAST WING - EAST ELEVATION  
1/8" = 1'-0" REF: 1 / A1.1



**2 ELEVATION** WEST WING - WEST ELEVATION  
1/8" = 1'-0" REF: 1 / A1.1



**3 ELEVATION** PORTICO SIDE ELEVATION  
1/4" = 1'-0" REF: 1 / A1.1



**1 ELEVATION** PORTICO FRONT ENTRY ELEVATION  
1/4" = 1'-0" REF: 1 / A1.1

## GENERAL NOTES - ELEVATIONS

1. REFER TO SHEET A301 FOR OVERALL ELEVATIONS.
2. PROVIDE HIGH VISIBILITY BUILDING ADDRESS NUMBERS AT MAIN ENTRY TO BUILDING. COORDINATE LOCATION WITH ARCHITECT. SEE SIGNAGE TYPE LEGEND FOR ADDITIONAL INFORMATION.

## EXTERIOR MATERIAL LEGEND

	ROOFING SHINGLES
	STONE VENEER
	BRICK VENEER
	HORIZONTAL SIDING
	VERTICAL SIDING

## EXTERIOR WALL TYPE LEGEND

EX-01	BRICK ON WD STUD
EX-02	STONE VENEER ON WD STUD
EX-03	FIBER CEMENT SIDING ON WD STUD
EX-04	BRICK ON CMU
EX-05	STONE VENEER ON CMU

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

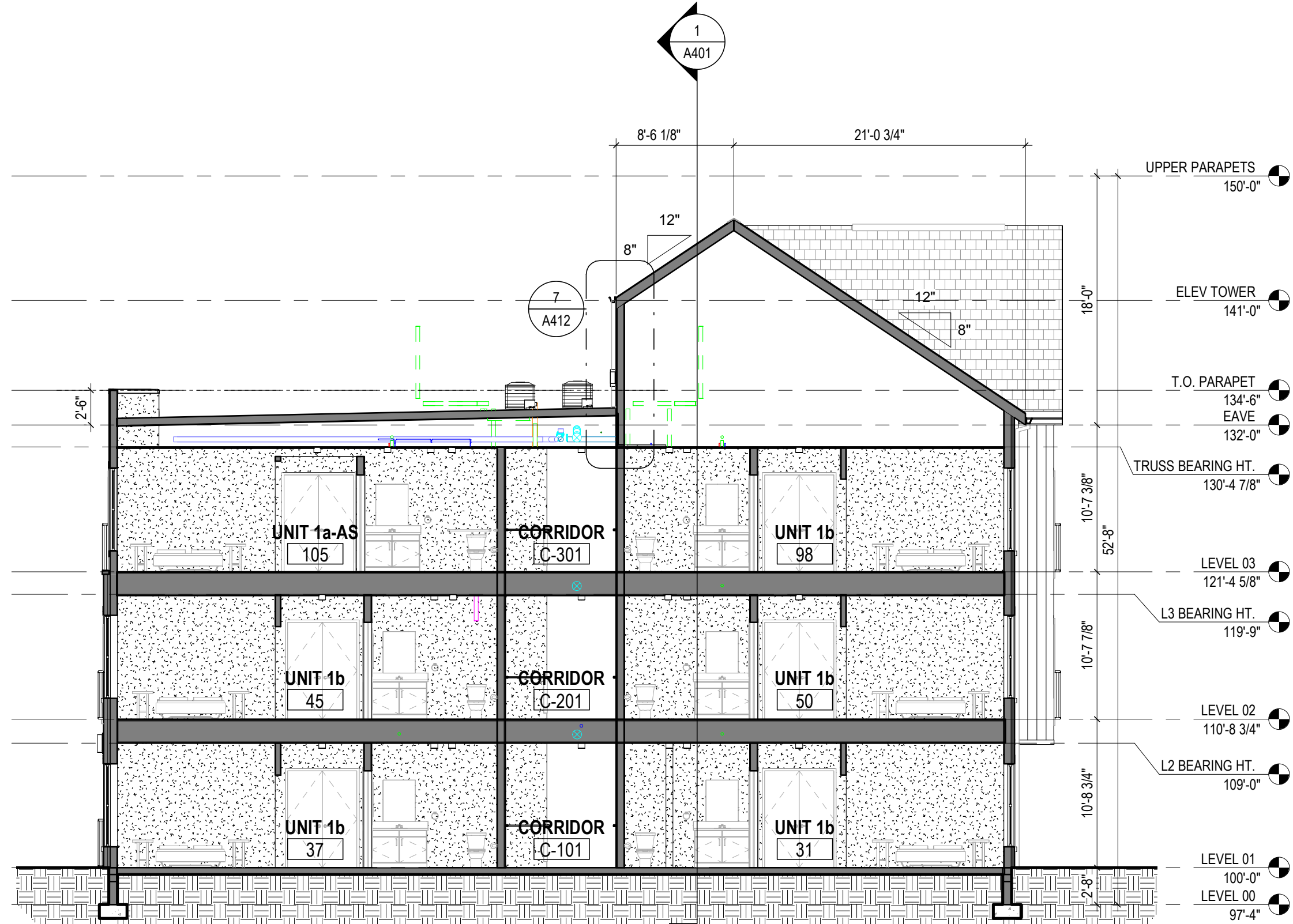
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

## EXTERIOR ELEVATIONS

	06/08/2023
	DRAWN BY: XXXX CHECKED BY: XXXX
	#22172.01
	<b>A304</b>
JAY W. BOONE, LIC. #10740 EXP. DATE: 12/31/2023	PERMIT & BID SET

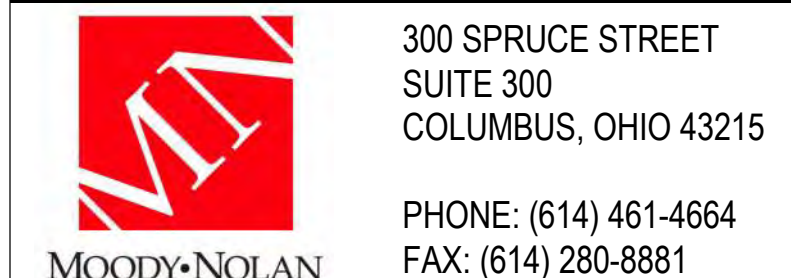




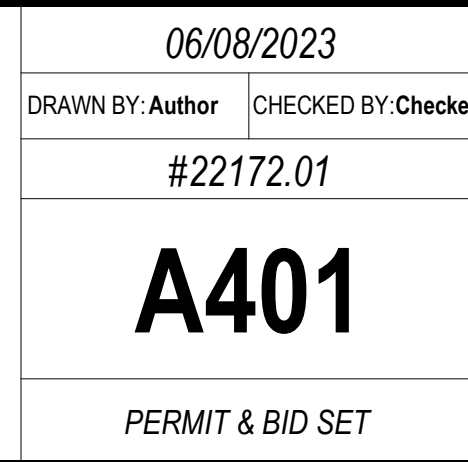
**2 SECTION** BUILDING SECTION - TYPICAL UNITS  
1/8" = 1'-0" REF: 1 / A1.1



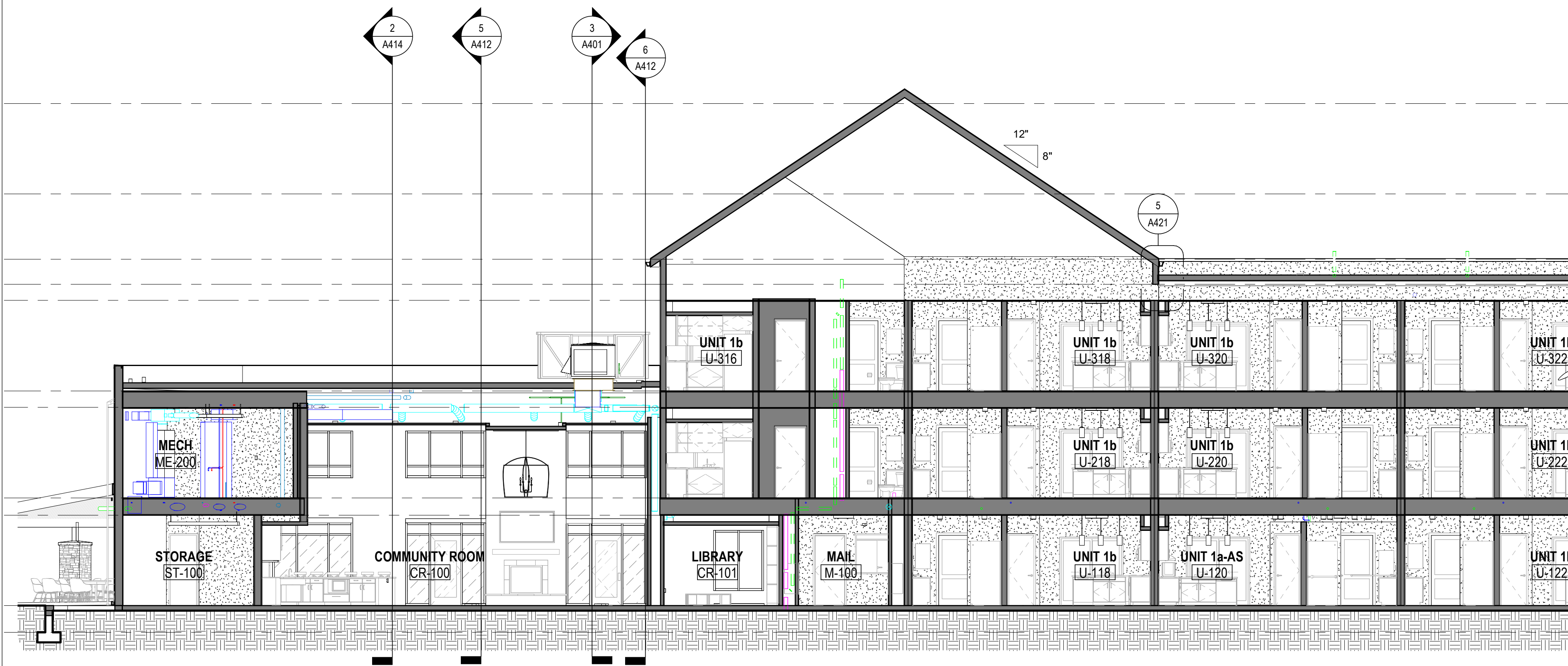
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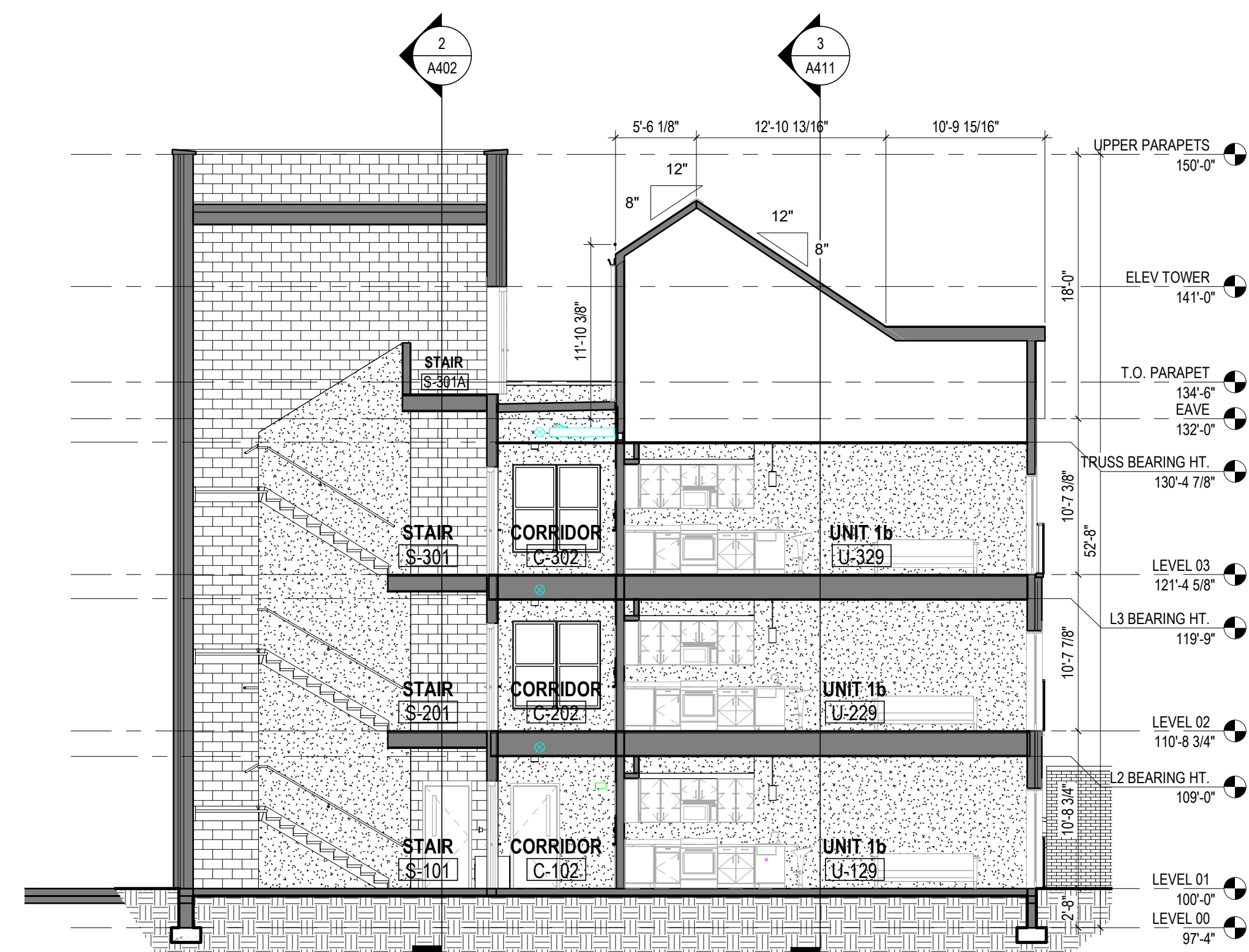
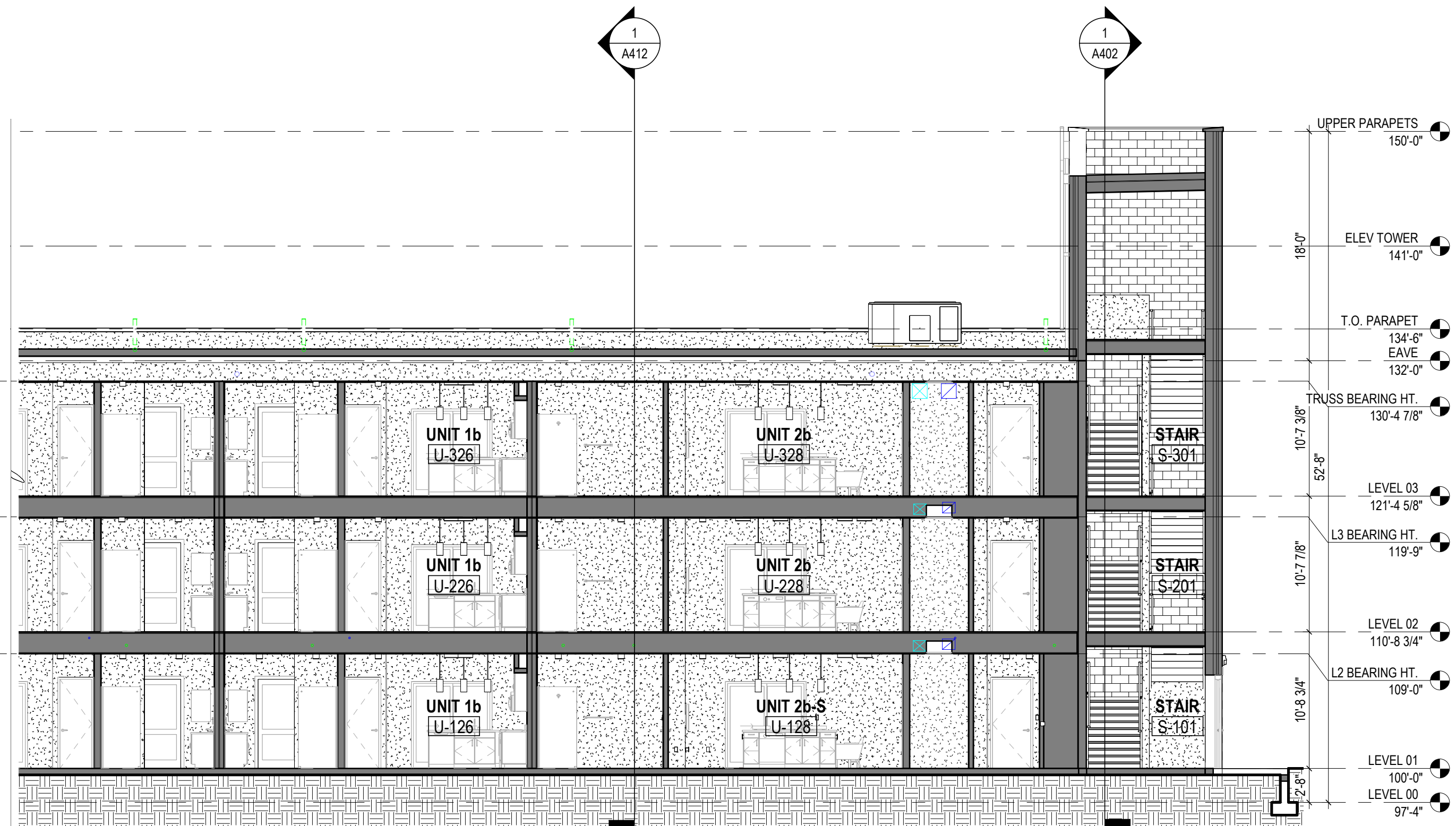
## BUILDING SECTIONS







**2 SECTION** BUILDING SECTION NORTH-SOUTH  
1/8" = 1'-0" REF: 1 / A1.1



**1 SECTION** BUILDING SECTION - SOUTH STAIRWELL  
1/8" = 1'-0" REF: 1 / A1.1

GENERAL NOTES - BUILDING SECTIONS

1. X

KEYNOTE LEGEND

#	DATE	CHANGE DESCRIPTION



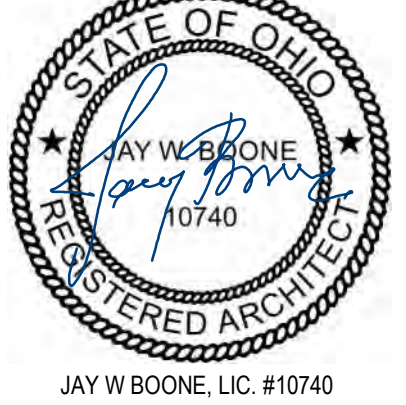
**COBBLESTONE MANOR**  
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**CMHA**



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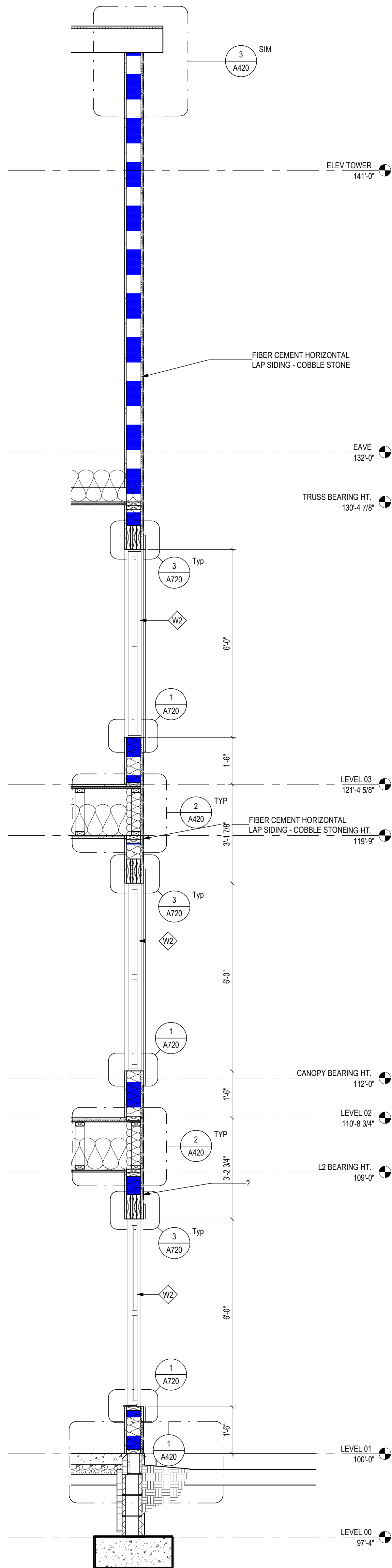
BUILDING SECTIONS



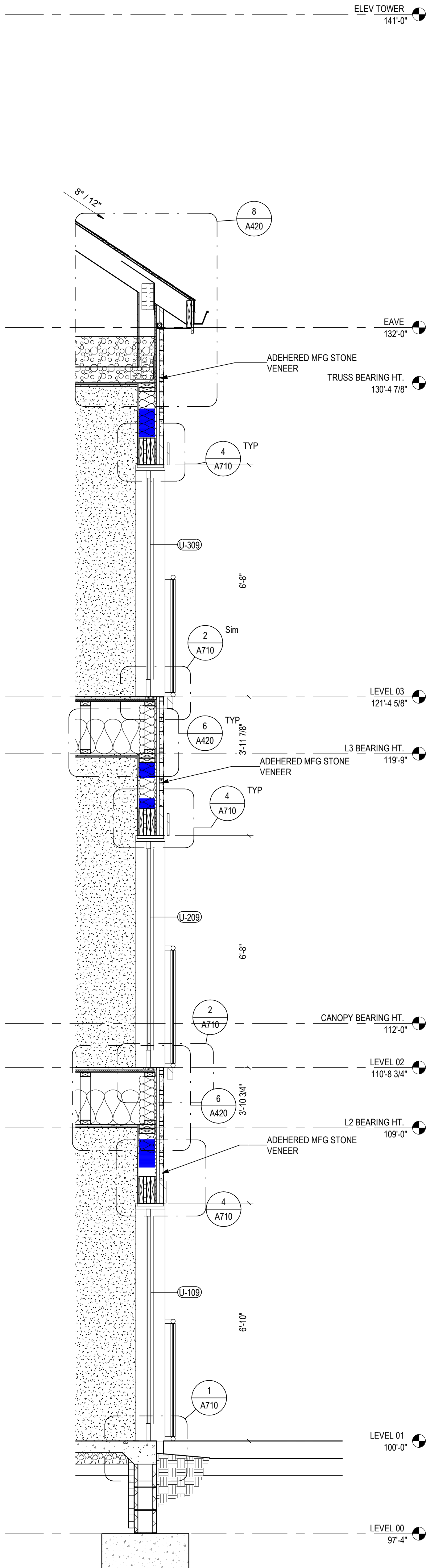
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A402**  
PERMIT & BID SET

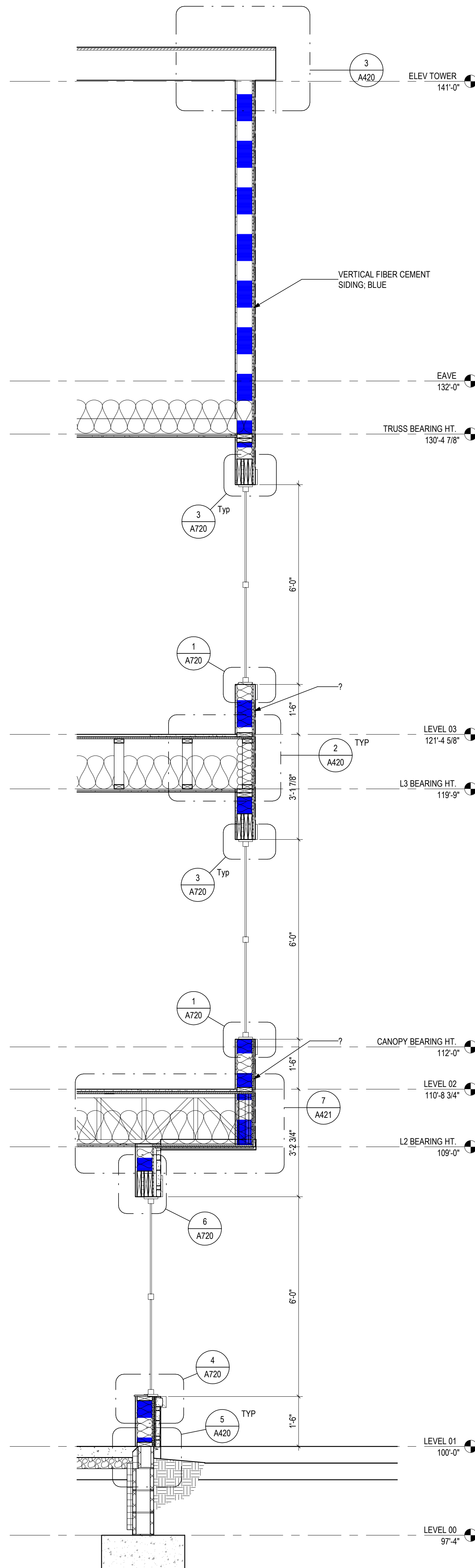




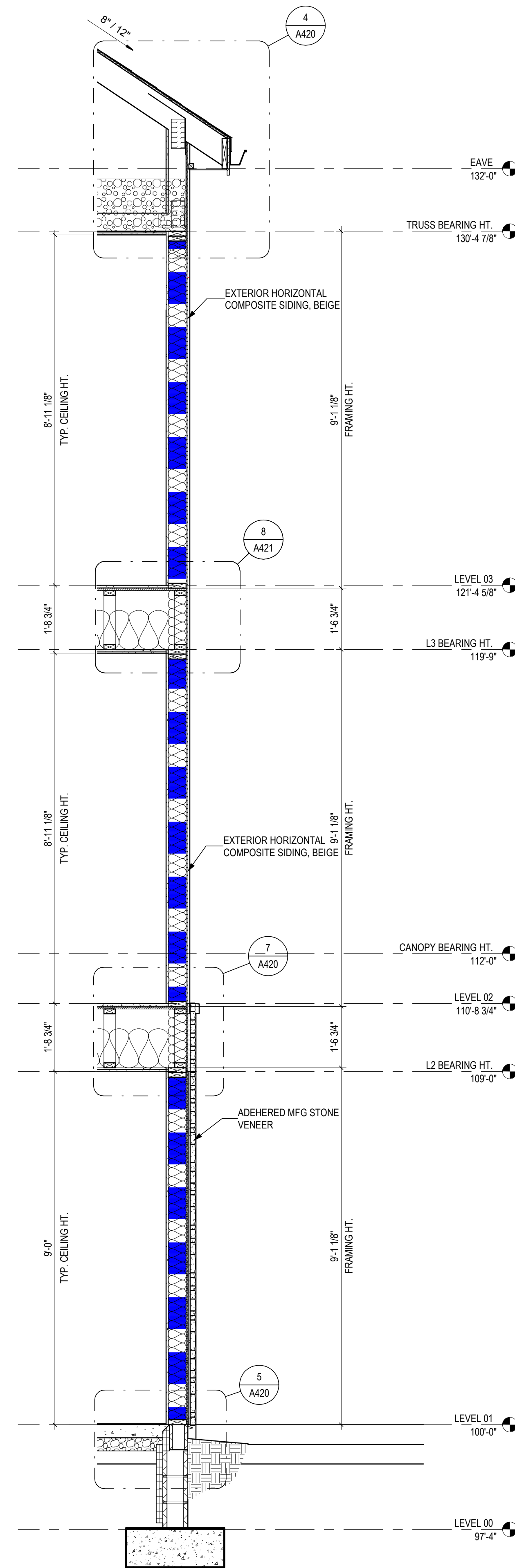
**4 SECTION** TYP. - VERT. SIDING TO HORIZ. SIDING  
1/2" = 1'-0" REF: 1 / A101A



**3 SECTION** TYP. - FULL STONE VENEER  
1/2" = 1'-0"



**2 SECTION** TYP. - STONE VENEER TO LEVEL 02 CANTILEVER  
1/2" = 1'-0"



**1 SECTION** TYP. - STONE VENEER TO HORIZ. SIDING  
1/2" = 1'-0" REF: 1 / A101A

**GENERAL NOTES - WALL SECTIONS**

1. REFER TO GEOTECHNICAL REPORT AS INCLUDED IN THE CONTRACT DOCUMENTS.
2. PROVIDE 8" OF GRANULAR FILL AT BELOW GRADE SLABS (0007 ITEM 304 OR CRUSHED NO. 57 LIMESTONE). PROVIDE A VAPOR BARRIER BELOW THE ENTIRE AREA OF THE SLABS ON GRADE.
3. FOUNDATION BACKFILL SHALL BE GRANULAR FILL AS NOTED IN THE GEOTECHNICAL REPORT. SEE THE GEOTECHNICAL REPORT FOR BACKFILL ANGLES. GRANULAR FILL PLACEMENT: SEE THE WATER MANAGEMENT FLOOR PLAN FOR LOCATION OF FOUNDATION DRAIN TILE AND WATERPROOFING/DAMP-PROOFING INFORMATION.
4. ALL STRUCTURAL STEEL TO BE 1 HOUR FIRE RATED. PROVIDE 1 HR INTUMESCENT COATING - REFER TO G SERIES SHEETS FOR DETAILS ON SPECIFIED UL ASSEMBLIES.

**GENERAL NOTES- AIR LEAKAGE**

1. ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED), TO BE FLASHED.
2. ALL GRADING TO BE SLOPED AWAY FROM BUILDING FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ONE (1) YEAR).
3. GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS (SEE ARCHITECTURAL DRAWINGS) AND GEOTECHNICAL REPORT).
4. BITUMEN SPRAY OR DAMP PROOFING ON BELOW GRADE WALLS (SEE ARCHITECTURAL DRAWINGS). BITUMEN SPRAY OR DAMP PROOFING ONLY REQUIRED AT THE ELEVATOR PIT.
5. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SUMP).
6. ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
7. INSTALL ALL (WALL/CEILING) INSULATION AGAINST CONDITIONED SURFACES (FACE STUDS/ALL BATT'S).
8. ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
9. ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-38 ADJACENT TO UNCONDITIONED SPACES).
10. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION.
11. PROVIDE "KRAFT" FACED FIBERGLASS INSULATION - INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) FACE STAPLED TO STUDS - FILL ALL CAVITIES - ALL INSULATION TO BE GUARANTEED FOR ONE (1) YEAR.
12. PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR SHEATHING JOINTS, INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE HOUSE WRAP, TAPING ALL SEAMS, INCLUDING TOP AND BOTTOM EDGES.
13. SEAL ALL RECESSED CAN LIGHTS, RECESSED CEILING EXHAUST FANS, UTILITY BOXES, AND DOOR JAMBS.
14. GLUE/GASKET DRYWALL TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.

**GENERAL NOTES- BLDG ENVELOPE**

- IN ACCORDANCE WITH ASHRAE 90.1-2010 (5.4.3.1), BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CALKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:
- A. JOINTS AROUND PENETRATION AND DOOR FRAMES.
  - B. JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
  - C. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
  - D. SITE-BUILT PENETRATION AND DOORS.
  - E. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
  - F. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
  - G. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.
  - H. SEAL DUCT BOOTS AT PENETRATIONS THROUGH DRYWALL/SUBFLOOR (BEFORE INSTALLING SUPPLY AND RETURN GRILLS).
  - I. ALL WALLS TOPS INCLUDING STOREFRONT ASSEMBLIES SHALL BE ATTACHED WITH A MINIMUM OF TWO (2) TOP PLATES.
  - J. SEE "WALL DETAILS" SHEET FOR TYPICAL EXTERIOR WALLS.
  - K. BATT INSULATION AT EXTERIOR WALLS TO BE A MINIMUM OF R-19. BATT INSULATION AT ROOF ATTICS TO BE A MINIMUM OF R-38 ADJACENT TO UNIT BALCONIES. AVERAGE INSULATION AT FLAT ROOFS AND SLOPED ROOFS ABOVE THE WOOD SHEATHING TO BE A MIN OF R-25.

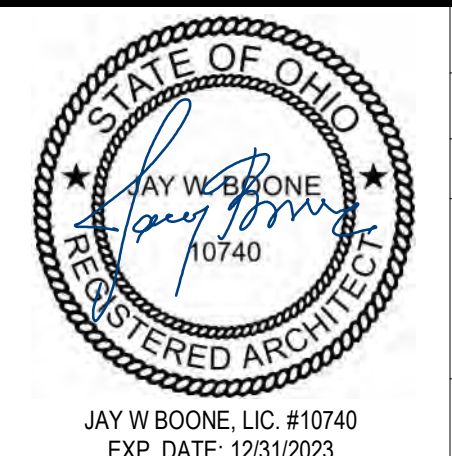
#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
100 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
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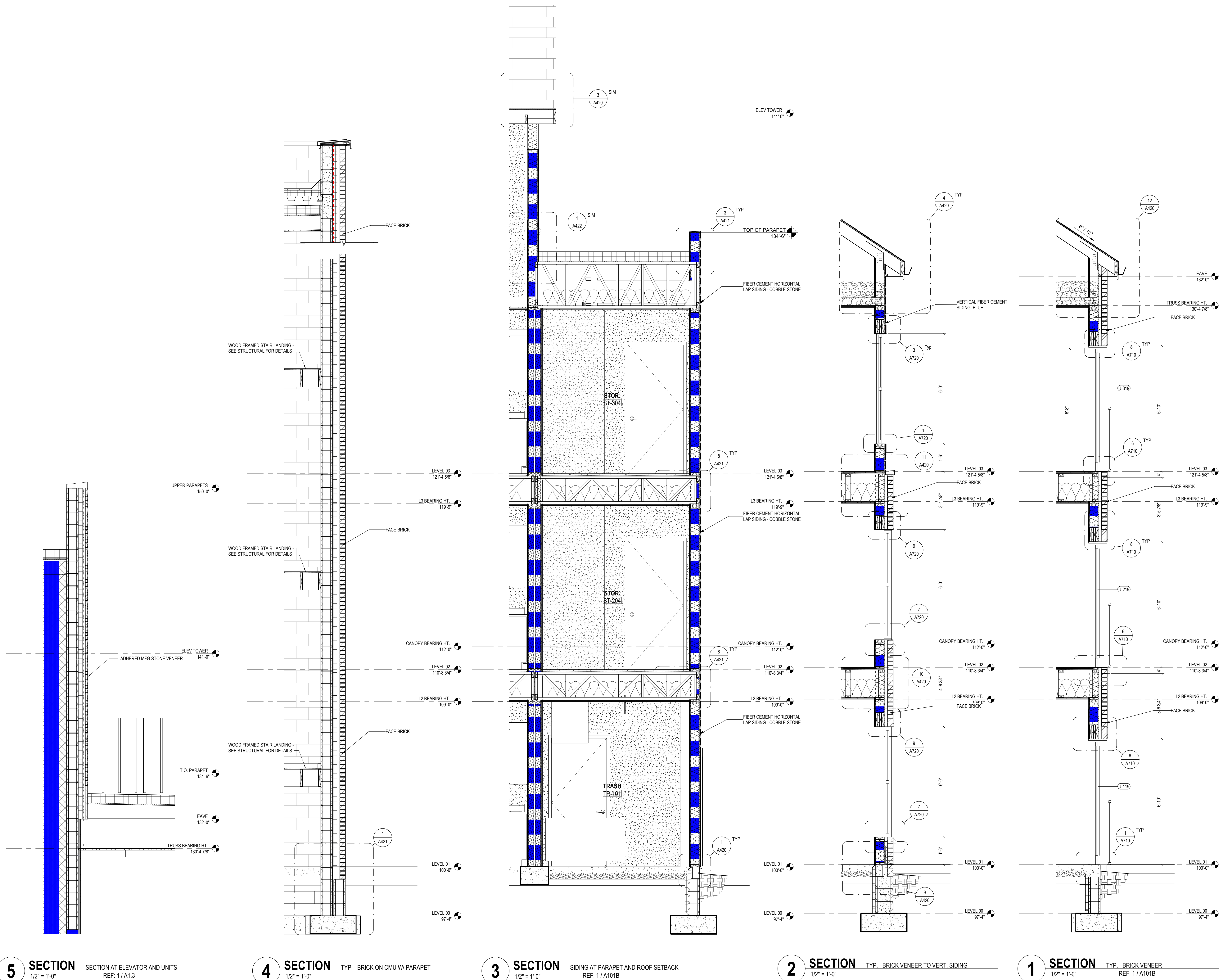
DRAWING TITLE:

**WALL SECTIONS**



06/08/2023  
DRAWN BY: CB CHECKED BY: Checker  
#22172.01  
**A410**  
PERMIT & BID SET  
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023





#### GENERAL NOTES - WALL SECTIONS

1. REFER TO GEOTECHNICAL REPORT AS INCLUDED IN THE CONTRACT DOCUMENTS.
2. PROVIDE 8" OF GRANULAR FILL AT BELOW GRADE SLABS (0007 ITEM 304 OR CRUSHED NO. 57 LIMESTONE). PROVIDE A VAPOR BARRIER BELOW THE ENTIRE AREA OF THE SLABS ON GRADE.
3. FOUNDATION BACKFILL SHALL BE GRANULAR FILL AS NOTED IN THE GEOTECHNICAL REPORT. SEE THE GEOTECHNICAL REPORT FOR BACKFILL ANGLE GRANULAR FILL PLACEMENT. SEE THE WATER MANAGEMENT FLOOR PLAN FOR LOCATION OF FOUNDATION DRAIN TILE AND WATERPROOFING/DAMP-PROOFING INFORMATION.
4. ALL STRUCTURAL STEEL TO BE 1 HOUR FIRE RATED. PROVIDE 1 HR INTUMESCENT COATING - REFER TO G SERIES SHEETS FOR DETAILS ON SPECIFIED UL ASSEMBLIES.

#### GENERAL NOTES- AIR LEAKAGE

1. ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED), TO BE FLASHED.
2. ALL GRADING TO BE SLOPED AWAY FROM BUILDING FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ONE (1) YEAR).
3. GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS (SEE ARCHITECTURAL DRAWINGS AND GEOTECHNICAL REPORT).
4. BITUMEN SPRAY OR DAMP PROOFING ON BELOW GRADE WALLS (SEE ARCHITECTURAL DRAWINGS). BITUMEN SPRAY OR DAMP PROOFING ONLY REQUIRED AT THE ELEVATOR FIT.
5. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SIMP).
6. ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
7. INSTALL ALL (WALL/CEILING) INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
8. ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
9. ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-38 ADJACENT TO UNCONDITIONED SPACES).
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13. SEAL ALL RECESSED CAN LIGHTS, RECESSED CEILING EXHAUST FANS, UTILITY BOXES, AND DOOR JAMS.
14. GLUE/GASKET DRYWALL TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.

#### GENERAL NOTES- BLDG ENVELOPE

- IN ACCORDANCE WITH ASHRAE 90.1-2010 (5.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:
- A. JOINTS AROUND PENETRATION AND DOOR FRAMES.
  - B. JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
  - C. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
  - D. SITE-BUILT PENETRATION AND DOORS.
  - E. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
  - F. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
  - G. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.
  - H. SEAL DUCT BOOTS AT PENETRATIONS THROUGH DRYWALL/SUBFLOOR (BEFORE INSTALLING SUPPLY AND RETURN GRILLS).
  - I. ALL WALLS TOPS INCLUDING STOREFRONT ASSEMBLIES SHALL BE ATTACHED WITH A MINIMUM OF TWO (2) TOP PLATES.
  - J. SEE "WALL DETAILS" SHEET FOR TYPICAL EXTERIOR WALLS.
  - K. BATT INSULATION AT EXTERIOR WALLS TO BE A MINIMUM OF R-19. BATT INSULATION AT ROOF ATTICS TO BE A MINIMUM OF R-38 ADJACENT TO UNIT BALCONIES. AVERAGE INSULATION AT FLAT ROOFS AND SLOPED ROOFS ABOVE THE WOOD SHEATHING TO BE A MIN OF R-25.

#### # DATE CHANGE DESCRIPTION

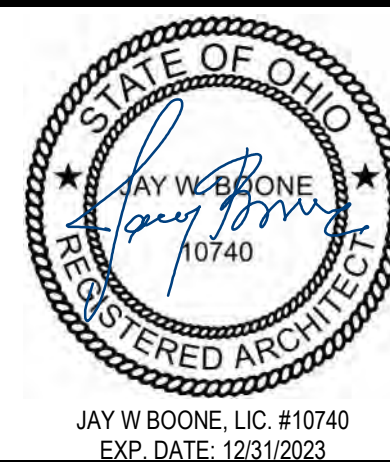
#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
100 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

#### WALL SECTIONS



06/08/2023

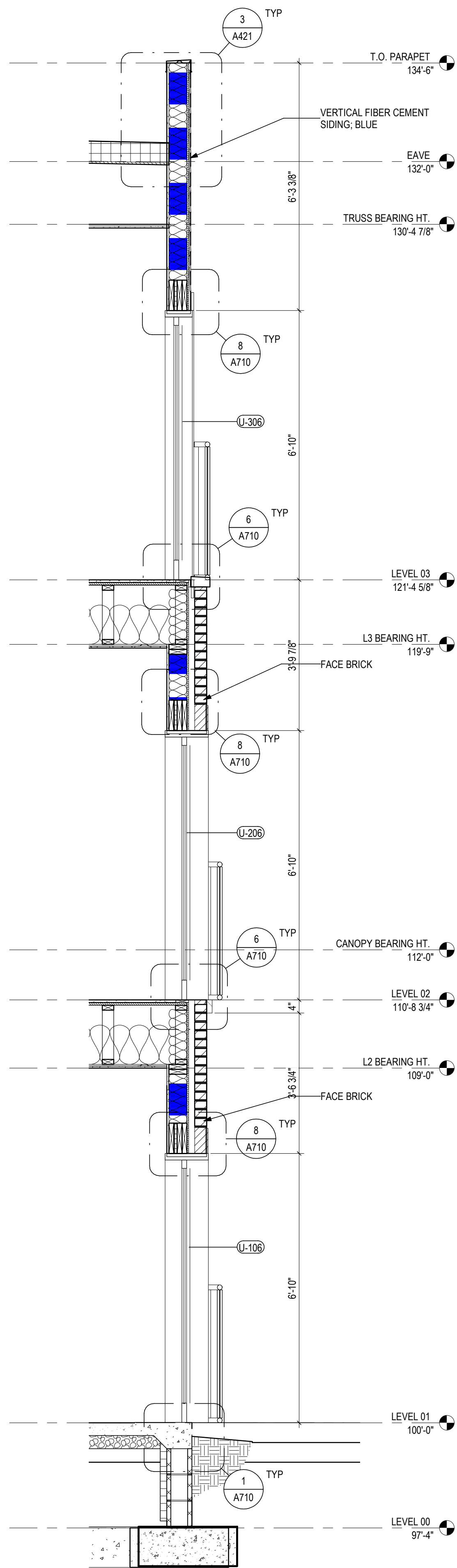
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#22172.01

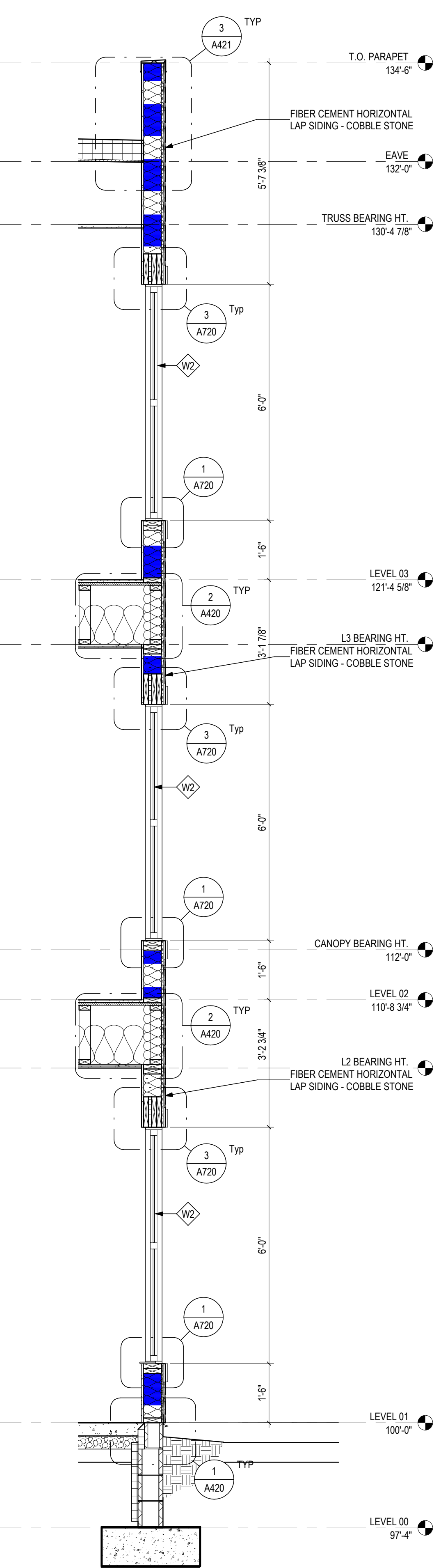
**A411**

PERMIT & BID SET

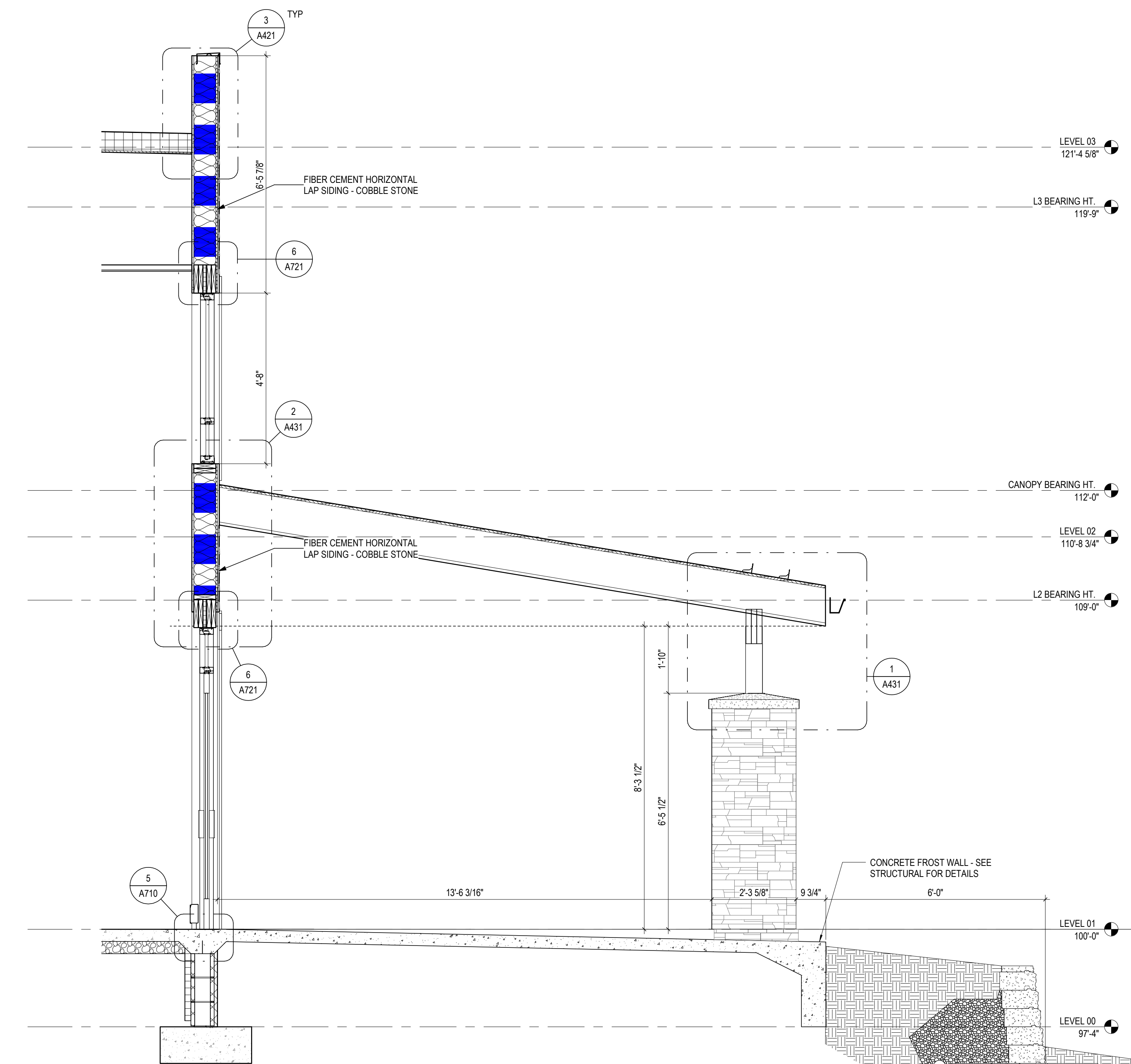




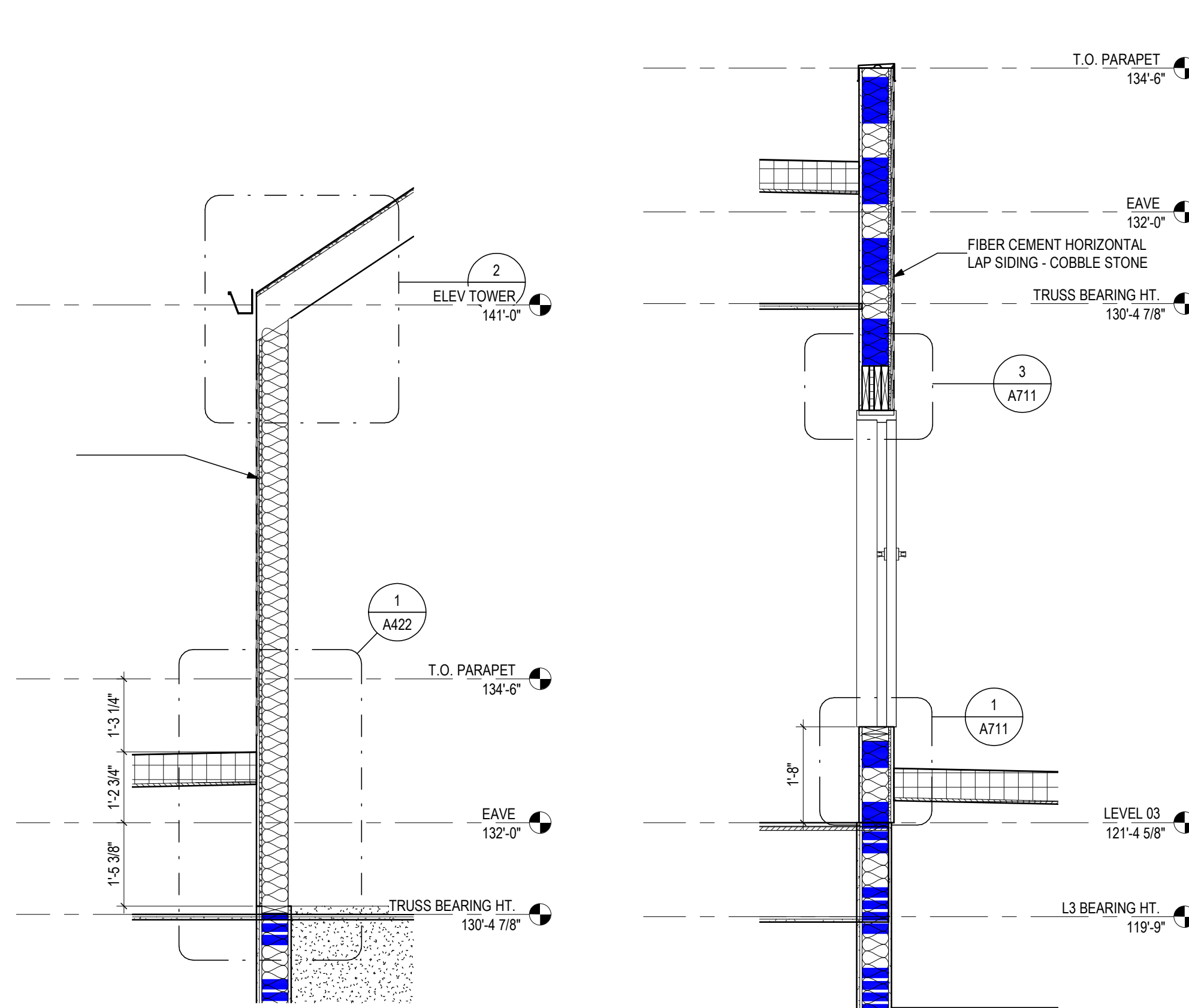
**4 SECTION**  
1/2" = 1'-0"  
TYP - BRICK TO SIDING W/ PARAPET  
REF: 1 / A101A



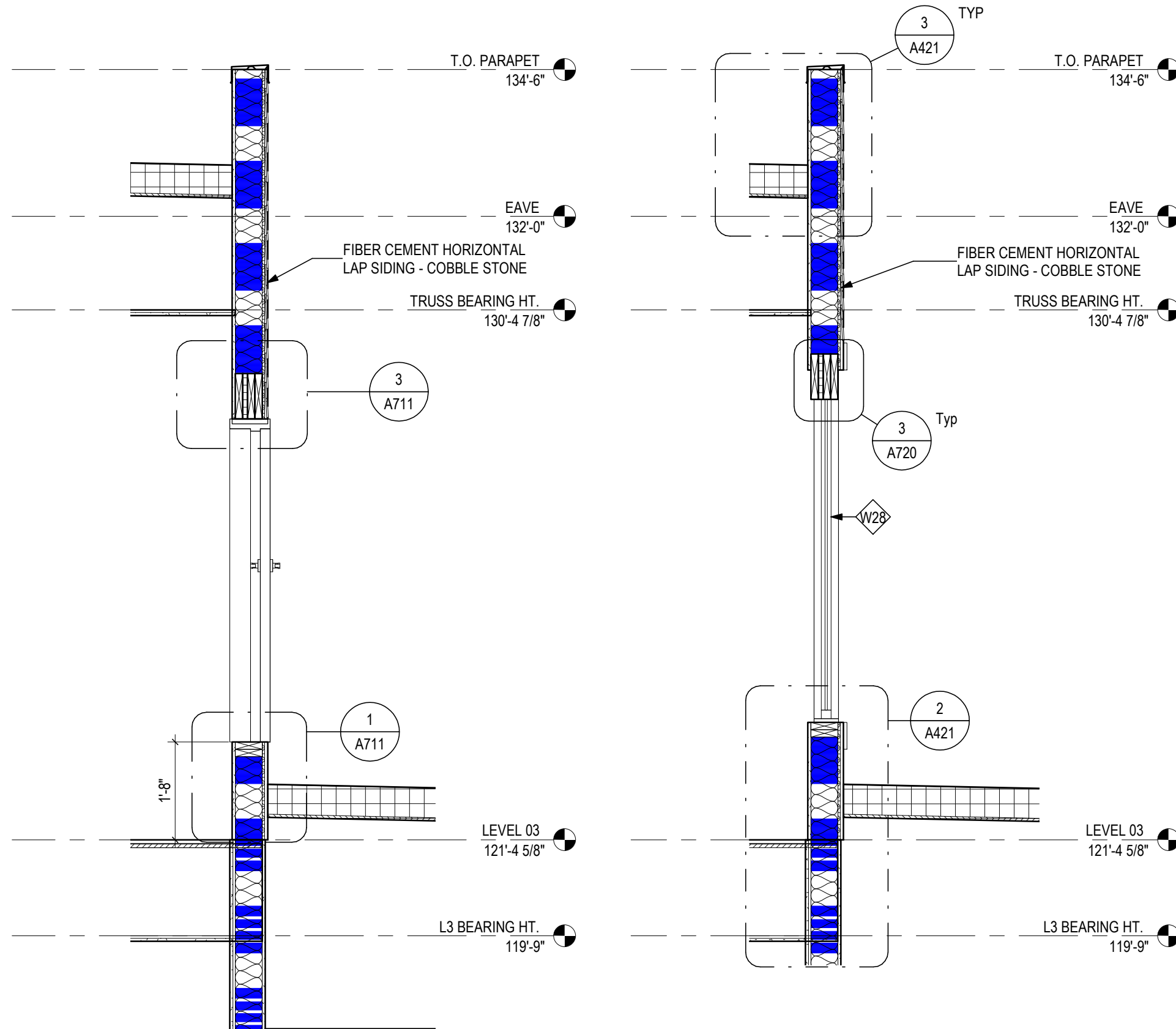
**3 SECTION**  
1/2" = 1'-0"  
TYP - SIDING W/ PARAPET  
REF: 1 / A101A



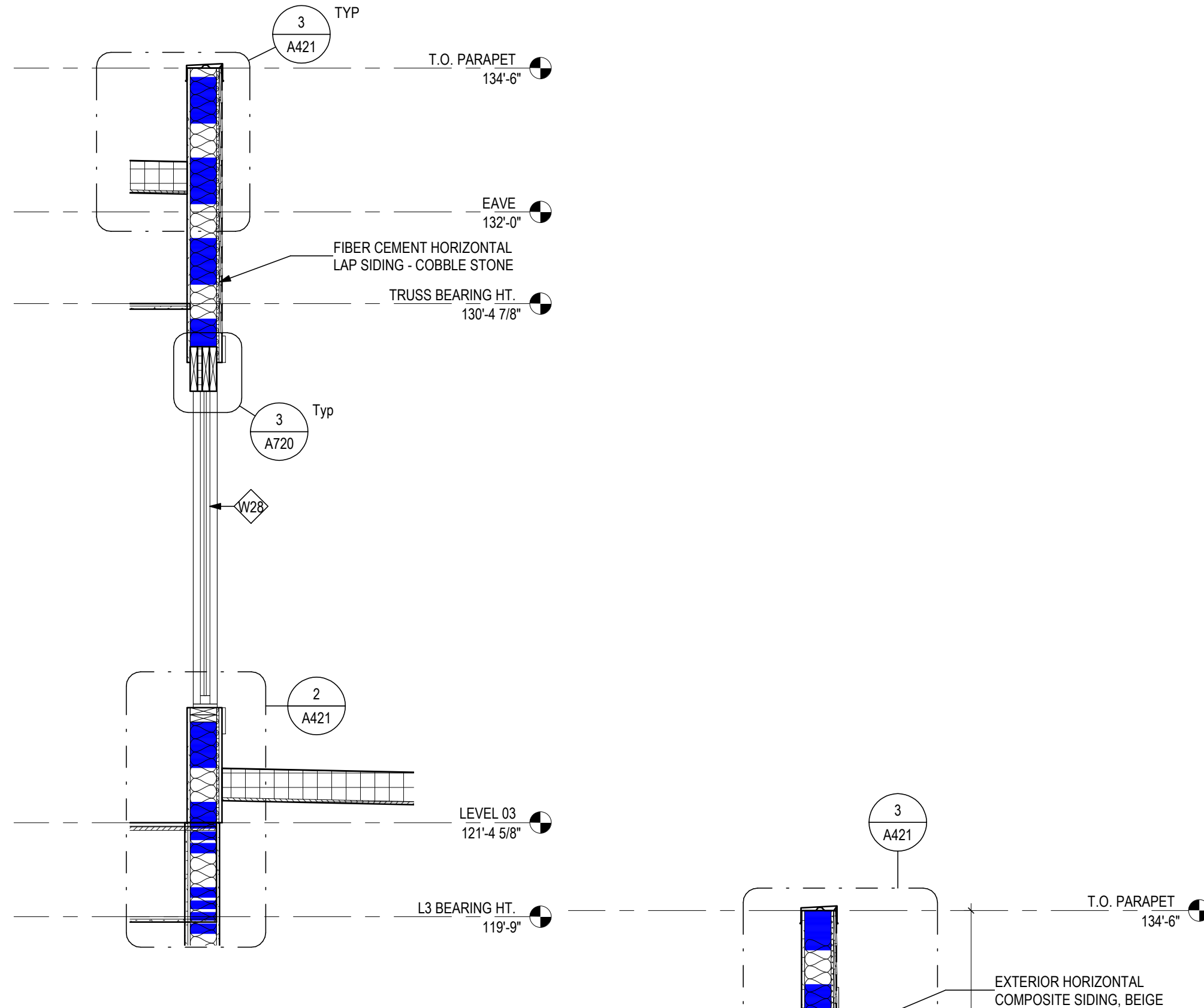
**2 SECTION**  
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TYPICAL WALL SECTION-7  
REF: 1 / A1.1



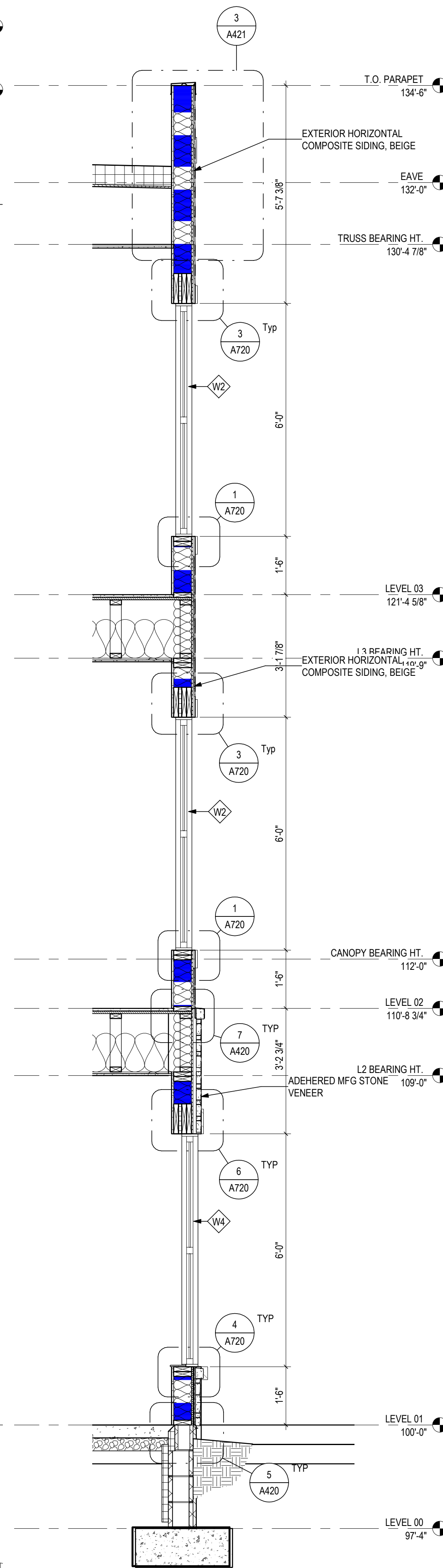
**7 SECTION**  
1/2" = 1'-0"  
WALL SECTION @ WEST WING  
REF: 2 / A401



**6 SECTION**  
1/2" = 1'-0"  
LEVEL 03 - ACCESS DOOR  
REF: 1 / A102A



**5 SECTION**  
1/2" = 1'-0"  
LEVEL 03 - SIDING TO ROOF  
REF: 1 / A103A



**1 SECTION**  
1/2" = 1'-0"  
TYP - STONE VENEER TO SIDING W/ PARAPET  
REF: 1 / A101B

## GENERAL NOTES - WALL SECTIONS

1. REFER TO GEOTECHNICAL REPORT AS INCLUDED IN THE CONTRACT DOCUMENTS.
2. PROVIDE 8" OF GRANULAR FILL AT BELOW GRADE SLABS (0007 ITEM 304 OR CRUSHED NO. 57 LIMESTONE). PROVIDE A VAPOR BARRIER BELOW THE ENTIRE AREA OF THE SLABS ON GRADE.
3. FOUNDATION BACKFILL SHALL BE GRANULAR FILL AS NOTED IN THE GEOTECHNICAL REPORT. SEE THE GEOTECHNICAL REPORT FOR BACKFILL ANGLE (GRANULAR FILL PLACEMENT). SEE THE WATER MANAGEMENT FLOOR PLAN FOR LOCATION OF FOUNDATION DRAIN TILE AND WATERPROOFING/ DAMPROOFING INFORMATION.
4. ALL STRUCTURAL STEEL TO BE 1 HOUR FIRE RATED. PROVIDE 1 HR INTUMESCENT COATING - REFER TO G SERIES SHEETS FOR DETAILS ON SPECIFIED UL ASSEMBLIES.

## GENERAL NOTES- AIR LEAKAGE

1. ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED), TO BE FLASHED.
2. ALL GRADING TO BE SLOPED AWAY FROM BUILDING FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ONE (1) YEAR).
3. GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS (SEE ARCHITECTURAL DRAWINGS AND GEOTECHNICAL REPORT).
4. BITUMEN SPRAY OR DAMP PROOFING ON BELOW GRADE WALLS (SEE ARCHITECTURAL DRAWINGS). BITUMEN SPRAY OR DAMP PROOFING ONLY REQUIRED AT THE ELEVATOR PIT.
5. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE DRAIN).
6. ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
7. INSTALL ALL (WALL/CEILING) INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATT).
8. ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
9. ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-38 ADJACENT TO UNCONDITIONED SPACES).
10. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION.
11. PROVIDE "KRAFT" FACED FIBERGLASS INSULATION - INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) FACE STAPLED TO STUDS - FILL ALL CAVITIES - ALL INSULATION TO BE GUARANTEED FOR ONE (1) YEAR.
12. PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR SHEATHING JOINTS, INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE HOUSE WRAP, TAPING ALL SEAMS, INCLUDING TOP AND BOTTOM EDGES.
13. SEAL ALL RECESSED CAN LIGHTS, RECESSED CEILING EXHAUST FANS, UTILITY BOXES, AND DOOR JAMBS.
14. GLUE/GASKET DRYWALL TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.

## GENERAL NOTES- BLDG ENVELOPE

- IN ACCORDANCE WITH ASHRAE 90.1-2010 (5.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CALKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:
- A. JOINTS AROUND PENETRATION AND DOOR FRAMES.
  - B. JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
  - C. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
  - D. SITE-BUILT PENETRATION AND DOORS.
  - E. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
  - F. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
  - G. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.
  - H. SEAL DUCT BOOTS AT PENETRATIONS THROUGH DRYWALL/SUBFLOOR (BEFORE INSTALLING SUPPLY AND RETURN GRILLS).
  - I. ALL WALLS TOPS INCLUDING STOREFRONT ASSEMBLIES SHALL BE ATTACHED WITH A MINIMUM OF TWO (2) TOP PLATES.
  - J. SEE "WALL DETAILS" SHEET FOR TYPICAL EXTERIOR WALLS.
  - K. BATT INSULATION AT EXTERIOR WALLS TO BE A MINIMUM OF R-19. BATT INSULATION AT ROOF ATTICS TO BE A MINIMUM OF R-38 ADJACENT TO UNIT BALCONIES. AVERAGE INSULATION AT FLAT ROOFS AND SLOPED ROOFS ABOVE THE WOOD SHEATHING TO BE A MIN OF R-20.

## # DATE CHANGE DESCRIPTION

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
100 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

## WALL SECTIONS

STATE OF OHIO  
JAY W. BOONE  
REGISTERED ARCHITECT  
10740

06/08/2023

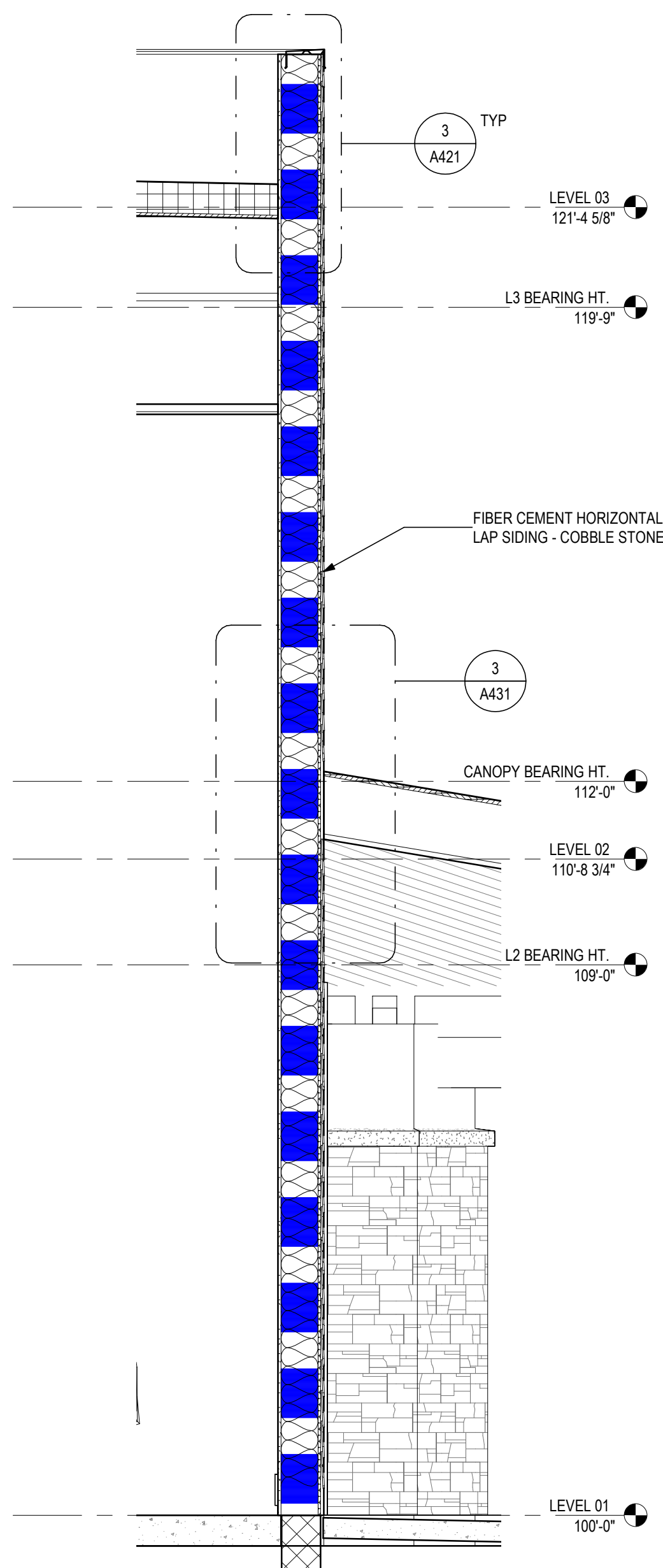
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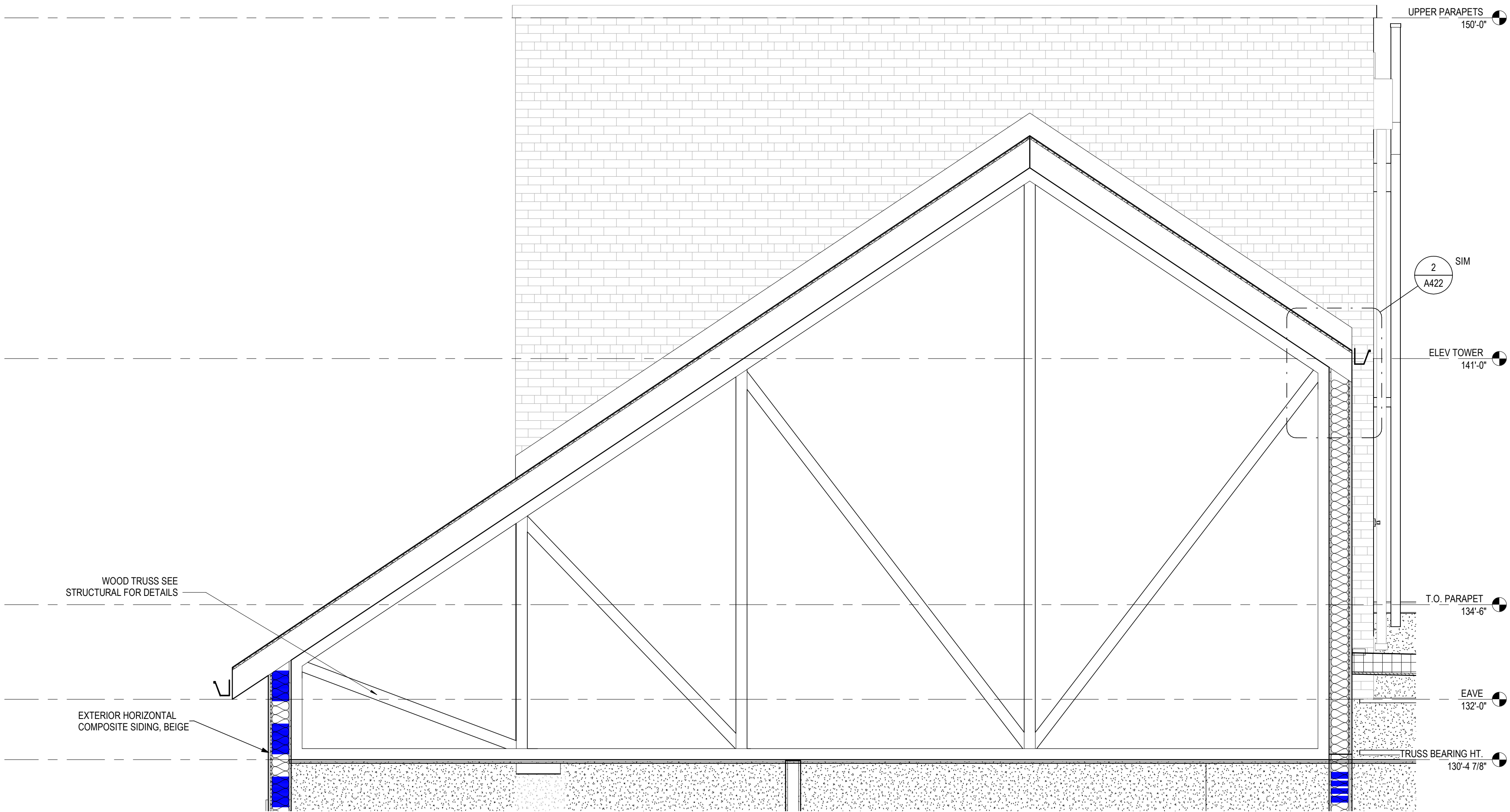
**A412**

PERMIT & BID SET





**2 SECTION**  
1/2" = 1'-0"  
SECTION @ SIDING AT AWNING  
REF: 1 / A101A



**1 SECTION**  
1/2" = 1'-0"  
ROOF AT STAIR TOWER  
REF: 1 / A1.4

#### GENERAL NOTES - WALL SECTIONS

1. REFER TO GEOTECHNICAL REPORT AS INCLUDED IN THE CONTRACT DOCUMENTS.
2. PROVIDE 8" OF GRANULAR FILL AT BELOW GRADE SLABS (ODOT ITEM 304 OR CRUSHED NO. 57 LIMESTONE). PROVIDE A VAPOR BARRIER BELOW THE ENTIRE AREA OF THE SLABS ON GRADE.
3. FOUNDATION BACKFILL SHALL BE GRANULAR FILL AS NOTED IN THE GEOTECHNICAL REPORT. SEE THE GEOTECHNICAL REPORT FOR BACKFILL ANGLES GRANULAR FILL PLACEMENT. SEE THE WATER MANAGEMENT FLOOR PLAN FOR LOCATION OF FOUNDATION DRAIN TILE AND WATERPROOFING/ DAMPROOFING INFORMATION.
4. ALL STRUCTURAL STEEL TO BE 1 HOUR FIRE RATED. PROVIDE 1 HR INTUMESCENT COATING - REFER TO G SERIES SHEETS FOR DETAILS ON SPECIFIED UL ASSEMBLIES.

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5. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SIMP).
6. ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
7. INSTALL ALL (WALL/CEILING) INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATTS).
8. ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
9. ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-38 ADJACENT TO UNCONDITIONED SPACES).
10. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION.
11. PROVIDE "KRAFT" FACED FIBERGLASS INSULATION - INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) FACE STAPLED TO STUDS - FILL ALL CAVITIES - ALL INSULATION TO BE GUARANTEED FOR ONE (1) YEAR.
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  - B. JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
  - C. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
  - D. SITE-BUILT FENESTRATION AND DOORS.
  - E. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
  - F. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
  - G. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.
  - H. SEAL DUCT BOOTS AT PENETRATIONS THROUGH DRYWALL/SUBFLOOR (BEFORE INSTALLING SUPPLY AND RETURN GRILLS).
  - I. ALL WALLS TOPS INCLUDING STOREFRONT ASSEMBLIES SHALL BE ATTACHED WITH A MINIMUM OF TWO (2) TOP PLATES.
  - J. SEE "WALL DETAILS" SHEET FOR TYPICAL EXTERIOR WALLS.
  - K. BATT INSULATION AT EXTERIOR WALLS TO BE A MINIMUM OF R-19. BATT INSULATION AT ROOF ATTICS TO BE A MINIMUM OF R-38 ADJACENT TO UNIT BALCONIES. AVERAGE INSULATION AT FLAT ROOFS AND SLOPED ROOFS ABOVE THE WOOD SHEATHING TO BE A MIN OF R-25.


#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
100 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

#### WALL SECTIONS



JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023

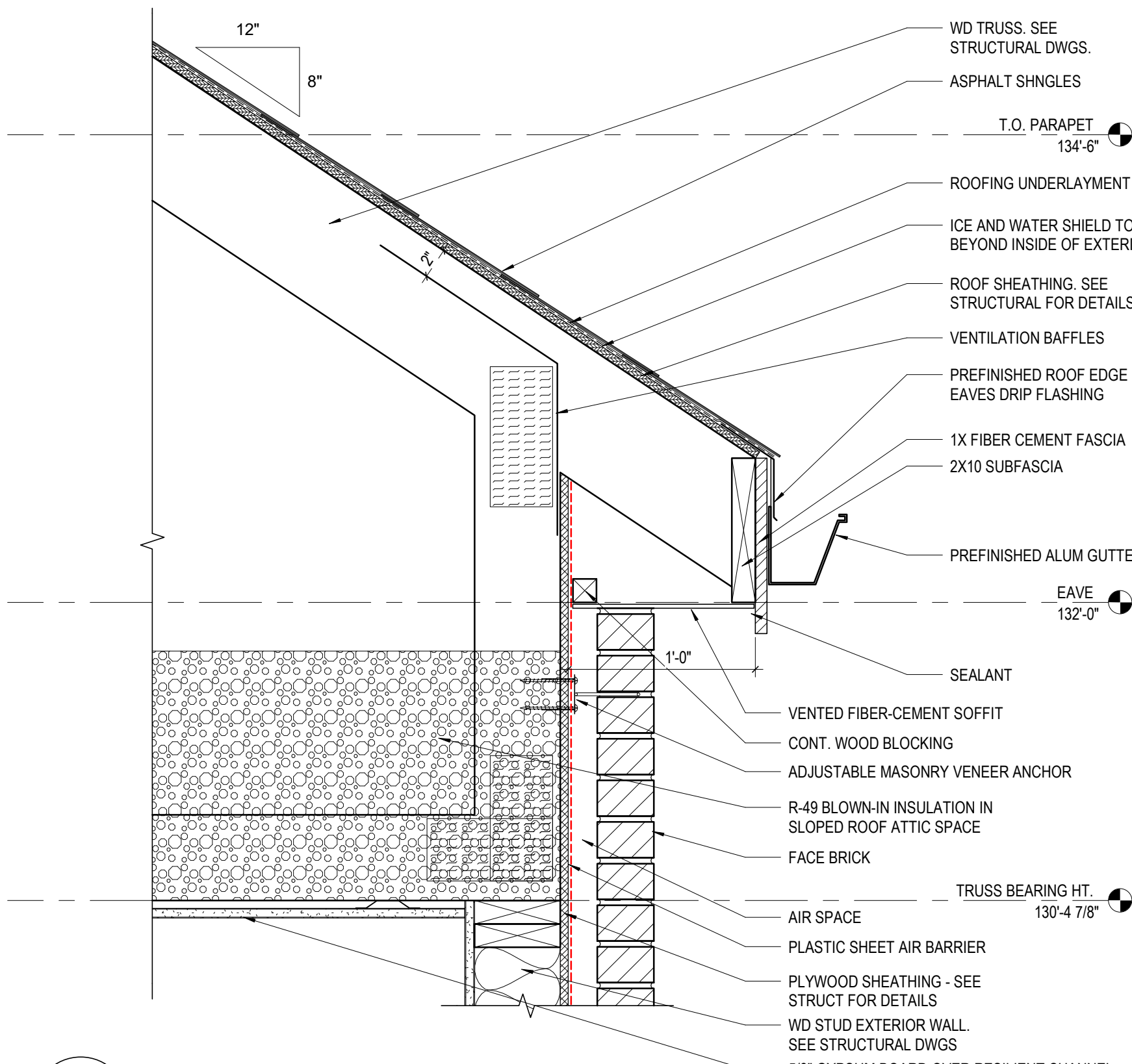
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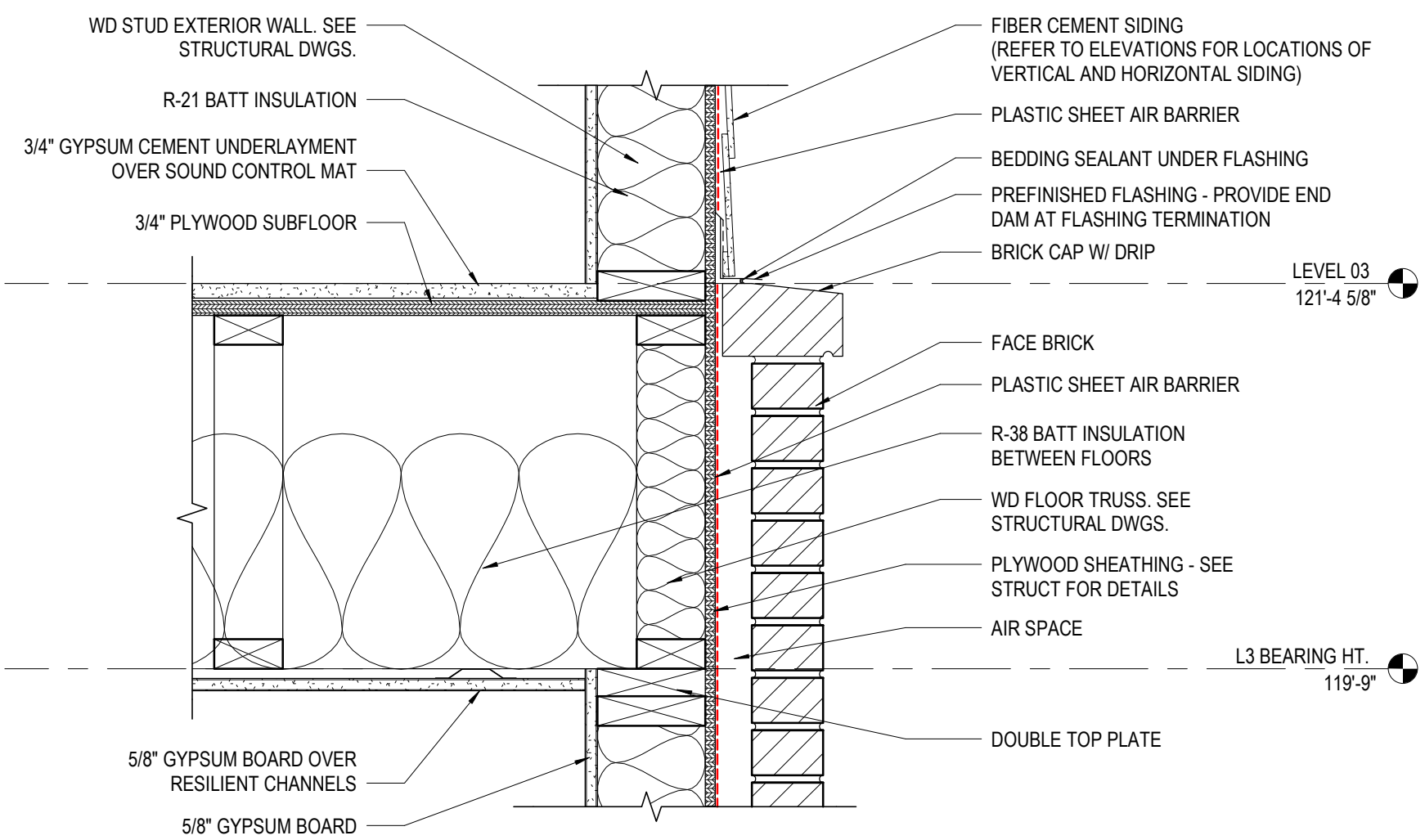
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PERMIT & BID SET

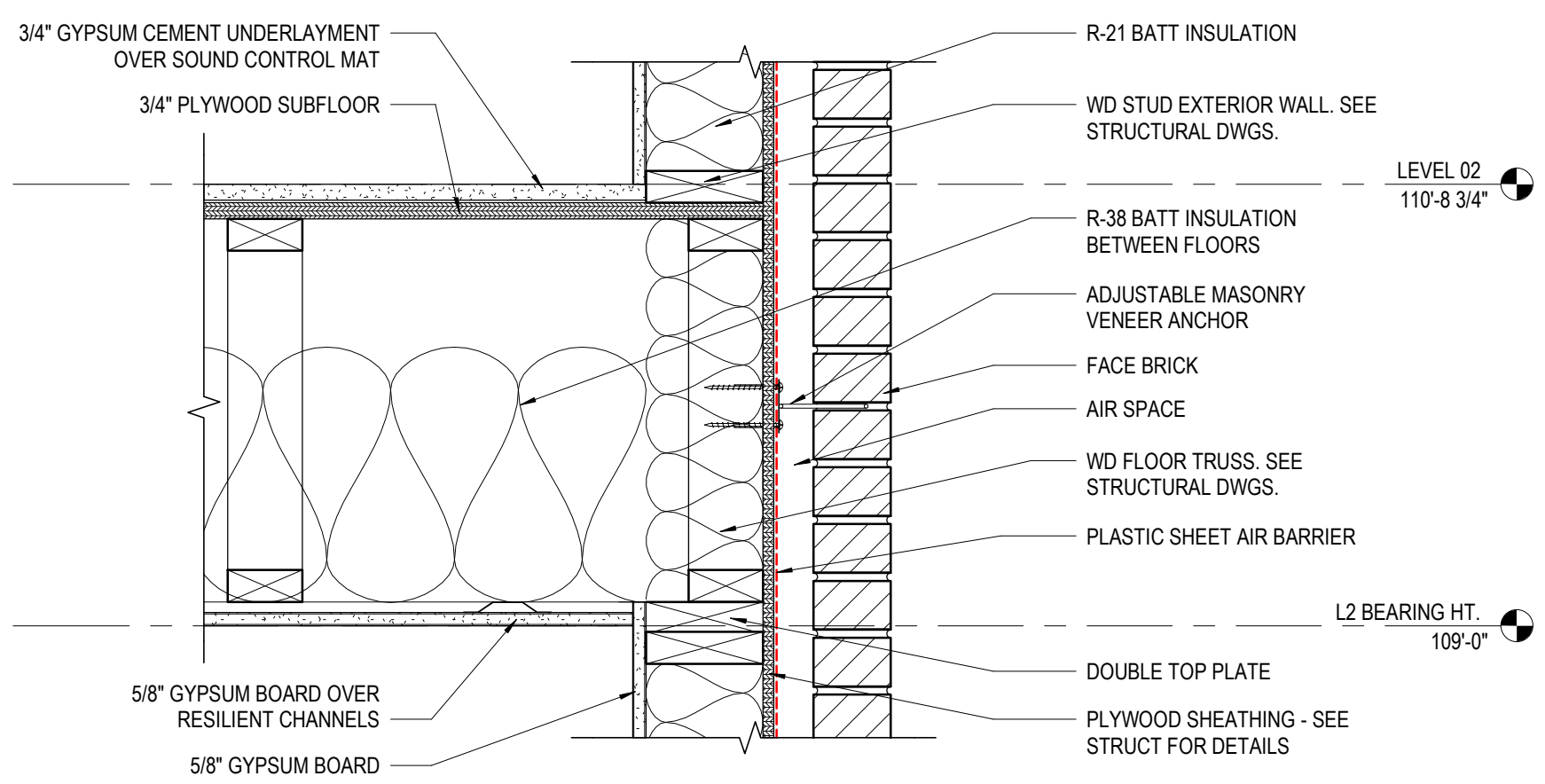




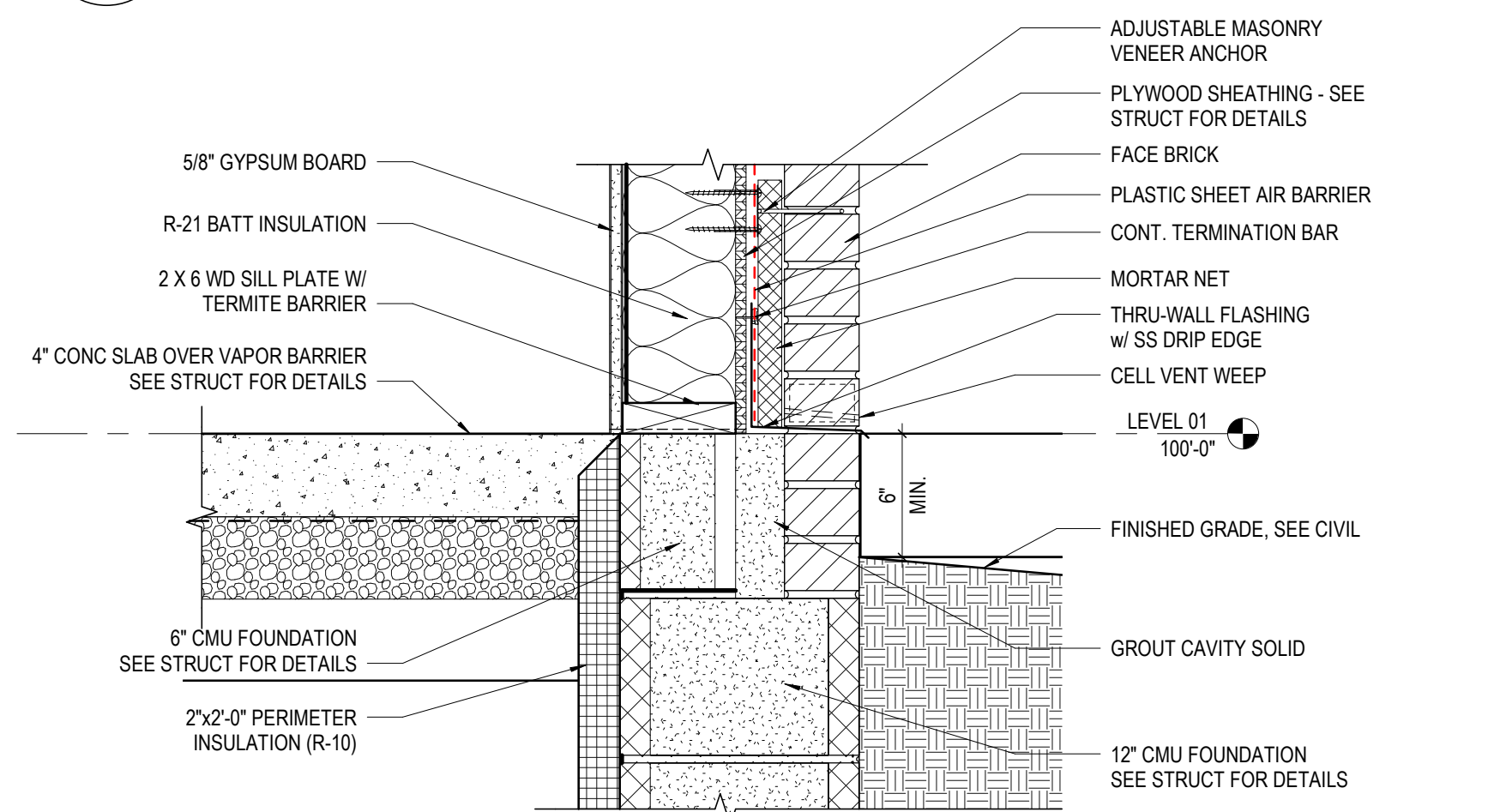
**12 DETAIL** TYP. - ROOF EAVE AT BRICK VENEER  
1 1/2" = 1'-0" REF: 1 / A411



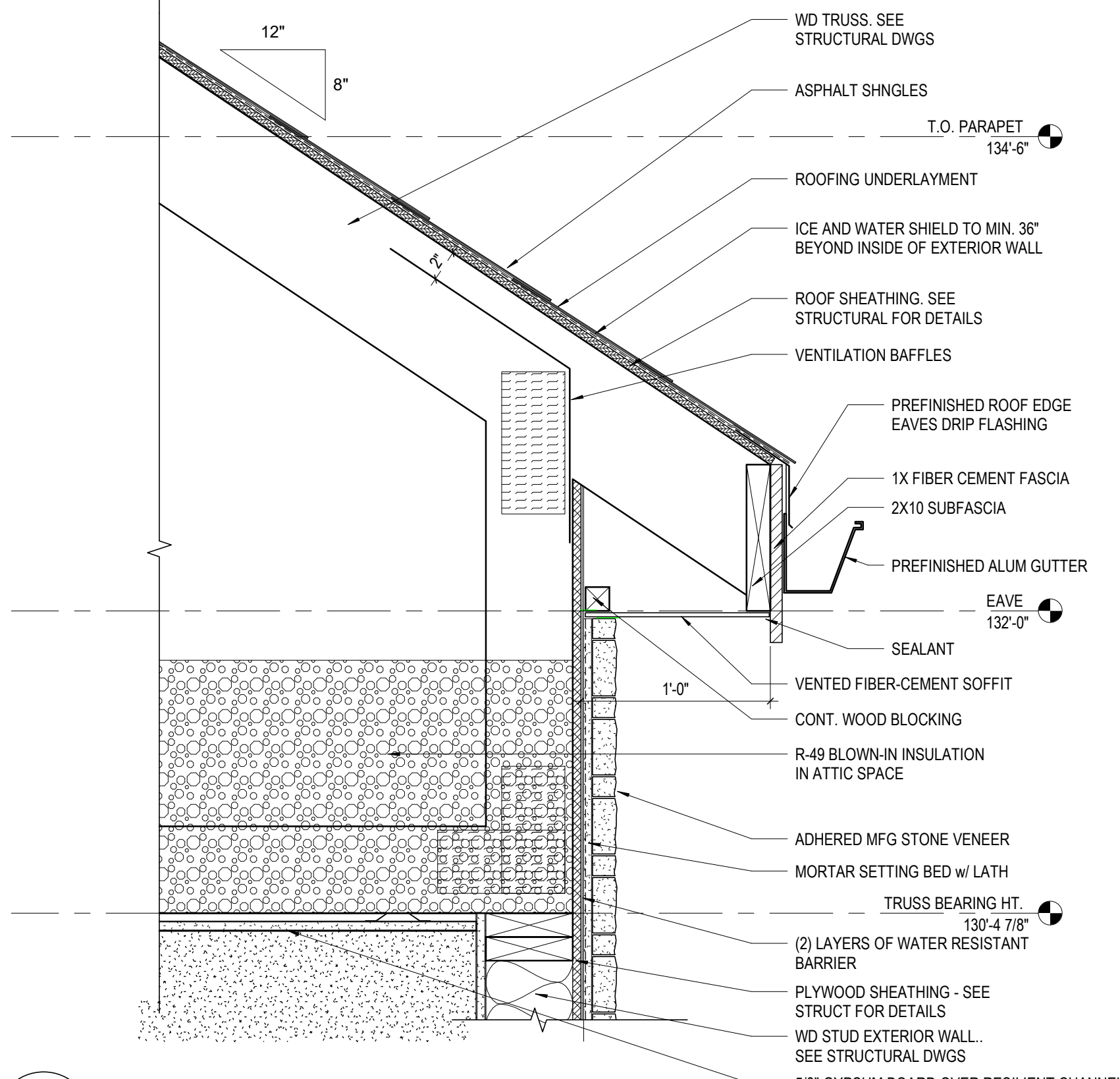
**11 DETAIL** BRICK VENEER TO SIDING TRANSITION  
1 1/2" = 1'-0" REF: 2 / A411



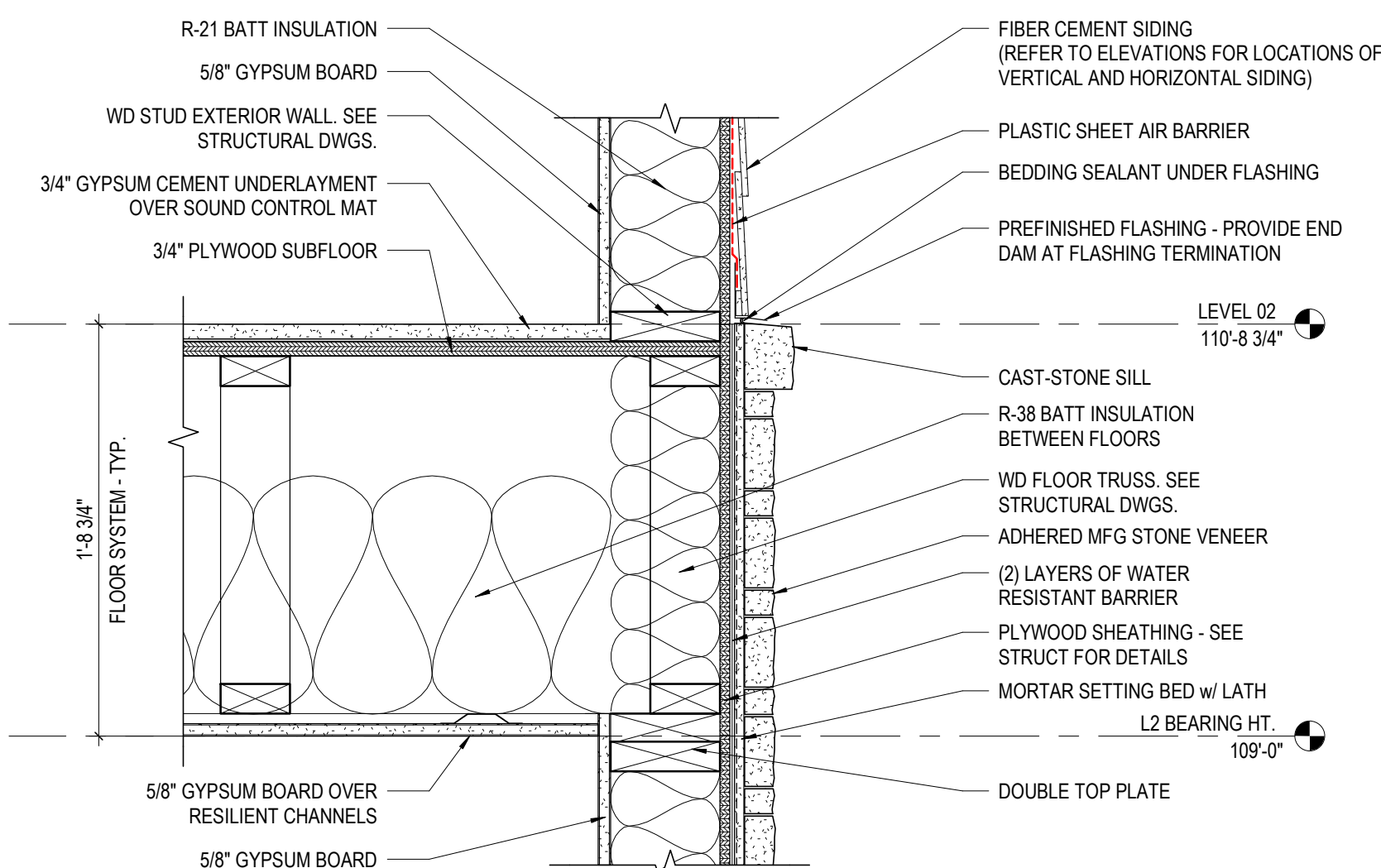
**10 DETAIL** TYP. BRICK VENEER ASSEMBLY  
1 1/2" = 1'-0" REF: 2 / A411



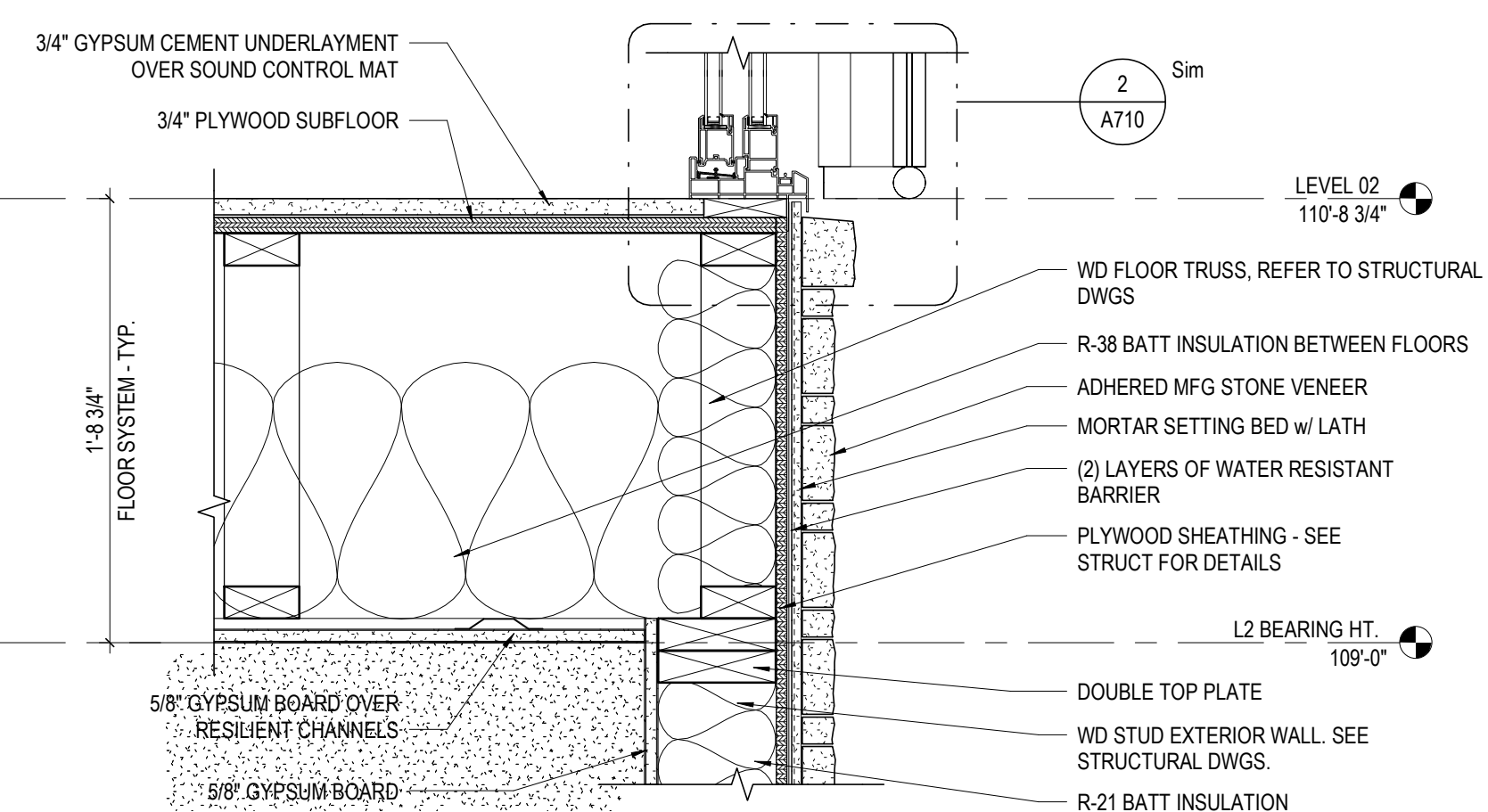
**9 DETAIL** TYP. BRICK BASE  
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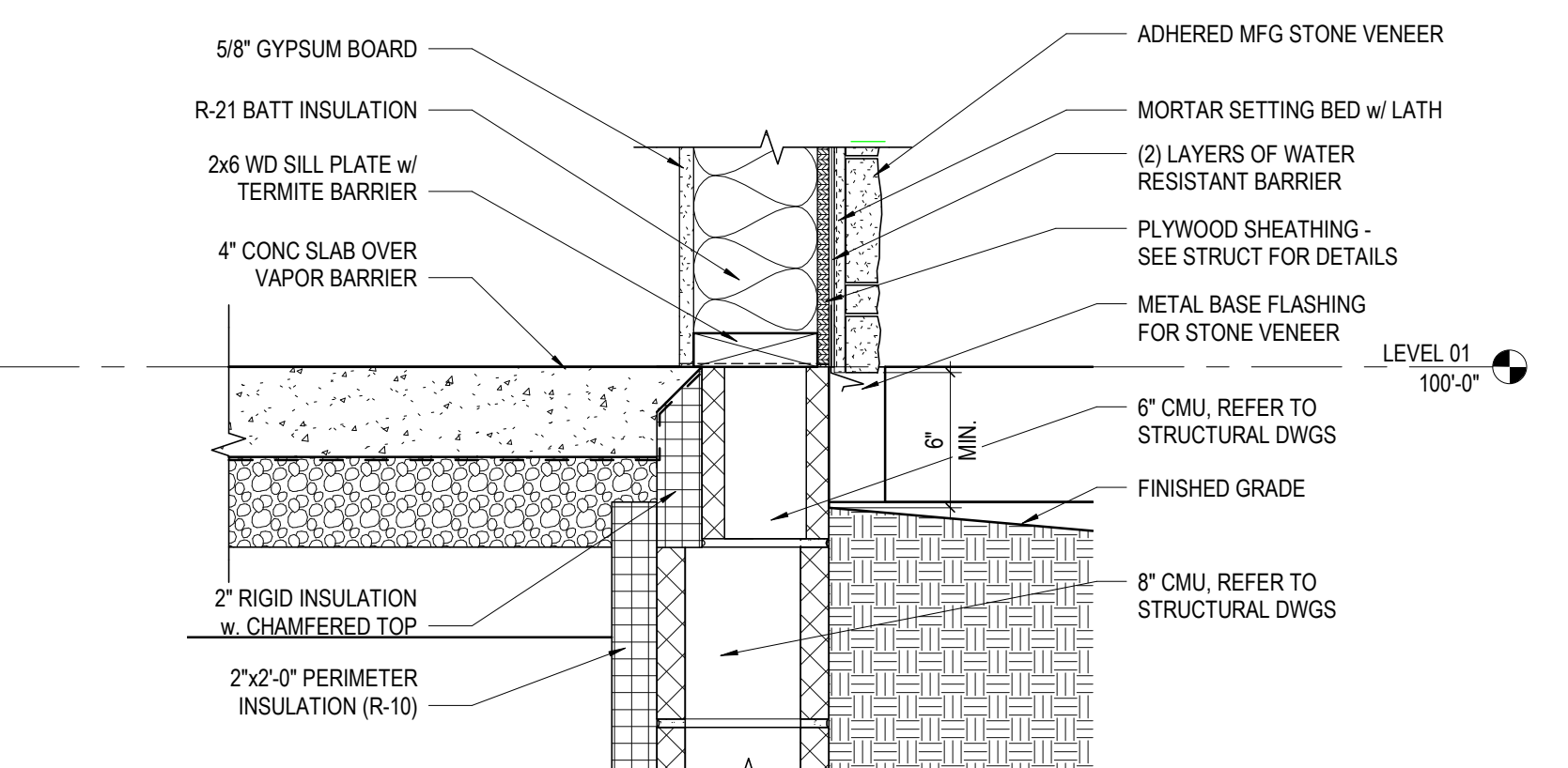
**8 DETAIL** TYP. - ROOF EAVE AT STONE VENEER  
1 1/2" = 1'-0" REF: 3 / A410



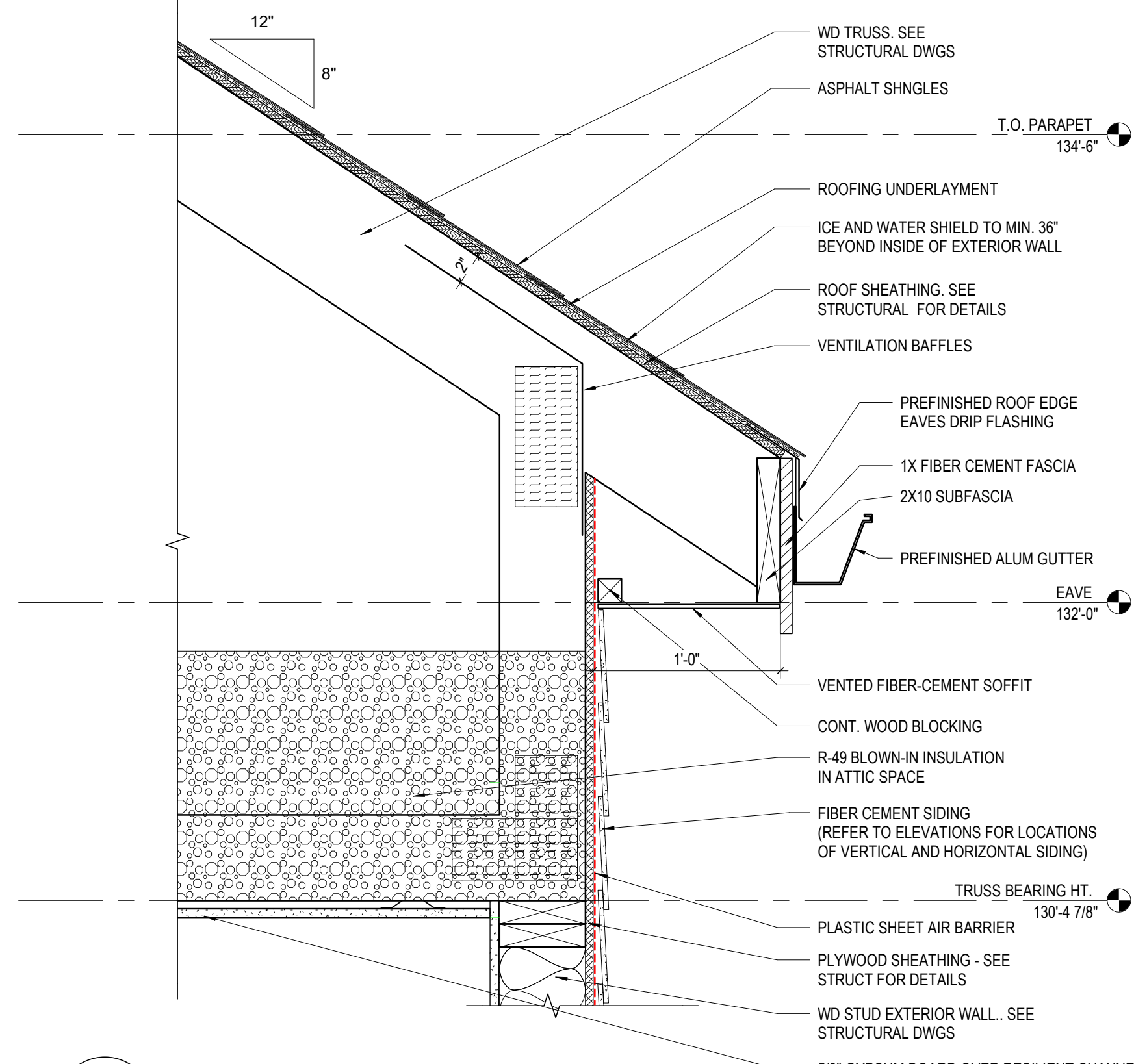
**7 DETAIL** STONE VENEER TO SIDING TRANSITION  
1 1/2" = 1'-0" REF: 1 / A410



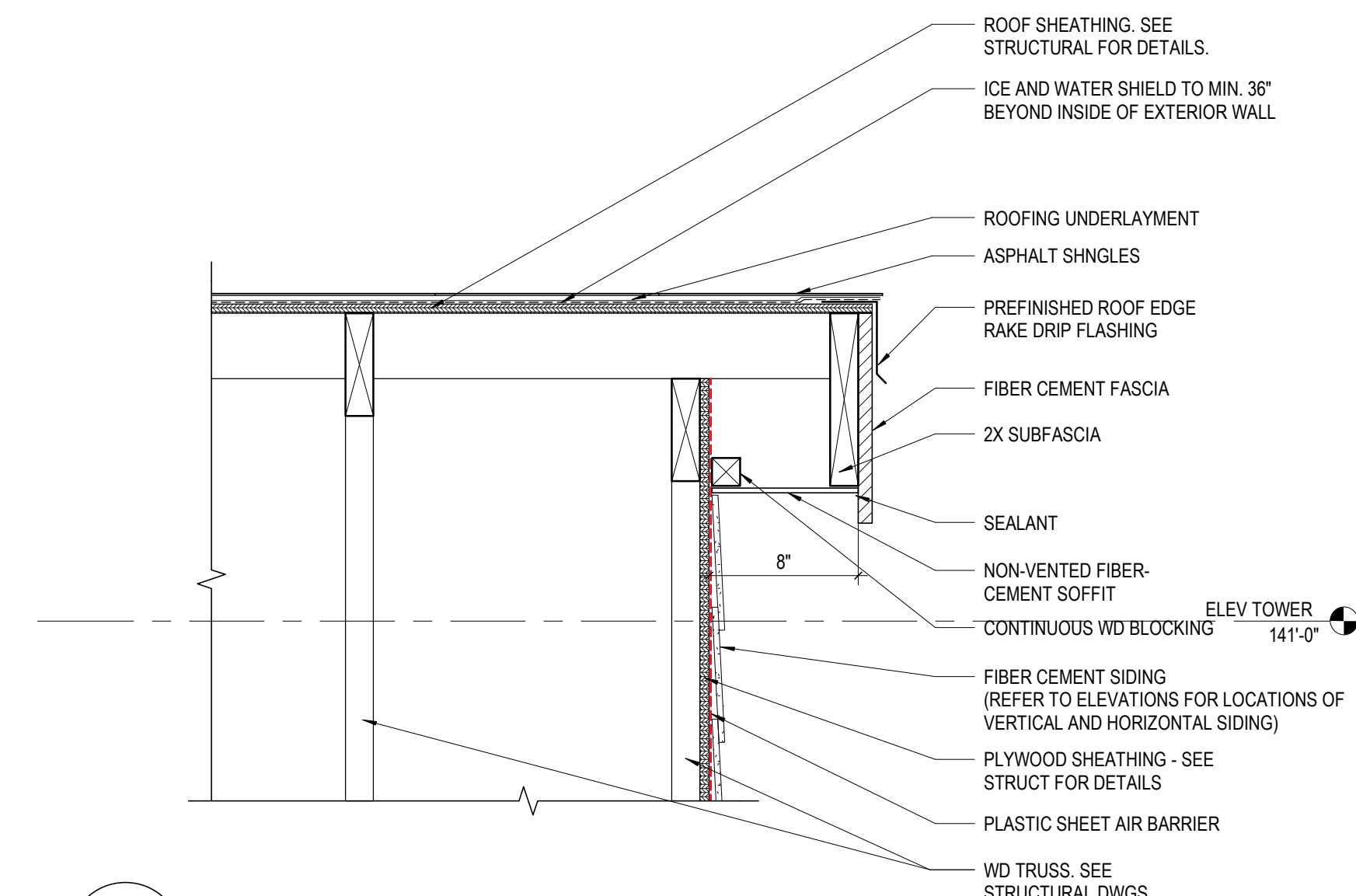
**6 DETAIL** TYP. - STONE VENEER ASSEMBLY  
1 1/2" = 1'-0" REF: 3 / A410



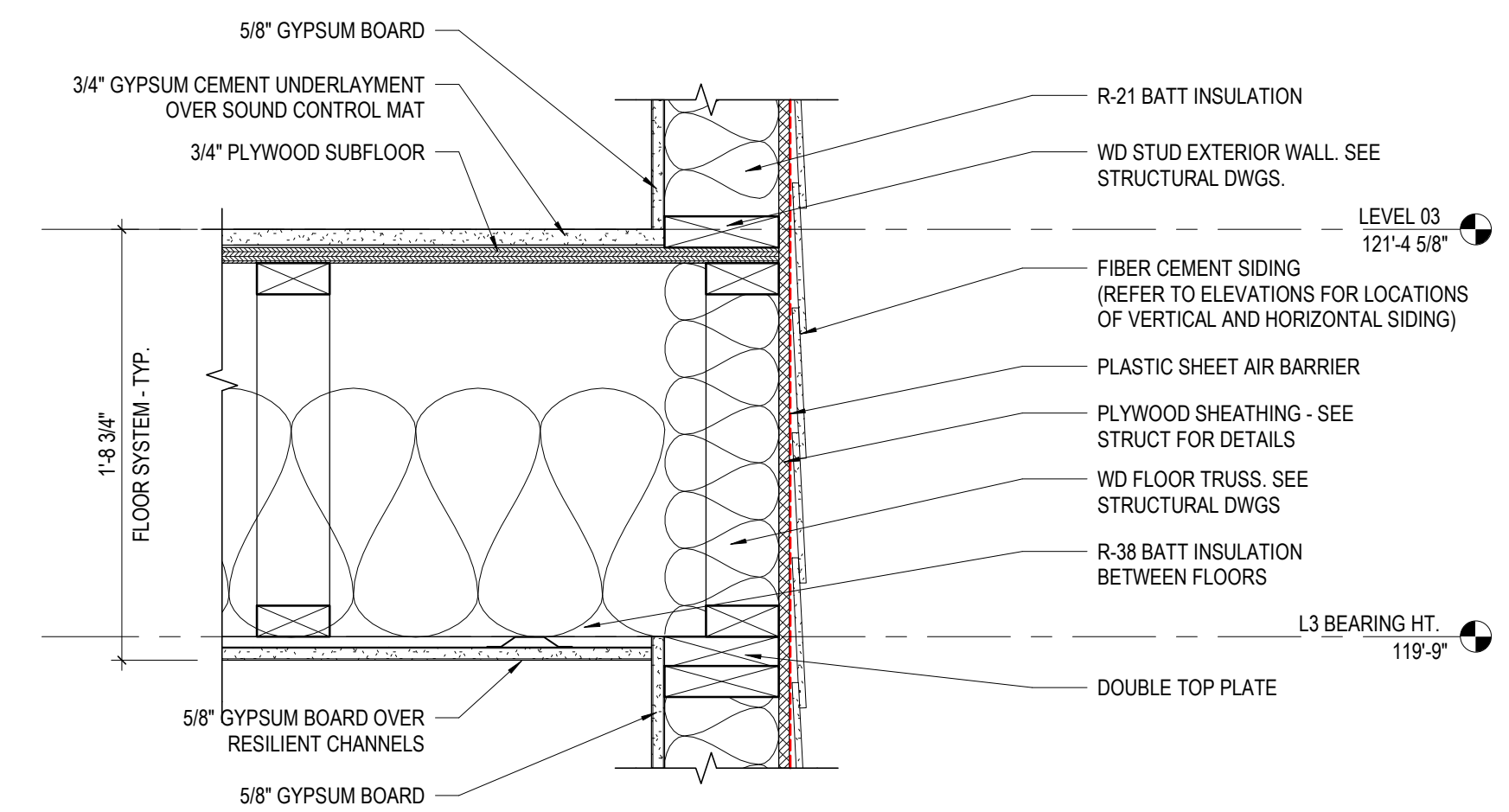
**5 DETAIL** TYP. - STONE VENEER BASE  
1 1/2" = 1'-0" REF: 1 / A410



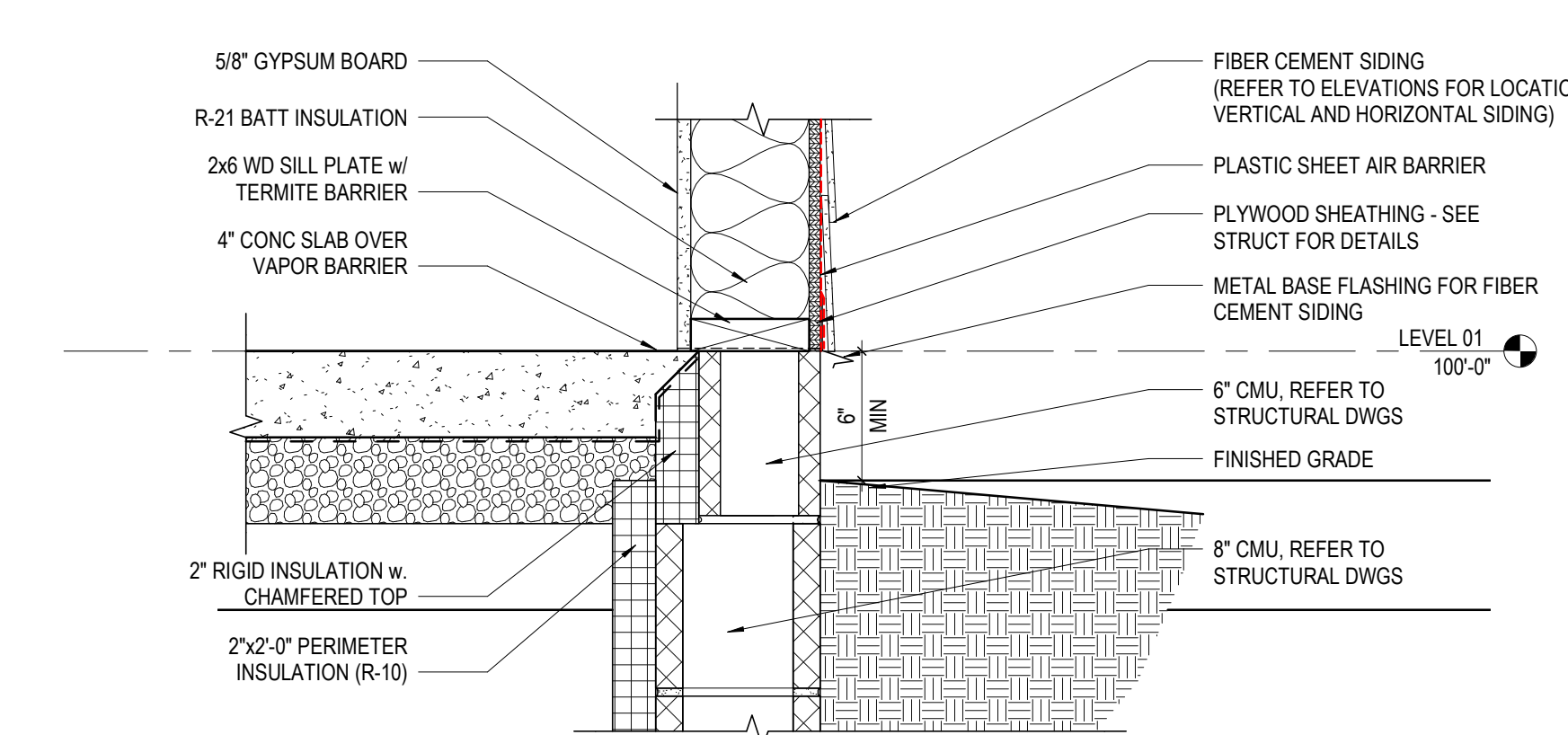
**4 DETAIL** TYP - ROOF EAVE OVERHANG AT SIDING  
1 1/2" = 1'-0" REF: 1 / A410



**3 DETAIL** TYP. - GABLE ROOF RAKE  
1 1/2" = 1'-0" REF: 2 / A410



**2 DETAIL** TYP. - FLOOR ASSEMBLY @ EXTERIOR SIDING WALL  
1 1/2" = 1'-0" REF: 1 / A410



**1 DETAIL** TYP. - SIDING BASE  
1 1/2" = 1'-0" REF: 4 / A410

**WALL TYPES**

#	DATE	CHANGE DESCRIPTION




**COBBLESTONE MANOR**  
1000 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

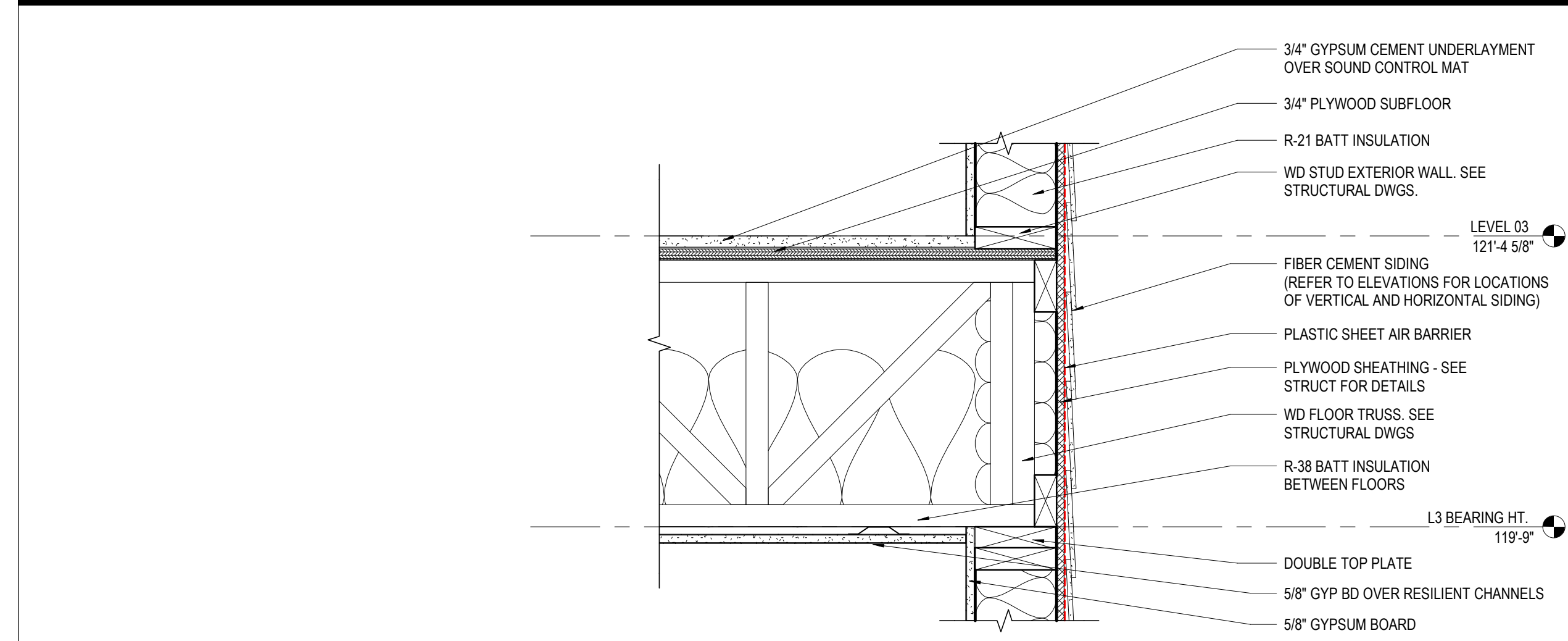
**EXTERIOR SECTION DETAILS**



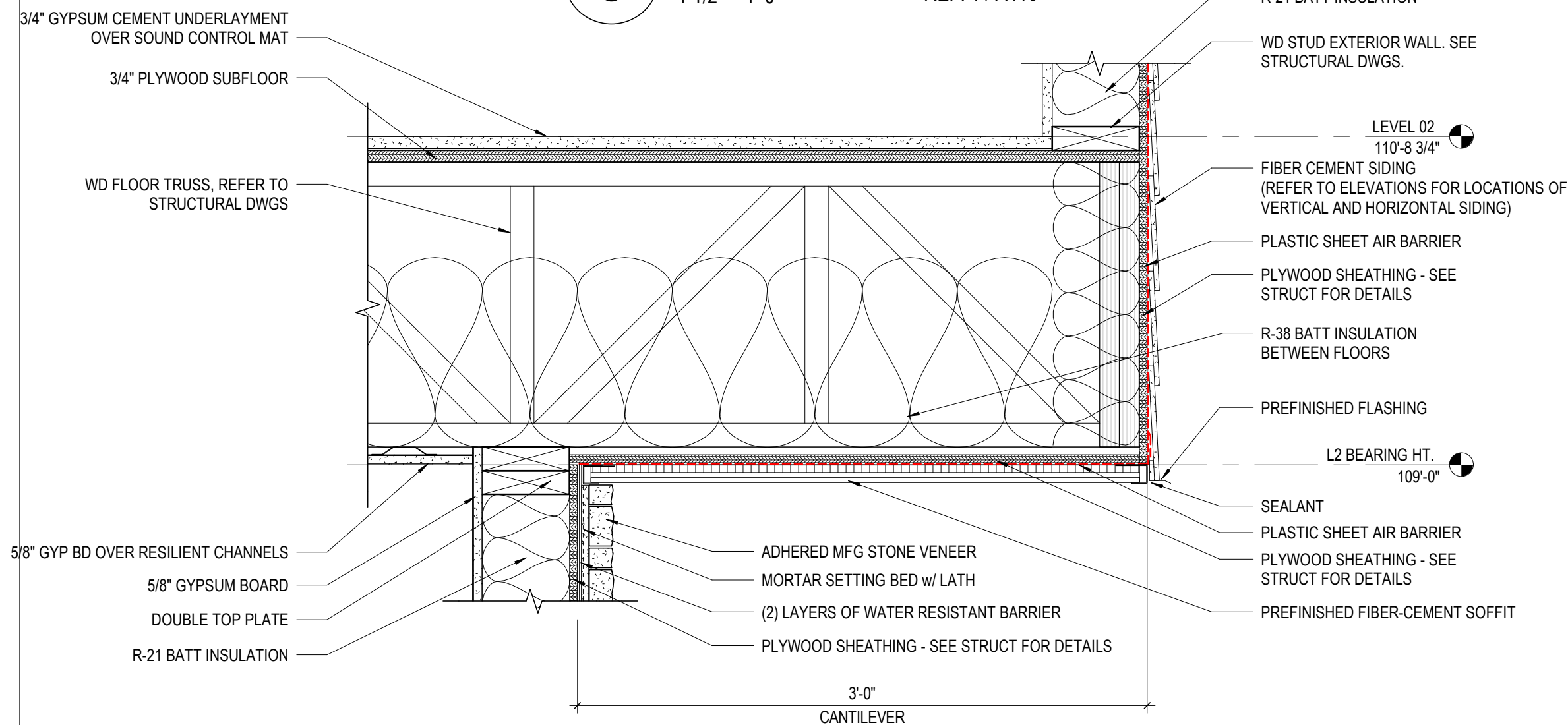
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
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#22172.01  
**A420**  
PERMIT & BID SET

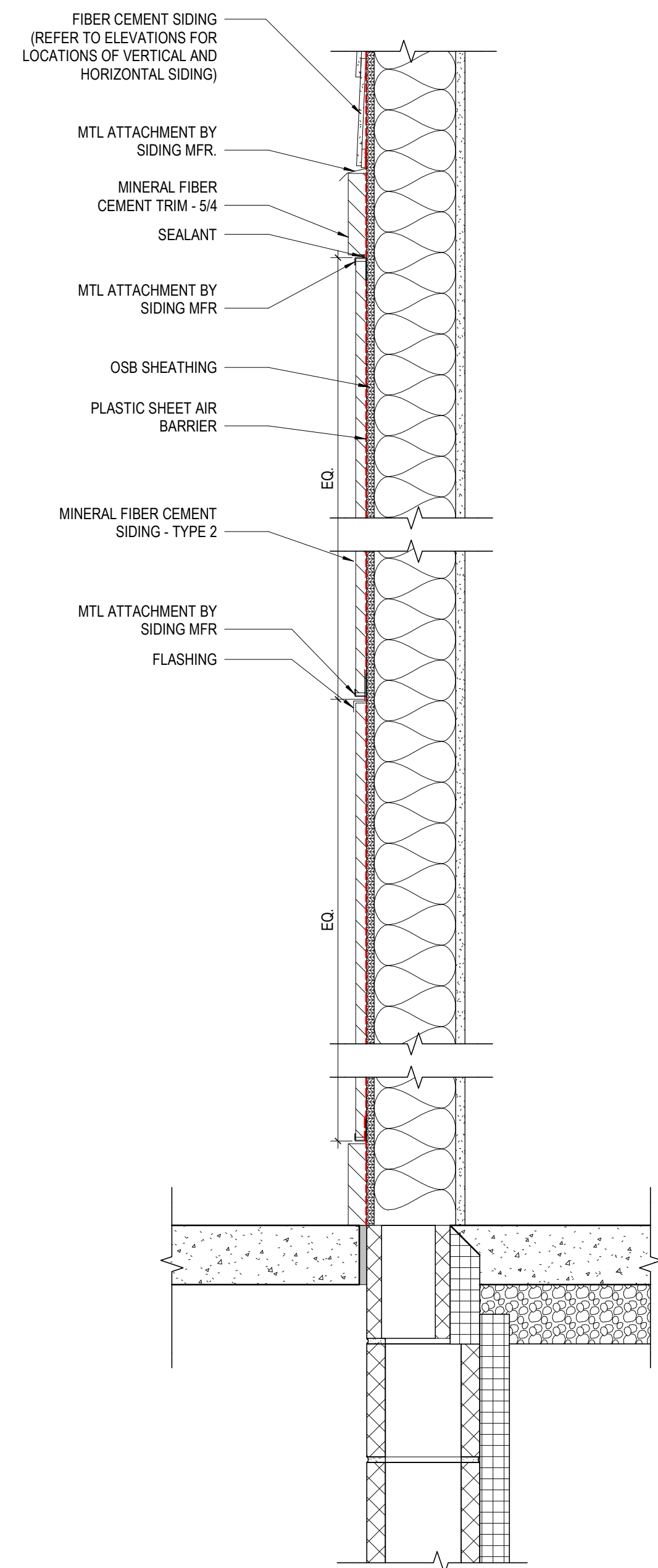




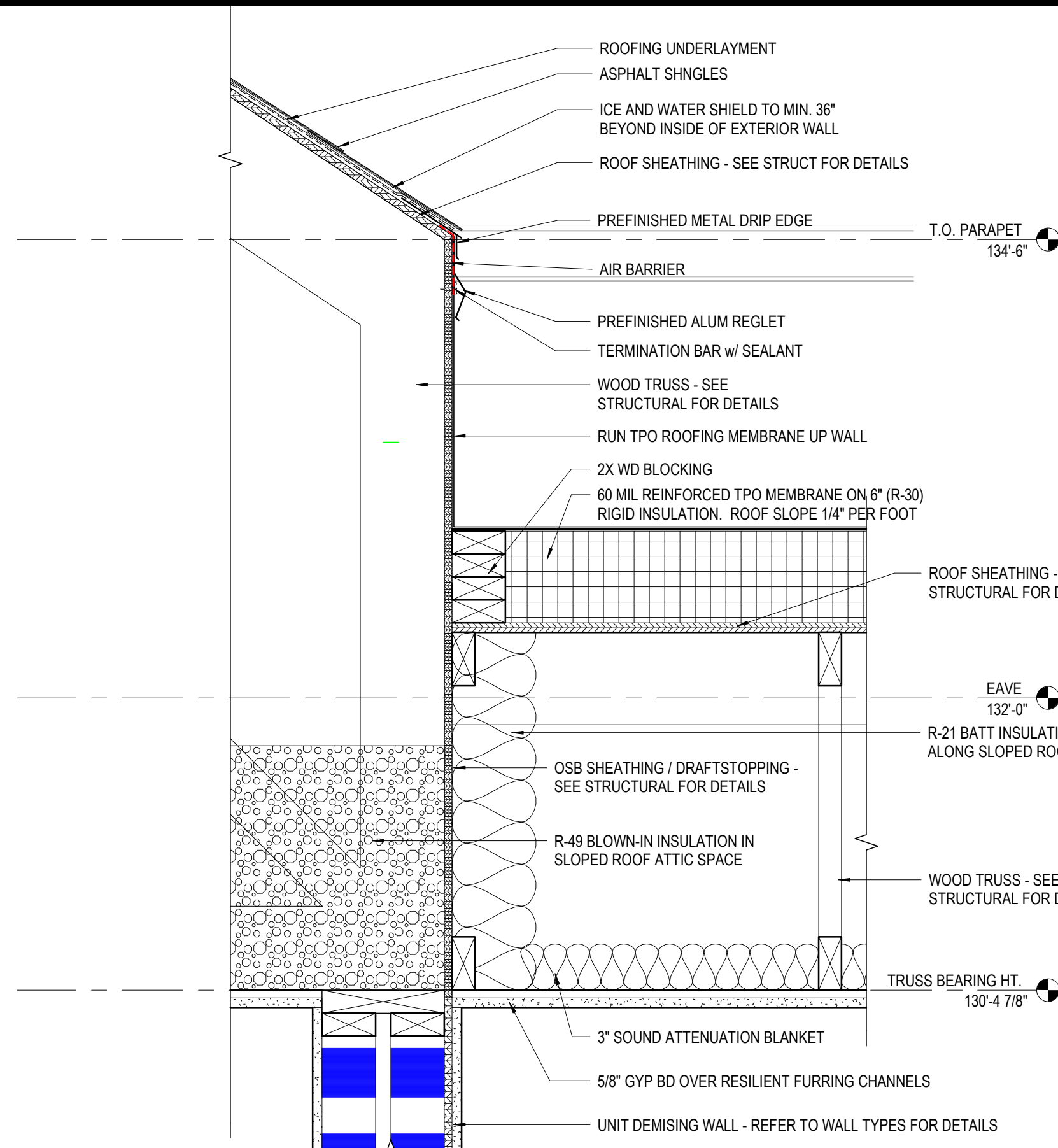
**8 DETAIL** TYP. - FLOOR ASSEMBLY @ EXTERIOR SIDING WALL TRUSS ROTATED  
1 1/2" = 1'-0" REF: 1 / A410



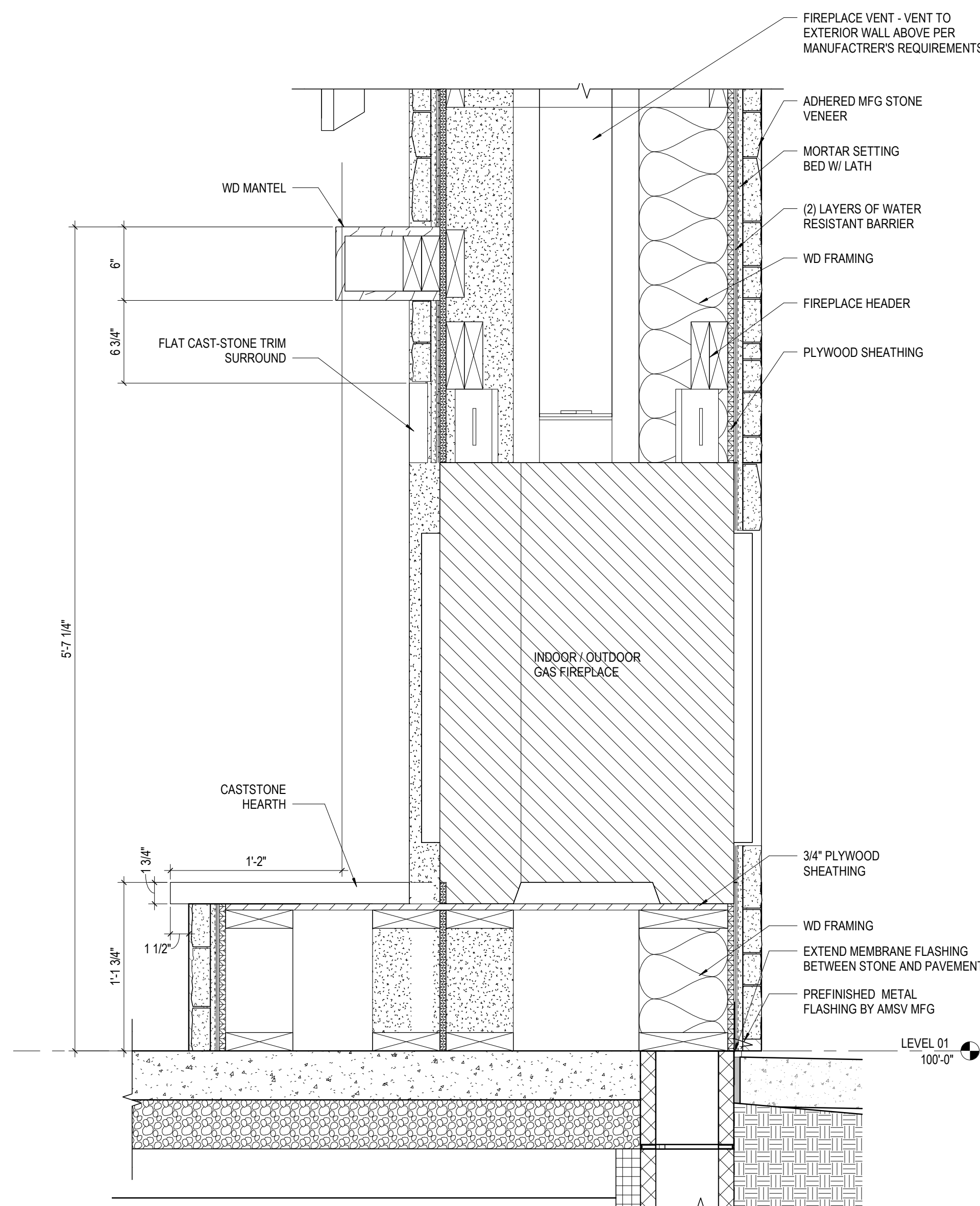
**7 DETAIL** EXTERIOR WALL - TYP 2ND FLOOR - STONE VENEER @ CANTILEVER  
1 1/2" = 1'-0" REF: 2 / A410



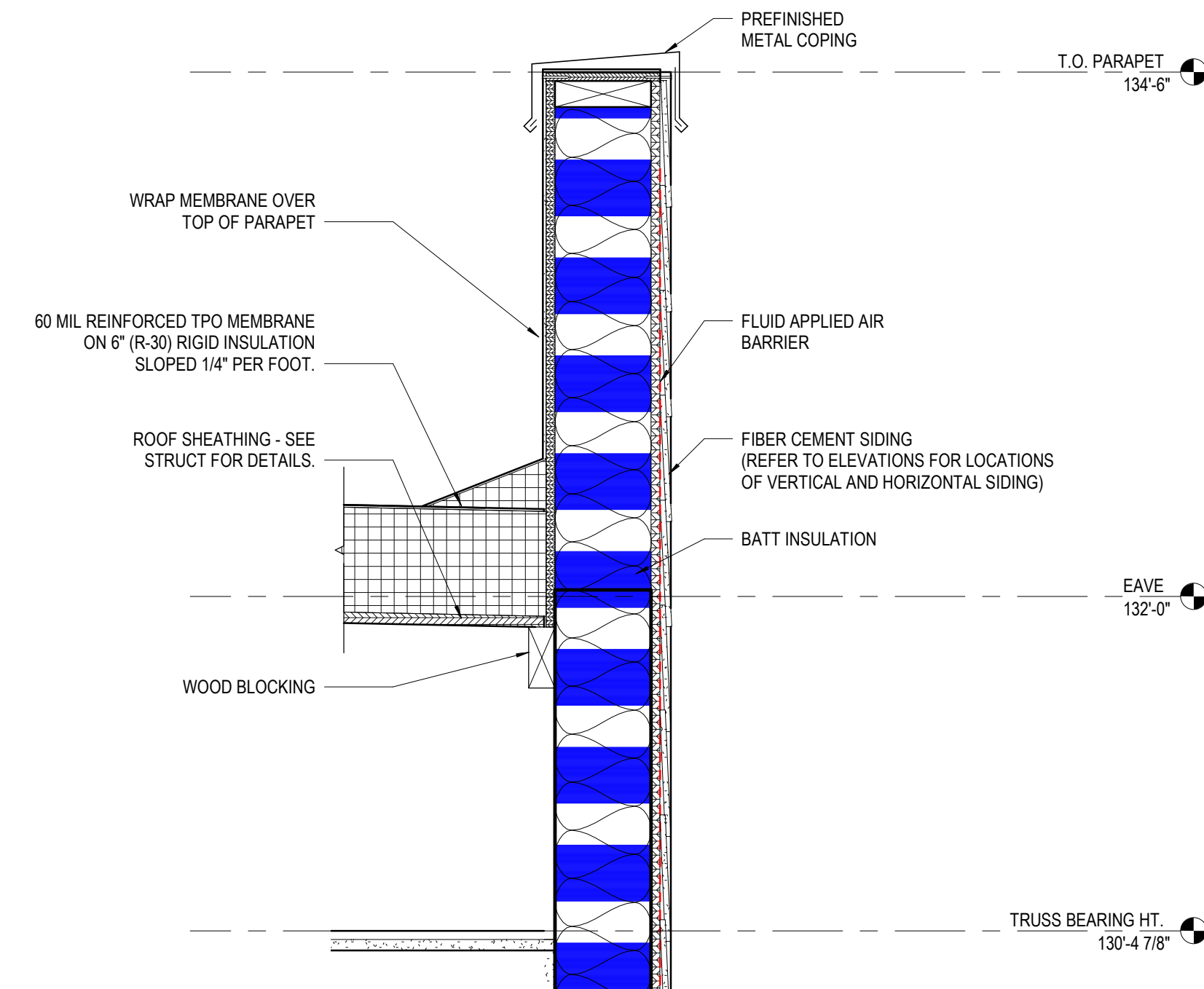
**6 DETAIL** METER CENTER WALL  
1 1/2" = 1'-0"



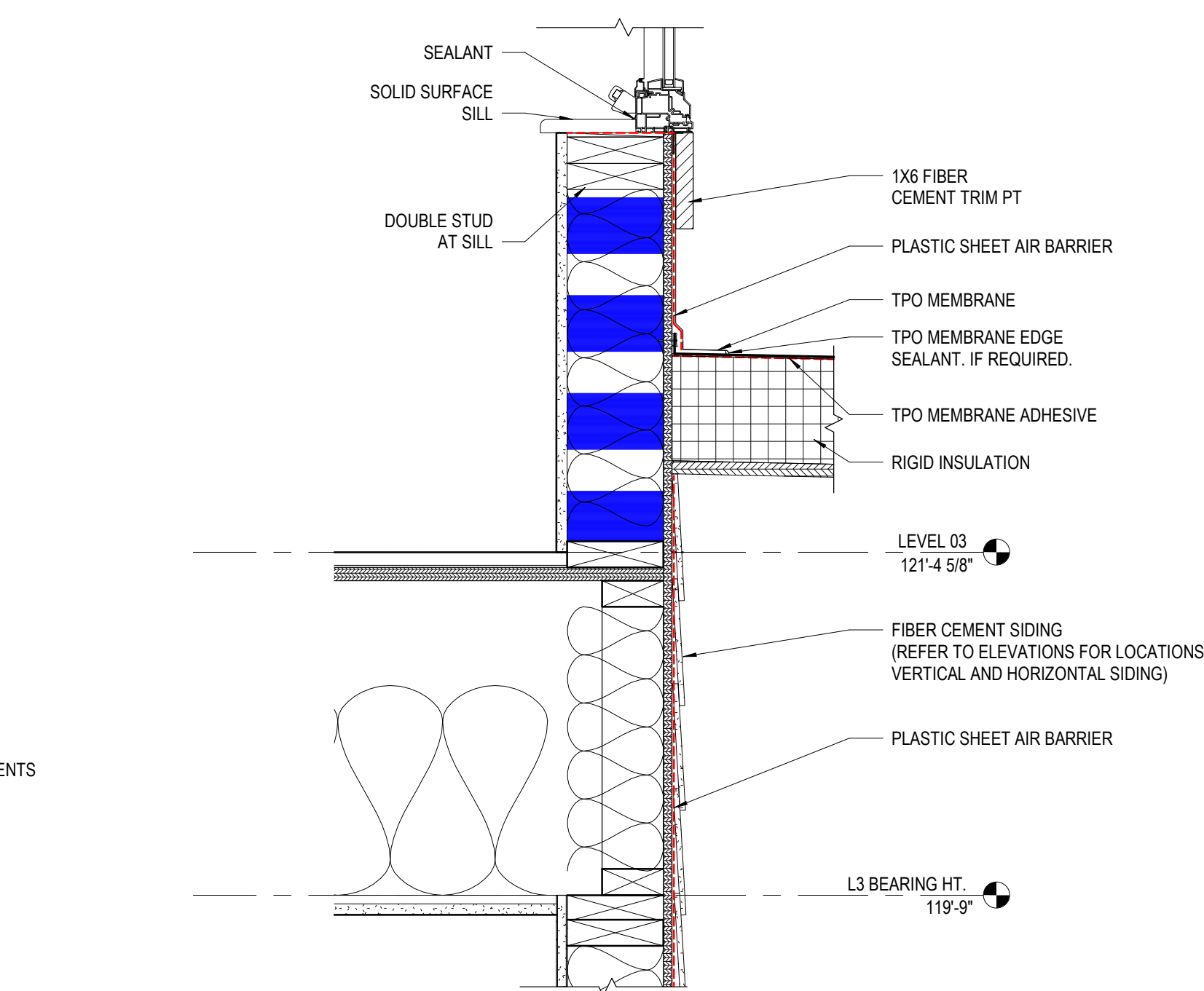
**5 DETAIL** GABLE ROOF TO FLAT ROOF  
1 1/2" = 1'-0" REF: 2 / A402



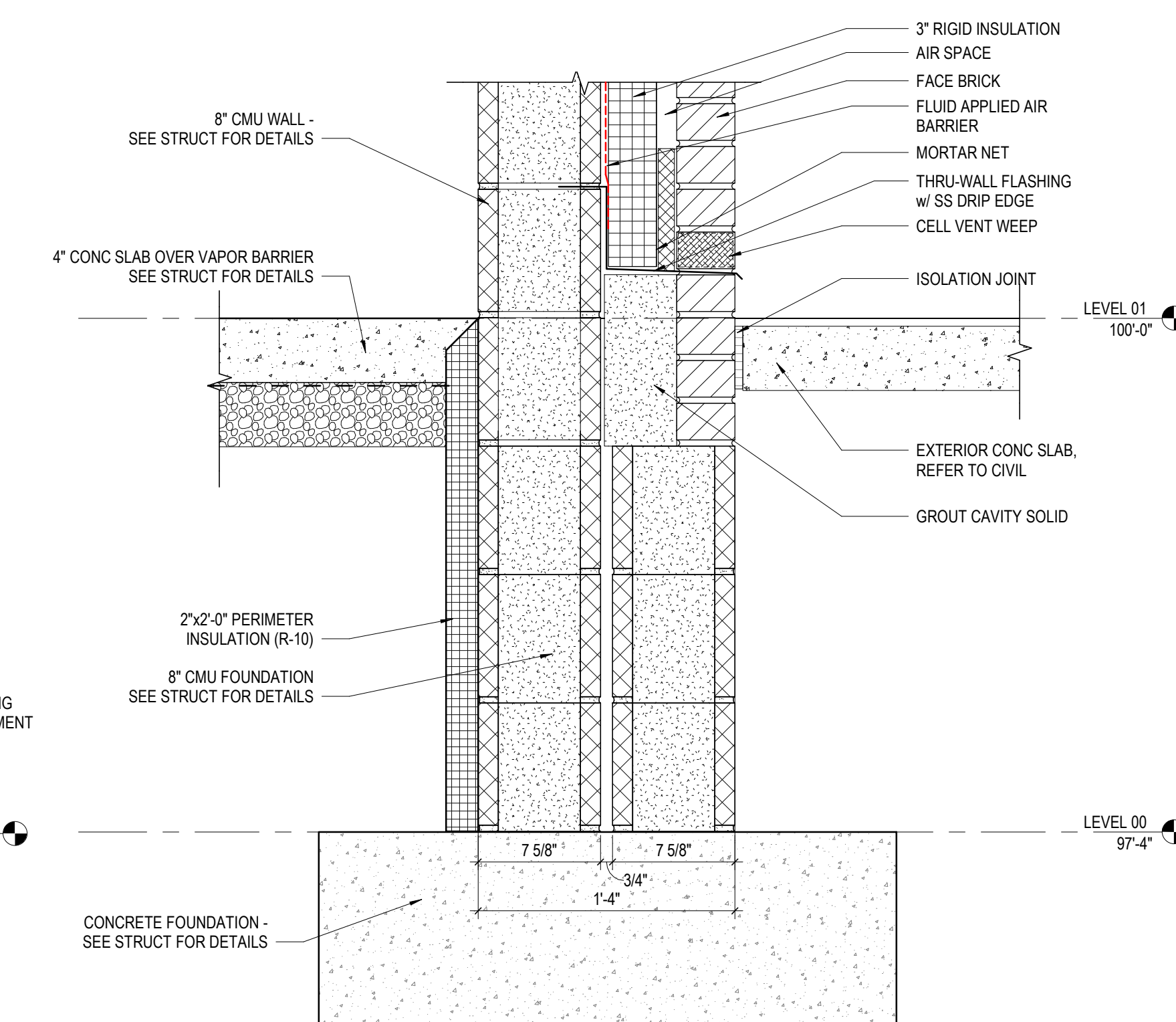
**4 DETAIL** FIREPLACE SECTION  
1 1/2" = 1'-0" REF: 1 / A101A



**3 DETAIL** TYP. - PARAPET AT SIDING  
1 1/2" = 1'-0" REF: 3 / A411



**2 DETAIL** ROOF AT LEVEL 03 SILL  
1 1/2" = 1'-0" REF: 5 / A412



**1 DETAIL** FOUNDATION AT MASONRY ON CMU  
1 1/2" = 1'-0" REF: 4 / A411

#	DATE	CHANGE DESCRIPTION



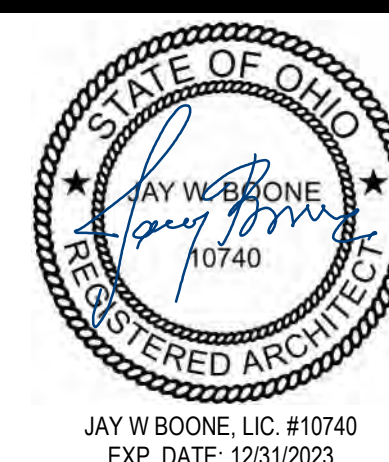
**COBBLESTONE MANOR**  
1050 LANPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

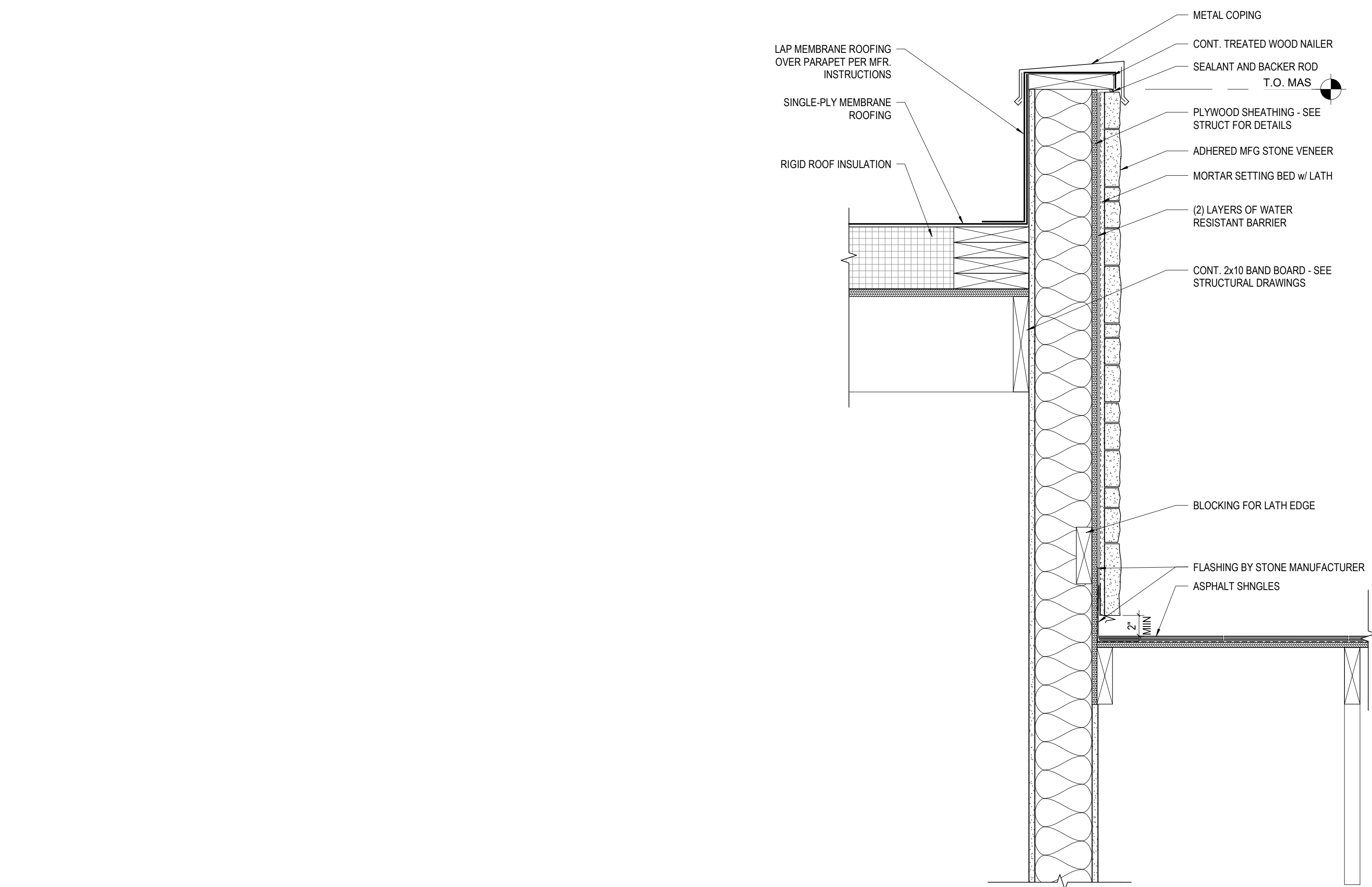
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## EXTERIOR SECTION DETAILS

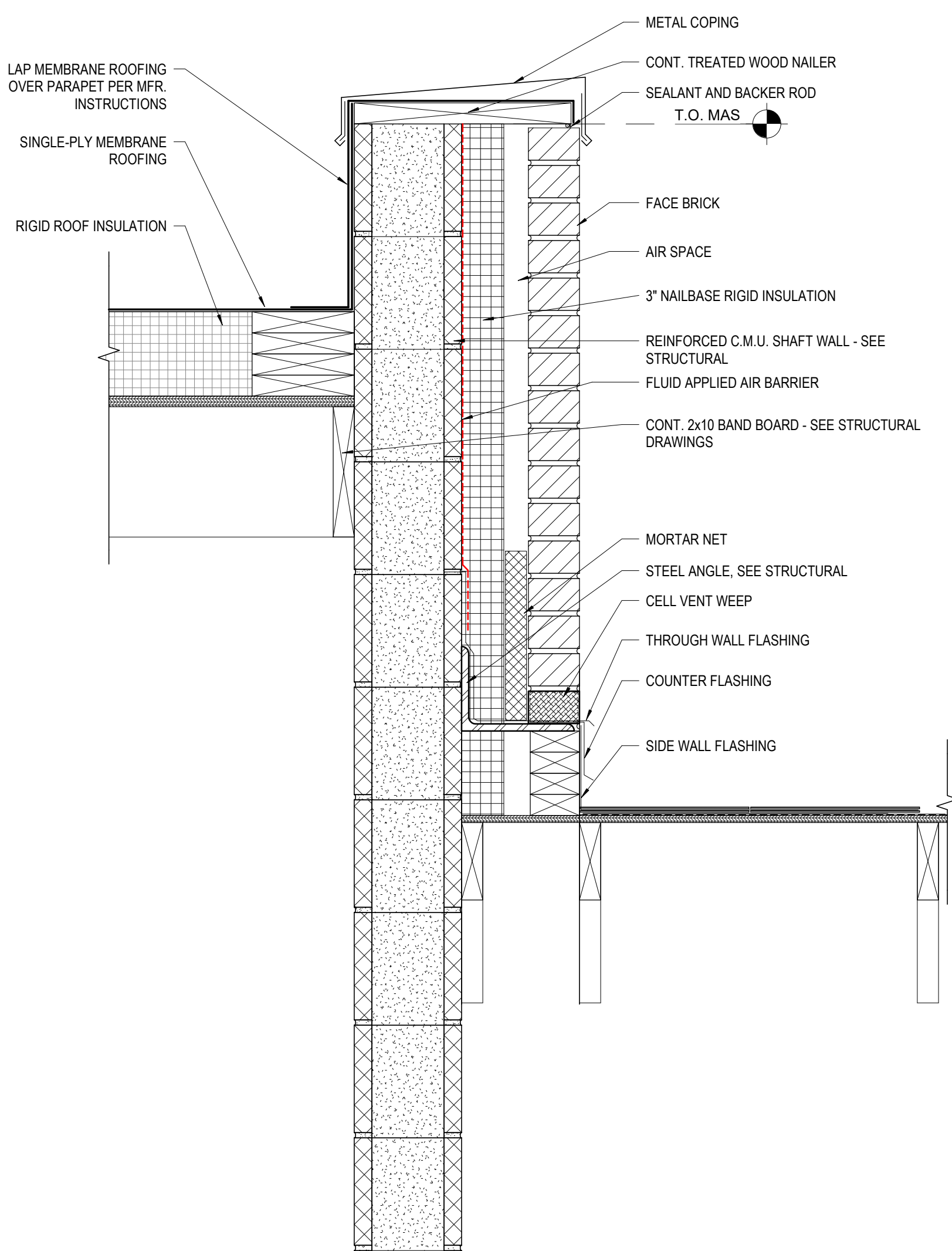


06/08/2023  
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**A421**  
PERMIT & BID SET  
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

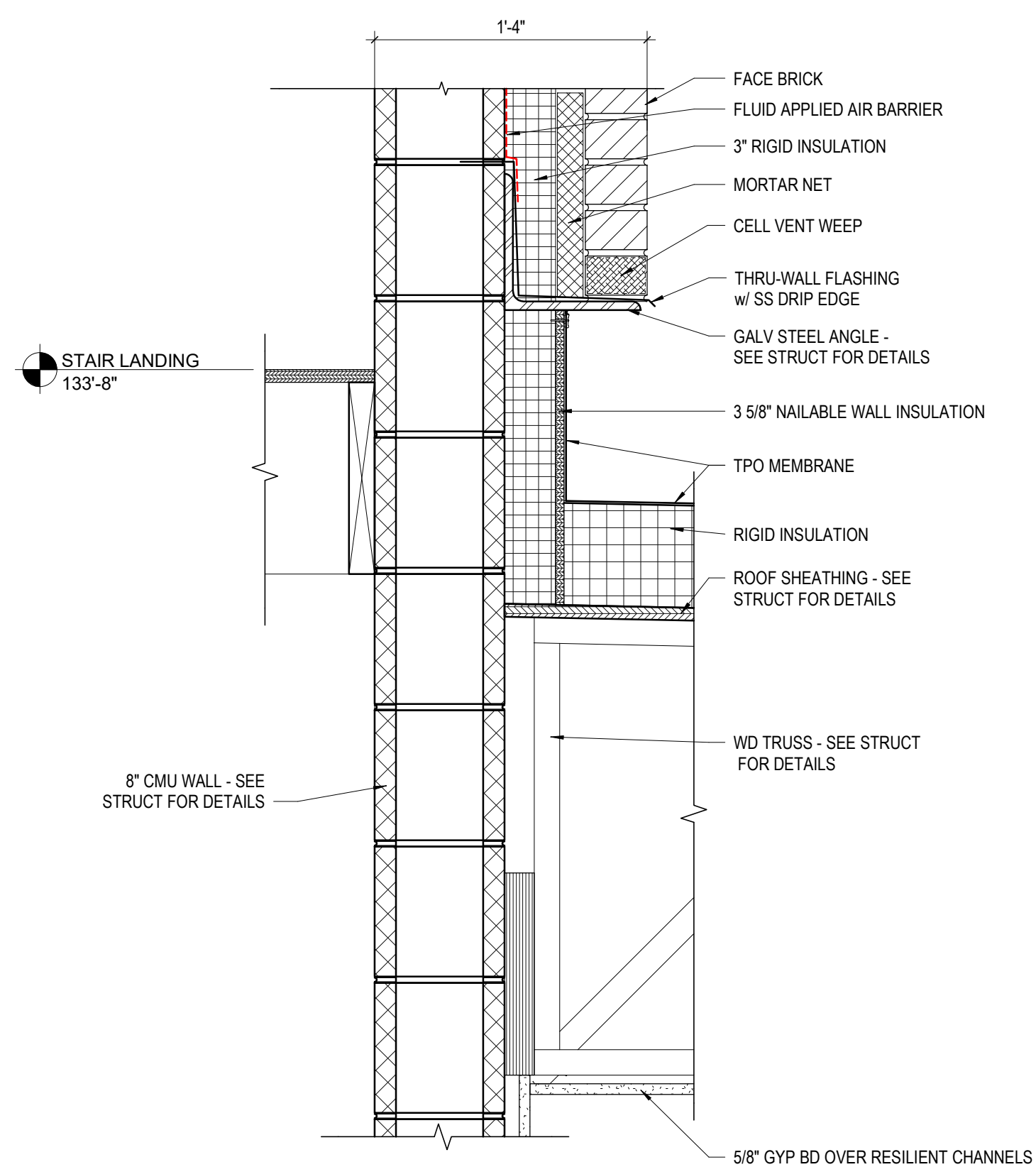




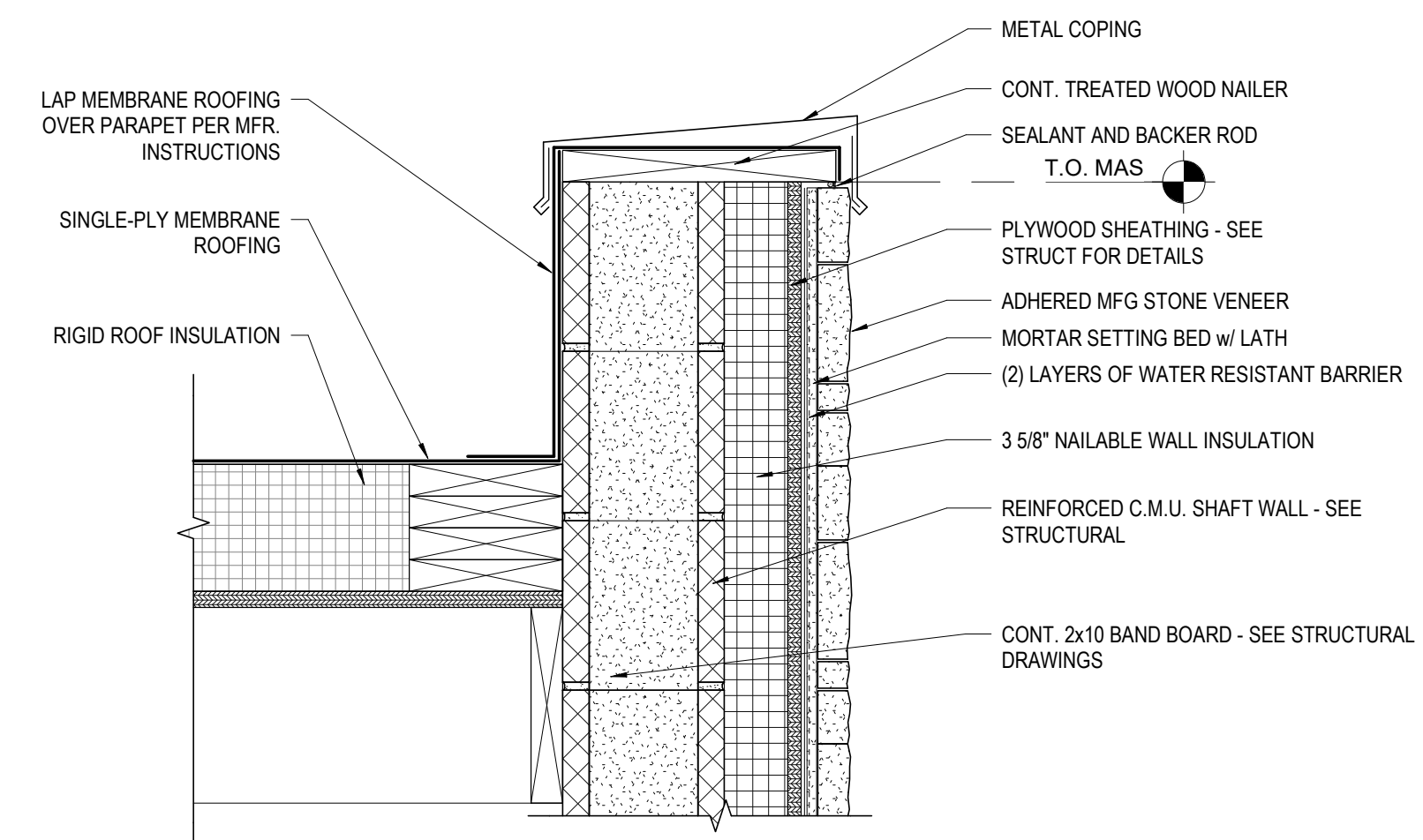
**6 DETAIL** ELEVATOR SHAFT ROOF @ STONE / STUD  
1 1/2" = 1'-0" REF: 5 / A602



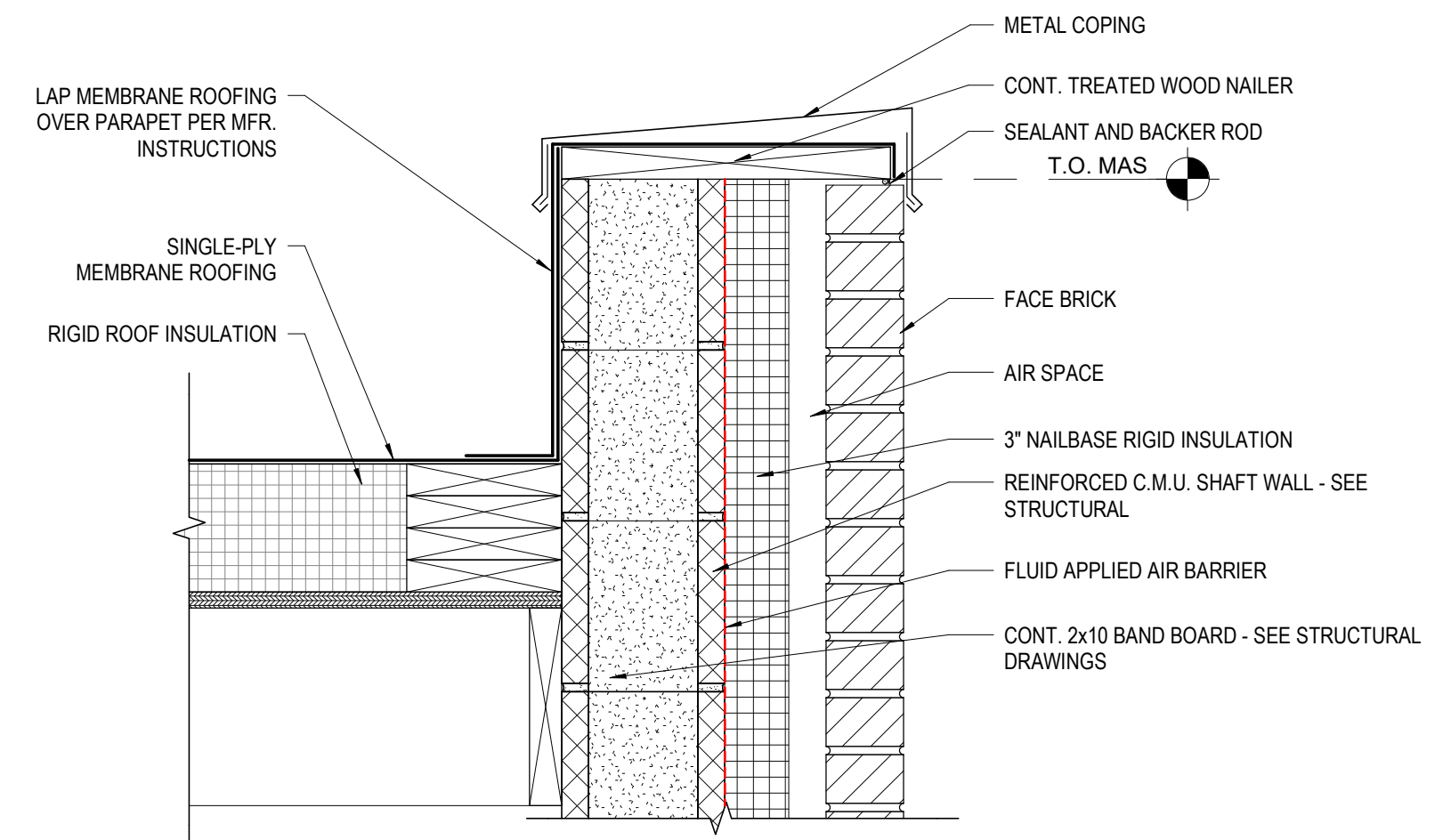
**5 DETAIL** STAIR ROOF @ BRICK / CMU TO ASPHALT SHINGLE ROOF  
1 1/2" = 1'-0" REF: 12 / A601



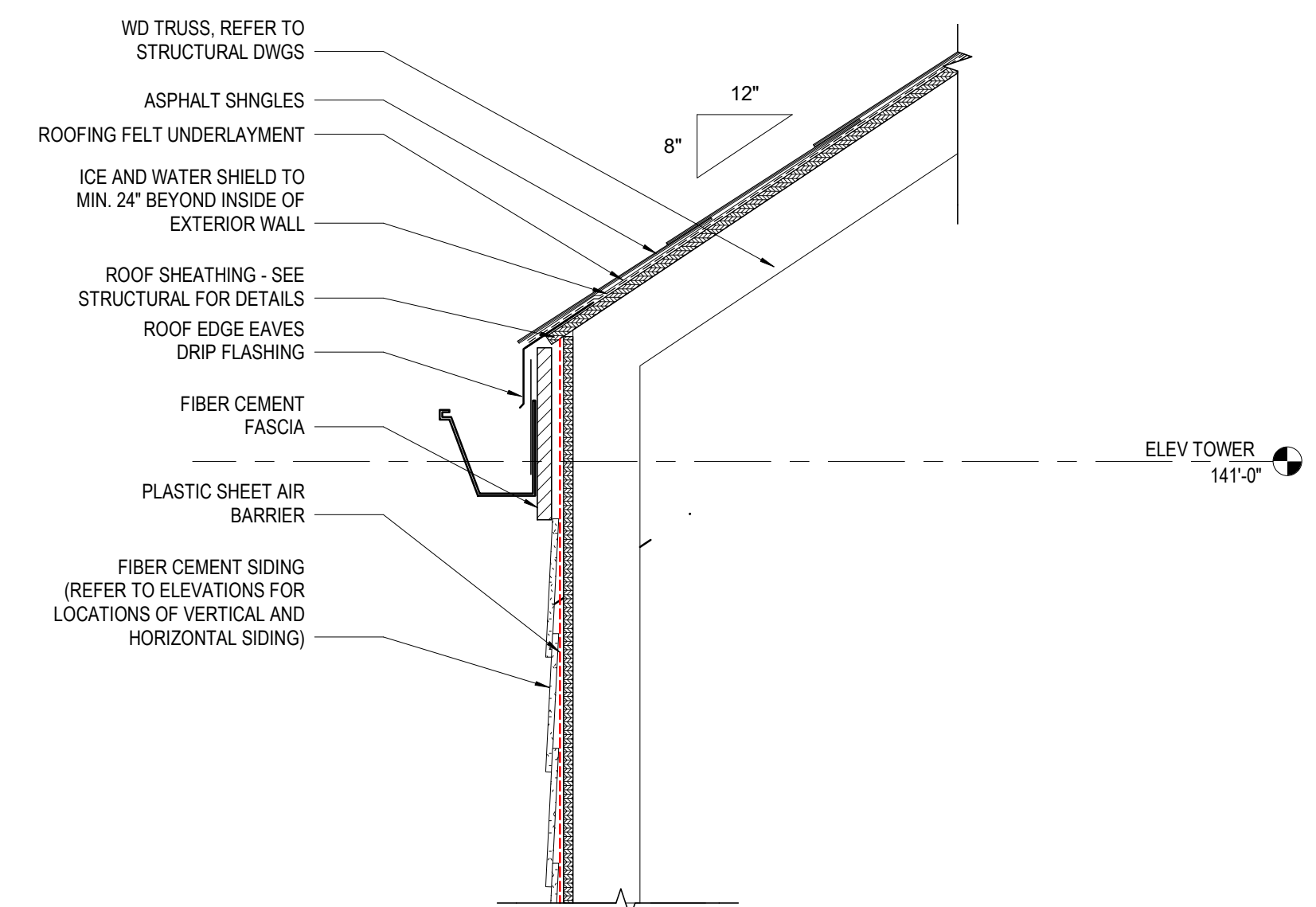
**7 DETAIL** BRICK ON CMU @ ROOF  
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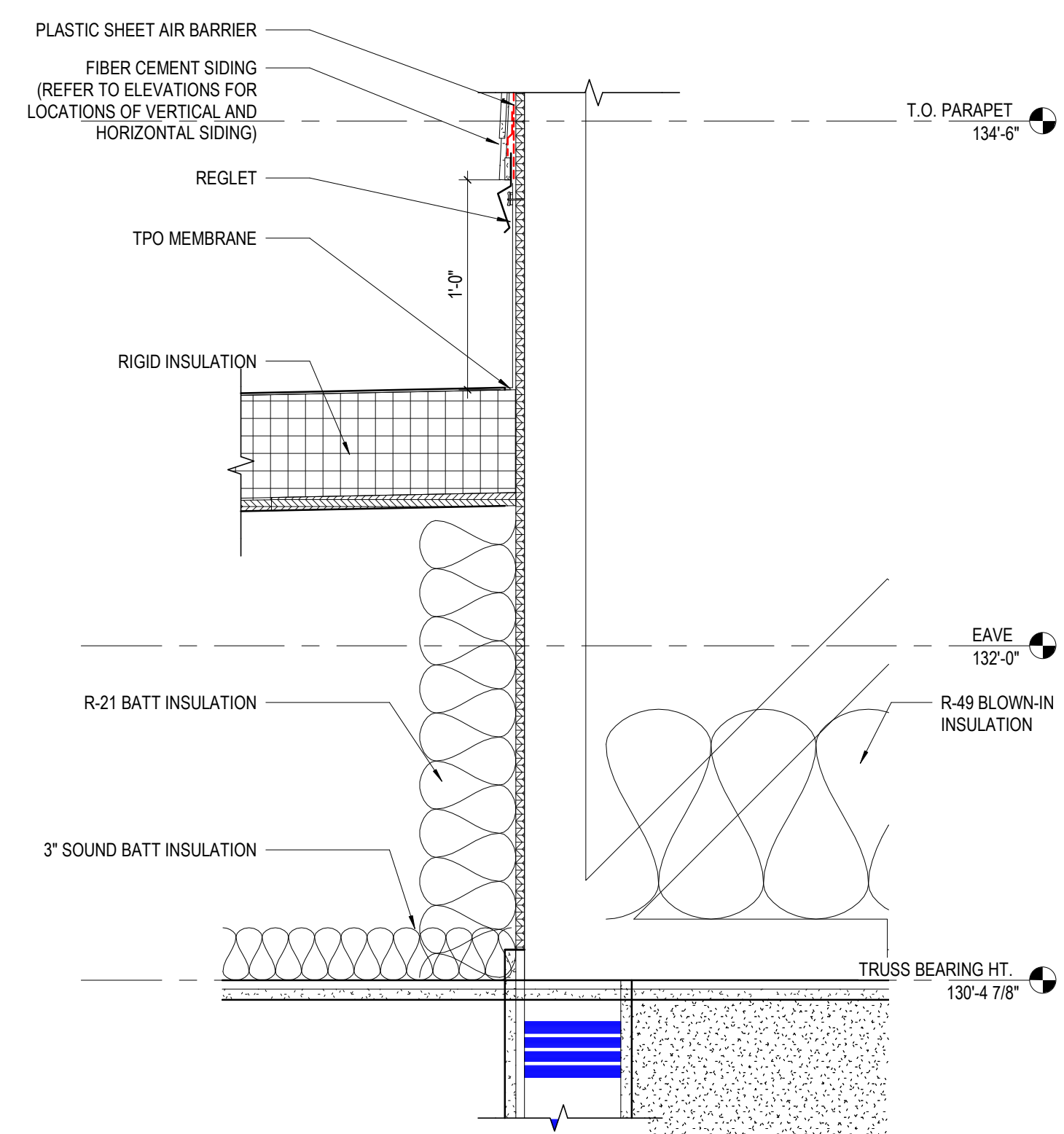
**4 DETAIL** ELEVATOR SHAFT ROOF @ STONE / CMU  
1 1/2" = 1'-0" REF: 5 / A602



**3 DETAIL** STAIR ROOF @ BRICK / CMU  
1 1/2" = 1'-0" REF: 5 / A601



**2 DETAIL** EAVE @ WEST WING  
1 1/2" = 1'-0" REF: 7 / A412



**1 DETAIL** ROOF TO WALL @ WEST WING  
1 1/2" = 1'-0" REF: 3 / A411

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
COLUMBUS METROPOLITAN HOUSING AUTHORITY  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
CMHA

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

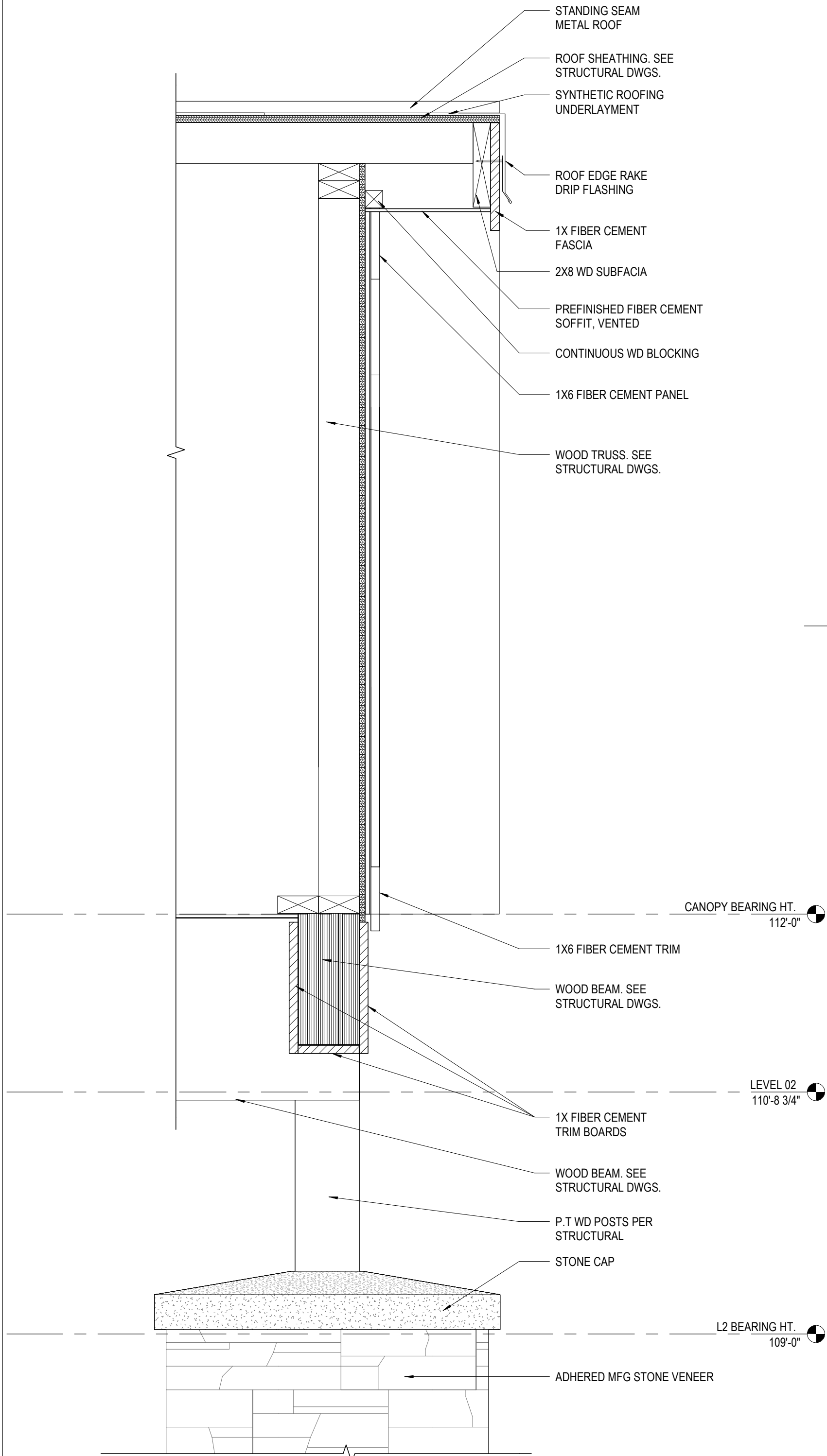
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## EXTERIOR SECTION DETAILS

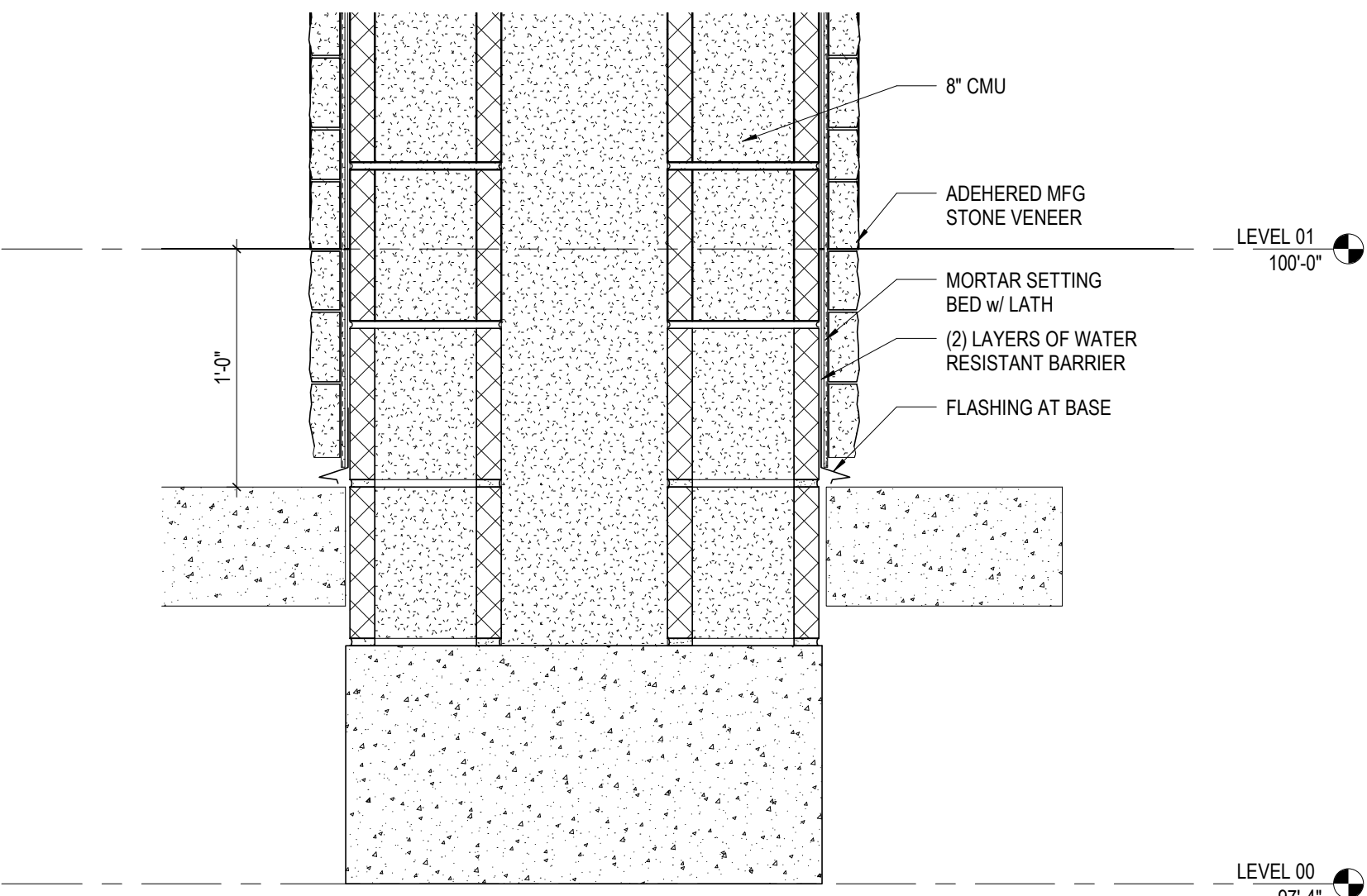
**JAY W. BOONE**  
REGISTERED ARCHITECT  
#10740

06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker  
#22172.01  
**A422**  
PERMIT & BID SET

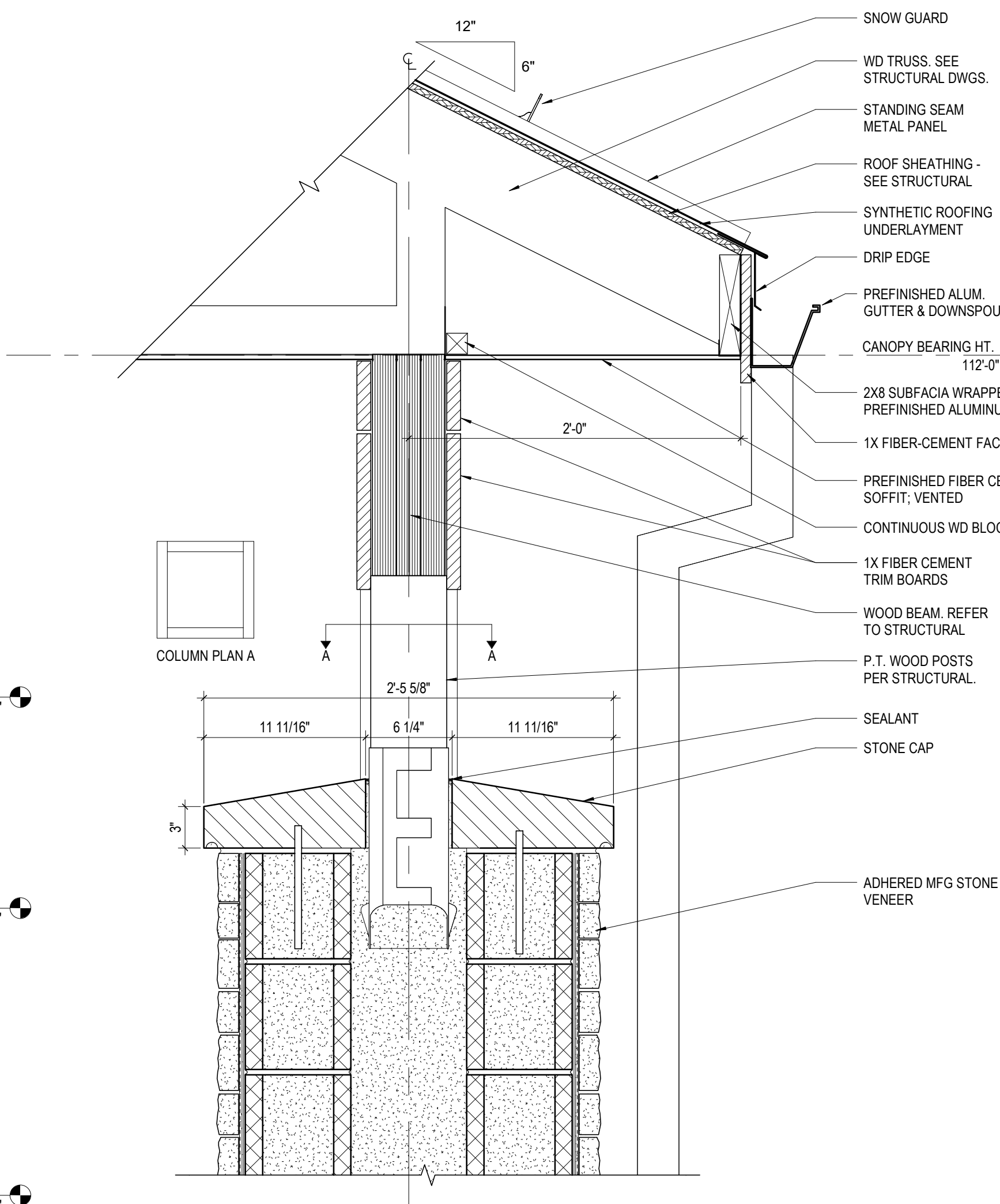




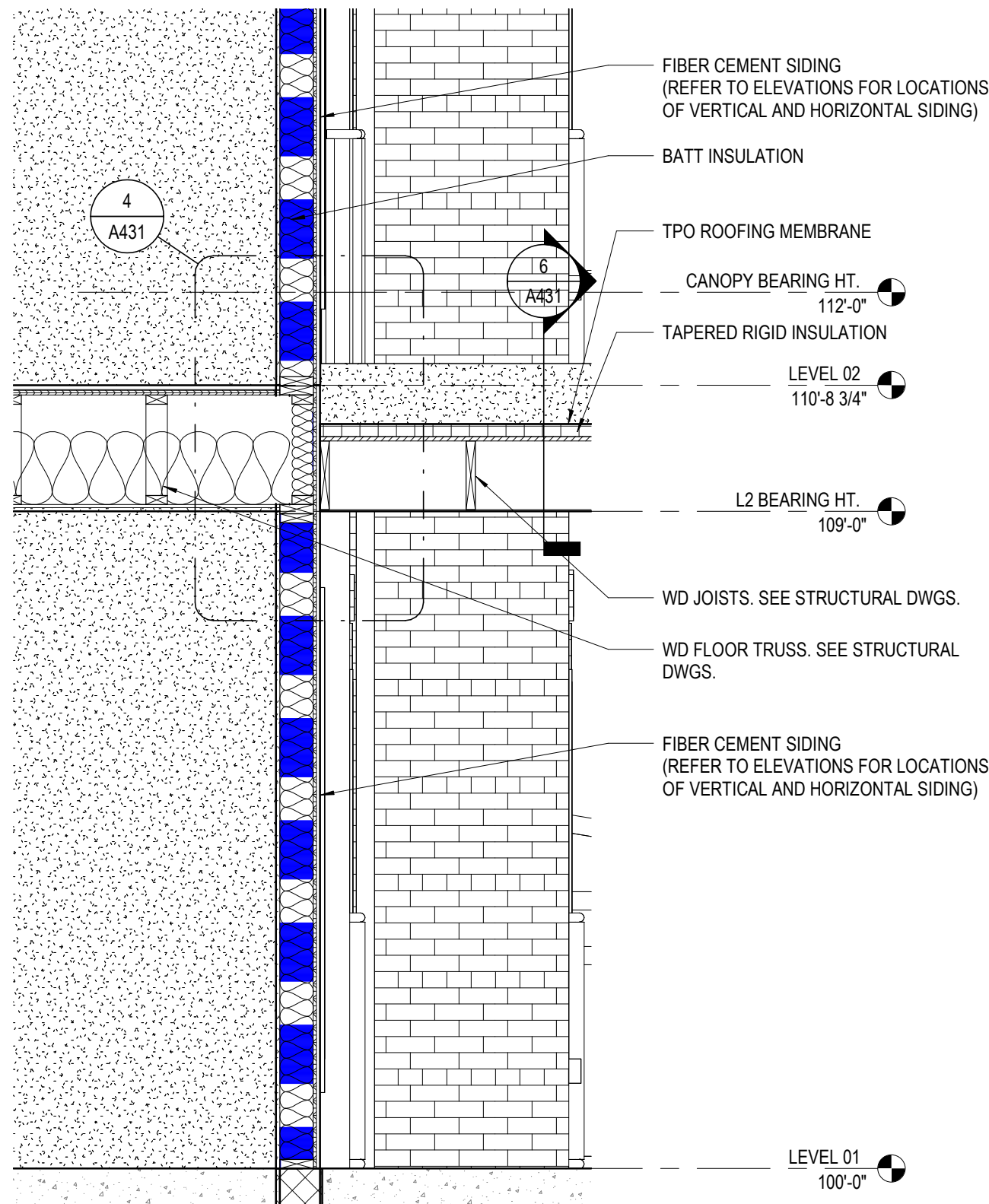
**4 DETAIL** CANOPY GABLE ROOF RAKE  
1 1/2" = 1'-0" REF: 1 / A430



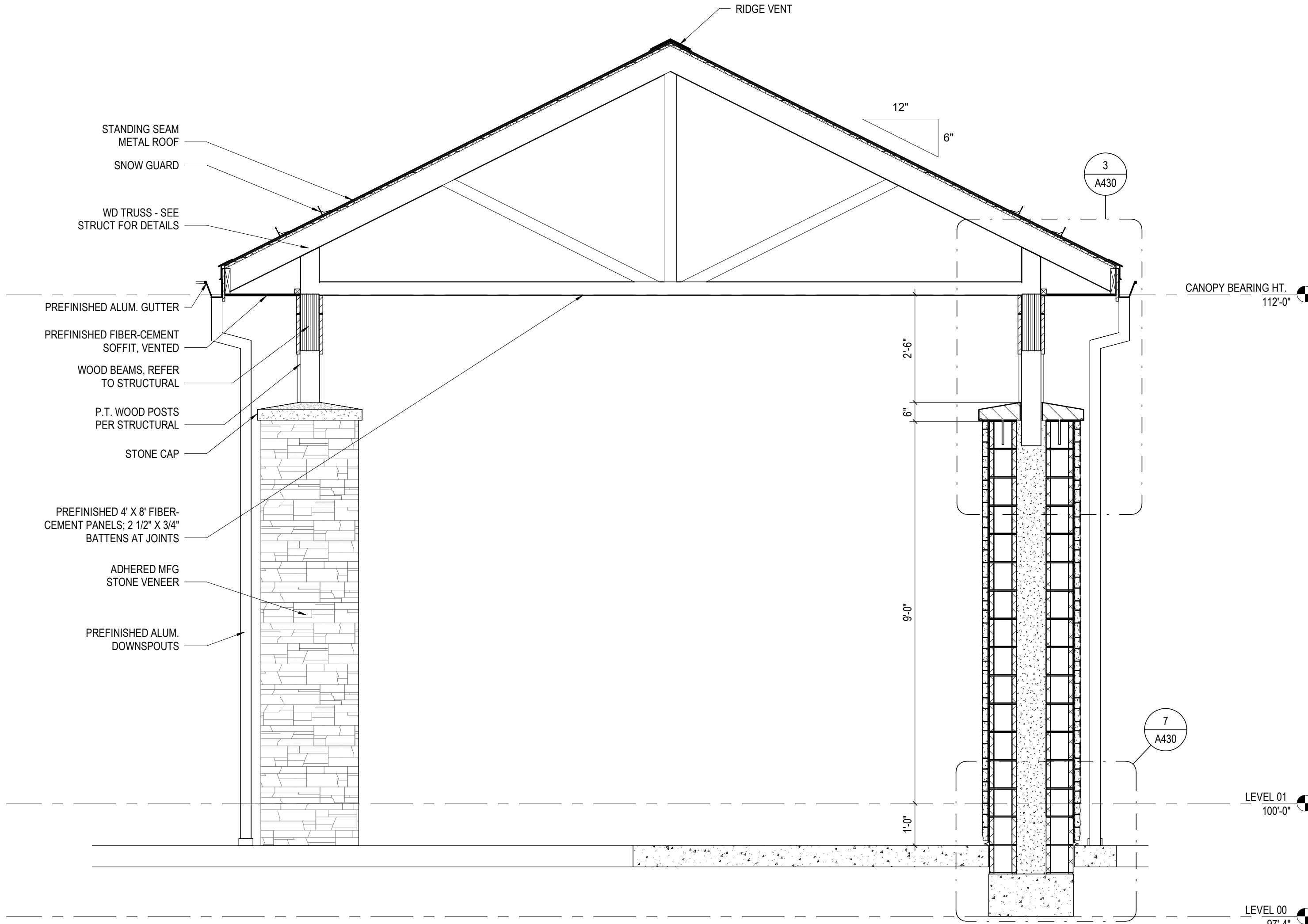
**7 SECTION** PORTICO COLUMN FOUNDATION  
1 1/2" = 1'-0" REF: 1 / A430



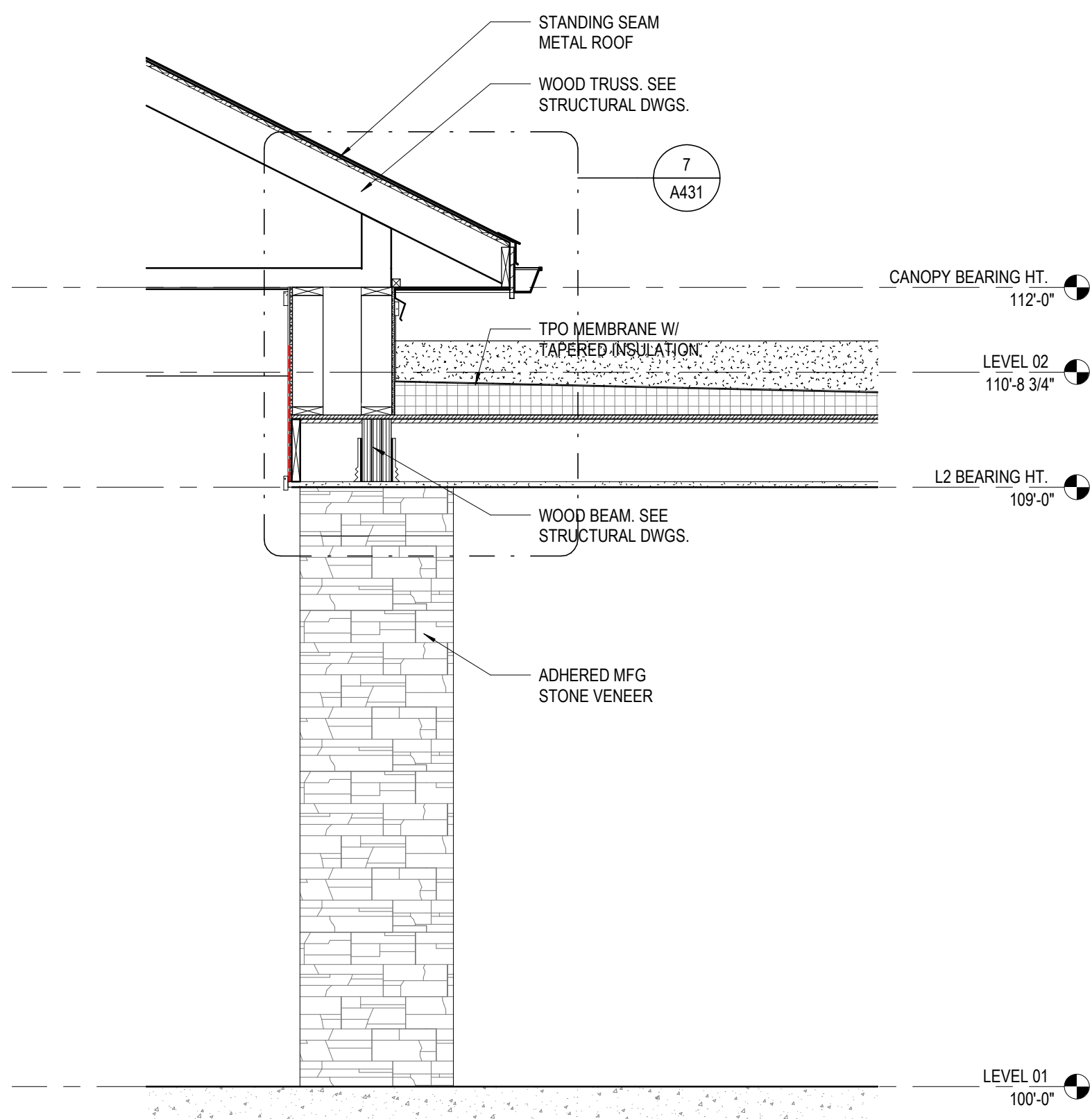
**3 DETAIL** CANOPY EAVE  
1 1/2" = 1'-0" REF: 2 / A430



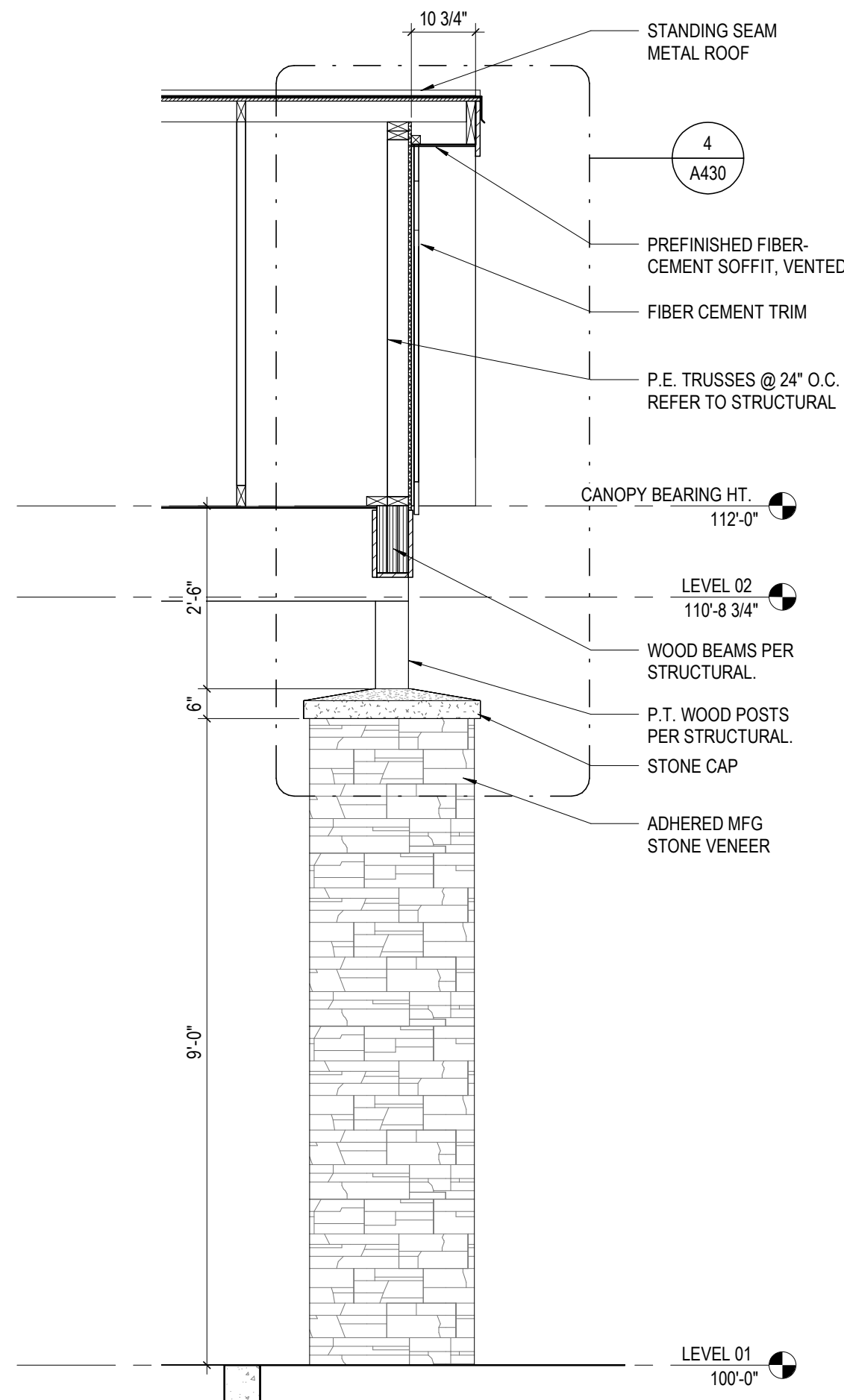
**6 SECTION** FLAT ROOF AT BUILDING  
1 1/2" = 1'-0" REF: 1 / A101A



**2 SECTION** PORTICO SECTION 2  
1/2" = 1'-0" REF: 1 / A101A



**5 SECTION** TRANSITION TO FLAT ROOF  
1/2" = 1'-0" REF: 1 / A101A



**1 SECTION** PORTICO SECTION 1  
1/2" = 1'-0" REF: 1 / A101A

**GENERAL NOTES - WALL SECTIONS**

1. REFER TO GEOTECHNICAL REPORT AS INCLUDED IN THE CONTRACT DOCUMENTS.
2. PROVIDE 8" OF GRANULAR FILL AT BELOW GRADE SLABS (0007 ITEM 304 OR CRUSHED NO. 57 LIMESTONE). PROVIDE A VAPOR BARRIER BELOW THE ENTIRE AREA OF THE SLABS ON GRADE.
3. FOUNDATION BACKFILL SHALL BE GRANULAR FILL AS NOTED IN THE GEOTECHNICAL REPORT. SEE THE GEOTECHNICAL REPORT FOR BACKFILL ANGLE/ GRANULAR FILL PLACEMENT. SEE THE WATER MANAGEMENT FLOOR PLAN FOR LOCATION OF FOUNDATION DRAIN TILE AND WATERPROOFING/ DAMPROOFING INFORMATION.
4. ALL STRUCTURAL STEEL TO BE 1 HOUR FIRE RATED. PROVIDE 1 HR INTUMESCENT COATING - REFER TO G SERIES SHEETS FOR DETAILS ON SPECIFIED UL ASSEMBLIES.

**GENERAL NOTES- AIR LEAKAGE**

1. ALL OPENINGS, SUCH AS DOORS AND WINDOWS (INCLUDING ALL SILL PANNING AS REQUIRED) TO BE FLASHED.
2. ALL GRADING TO BE SLOPED AWAY FROM BUILDING FOUNDATION (GRADE - SLOPE AWAY GUARANTEED FOR ONE (1) YEAR).
3. GRANULAR FILL OR DRAIN BOARD TO BE INSTALLED AGAINST FOUNDATION WALLS (SEE ARCHITECTURAL DRAWINGS AND GEOTECHNICAL REPORT).
4. BITUMEN SPRAY OR DAMP PROOFING ON BELOW GRADE WALLS (SEE ARCHITECTURAL DRAWINGS). BITUMEN SPRAY OR DAMP PROOFING ONLY REQUIRED AT THE ELEVATOR PIT.
5. FOOTER TILE (BELOW TOP OF FOOTER TO DAYLIGHT OR TO INTERIOR TILE/SLAB).
6. ALL FOUNDATION INSULATION (EXTEND TO TOP OF FOOTER).
7. INSTALL ALL (WALL/CEILING) INSULATION AGAINST CONDITIONED SURFACES (FACE STAPLE ALL BATT).
8. ENCLOSE ALL (WALL) INSULATION ON ALL SIX SIDES - PROTECT FROM AIR WASH.
9. ALL (CEILING) INSULATION TO BE EVEN DEPTH (REACH A MINIMUM OF R-38 ADJACENT TO UNCONDITIONED SPACES).
10. SOFFIT CHUTES ARE TO BE FULL CAVITY WITH TABS TO PROTECT EDGE OF PERIMETER INSULATION.
11. PROVIDE "KRAFT" FACED FIBERGLASS INSULATION - INSTALL INSULATION PER ENERGY STAR INSULATION GUIDE (GRADE 1) FACE STAPLED TO STUDS - FILL ALL CAVITIES - ALL INSULATION TO BE GUARANTEED FOR ONE (1) YEAR.
12. PROVIDE A CONTINUOUS AIR BARRIER - CONTINUOUSLY SEAL ALL EXTERIOR SHEATHING JOINTS, INCLUDING THE TOP AND BOTTOM EDGES - PROVIDE HOUSE WRAP, TAPING ALL SEAMS, INCLUDING TOP AND BOTTOM EDGES.
13. SEAL ALL RECESSED CAN LIGHTS, RECESSED CEILING EXHAUST FANS, UTILITY BOXES, AND DOOR JAMBS.
14. GLUE/GASKET DRYWALL TO TOP PLATE ON ALL WALLS ADJACENT TO COLD SPACES ABOVE.

**GENERAL NOTES- BLDG ENVELOPE**

- IN ACCORDANCE WITH ASHRAE 90.1-2010 (5.4.3.1) BUILDING ENVELOPE SEALING, THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED, CALKED, GASKETED, OR WEATHER-STRIPPED TO MINIMIZE AIR LEAKAGE:
- A. JOINTS AROUND FENESTRATION AND DOOR FRAMES.
  - B. JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
  - C. OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS.
  - D. SITE-BUILT FENESTRATION AND DOORS.
  - E. BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
  - F. JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
  - G. ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.
  - H. SEAL DUCT BOOTS AT PENETRATIONS THROUGH DRYWALL/SUBFLOOR (BEFORE INSTALLING SUPPLY AND RETURN GRILLS).
  - I. ALL WALLS TOPS INCLUDING STOREFRONT ASSEMBLIES SHALL BE ATTACHED WITH A MINIMUM OF TWO (2) TOP PLATES.
  - J. SEE "WALL DETAILS" SHEET FOR TYPICAL EXTERIOR WALLS.
  - K. BATT INSULATION AT EXTERIOR WALLS TO BE A MINIMUM OF R-19. BATT INSULATION AT ROOF ATTICS TO BE A MINIMUM OF R-38 ADJACENT TO UNIT BALCONIES. AVERAGE INSULATION AT FLAT ROOFS AND SLOPED ROOFS ABOVE THE WOOD SHEATHING TO BE A MIN OF R-25.

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1001 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

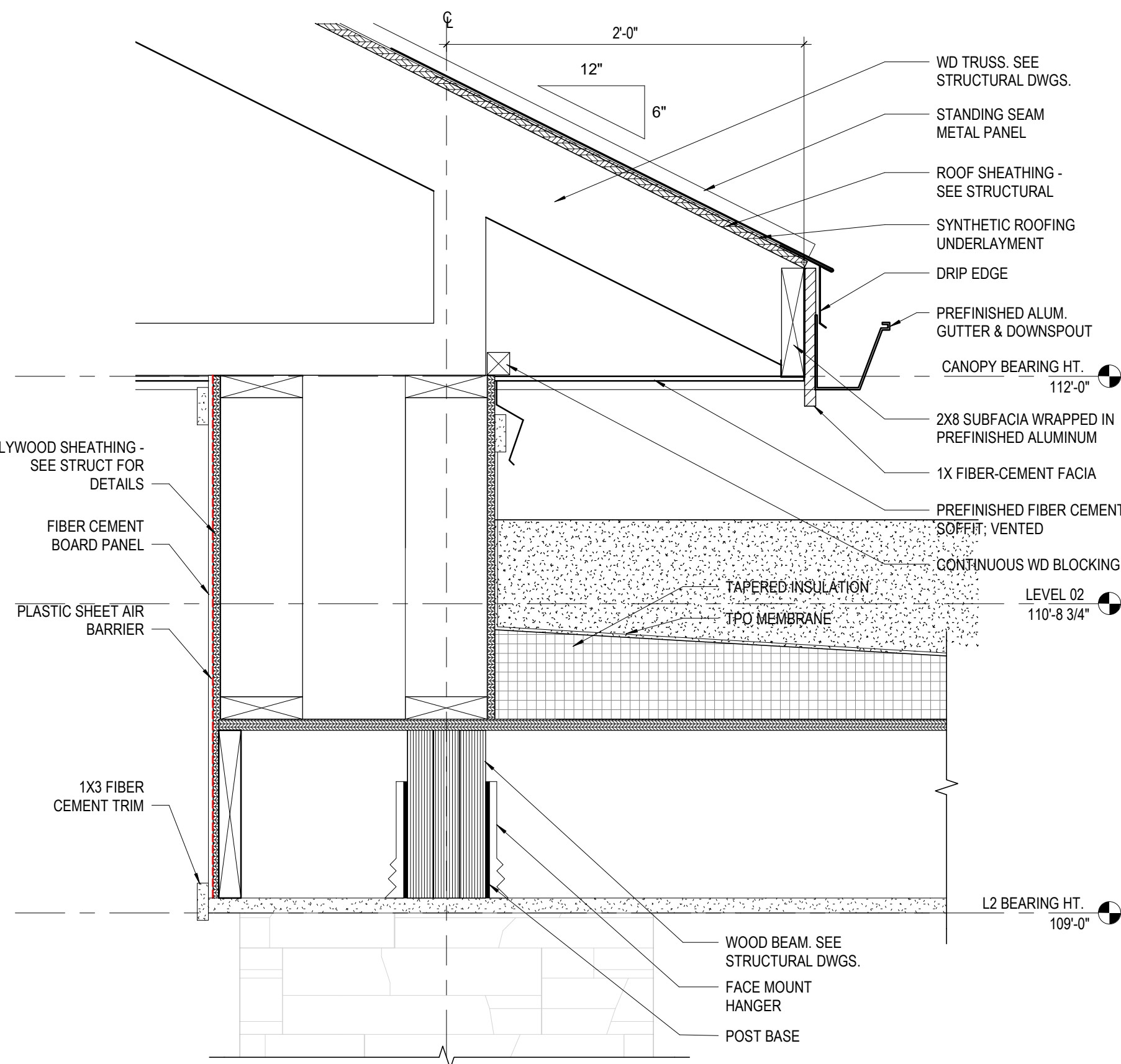
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**CANOPY DETAILS**

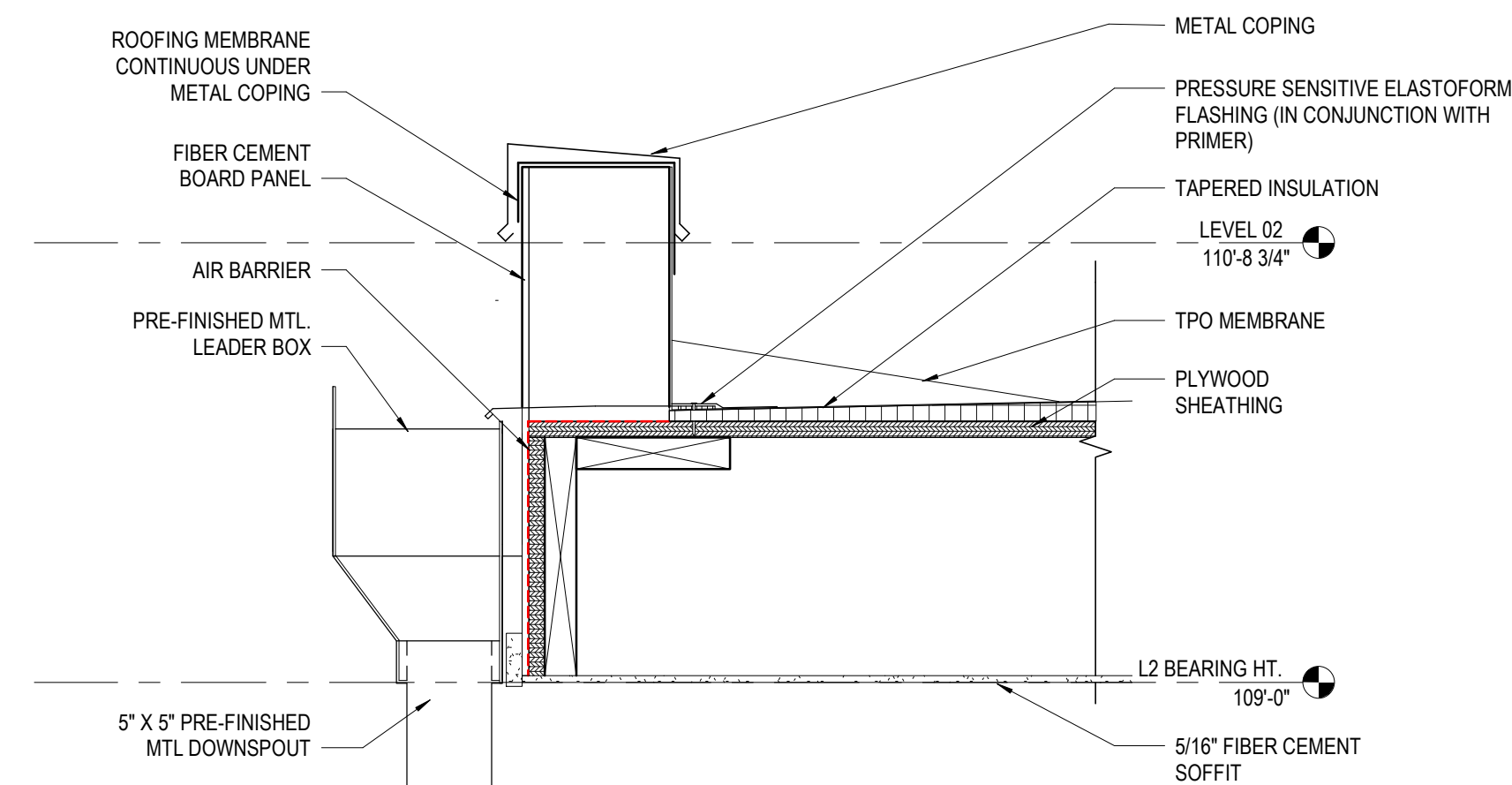


06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker  
#22172.01  
**A430**  
PERMIT & BID SET

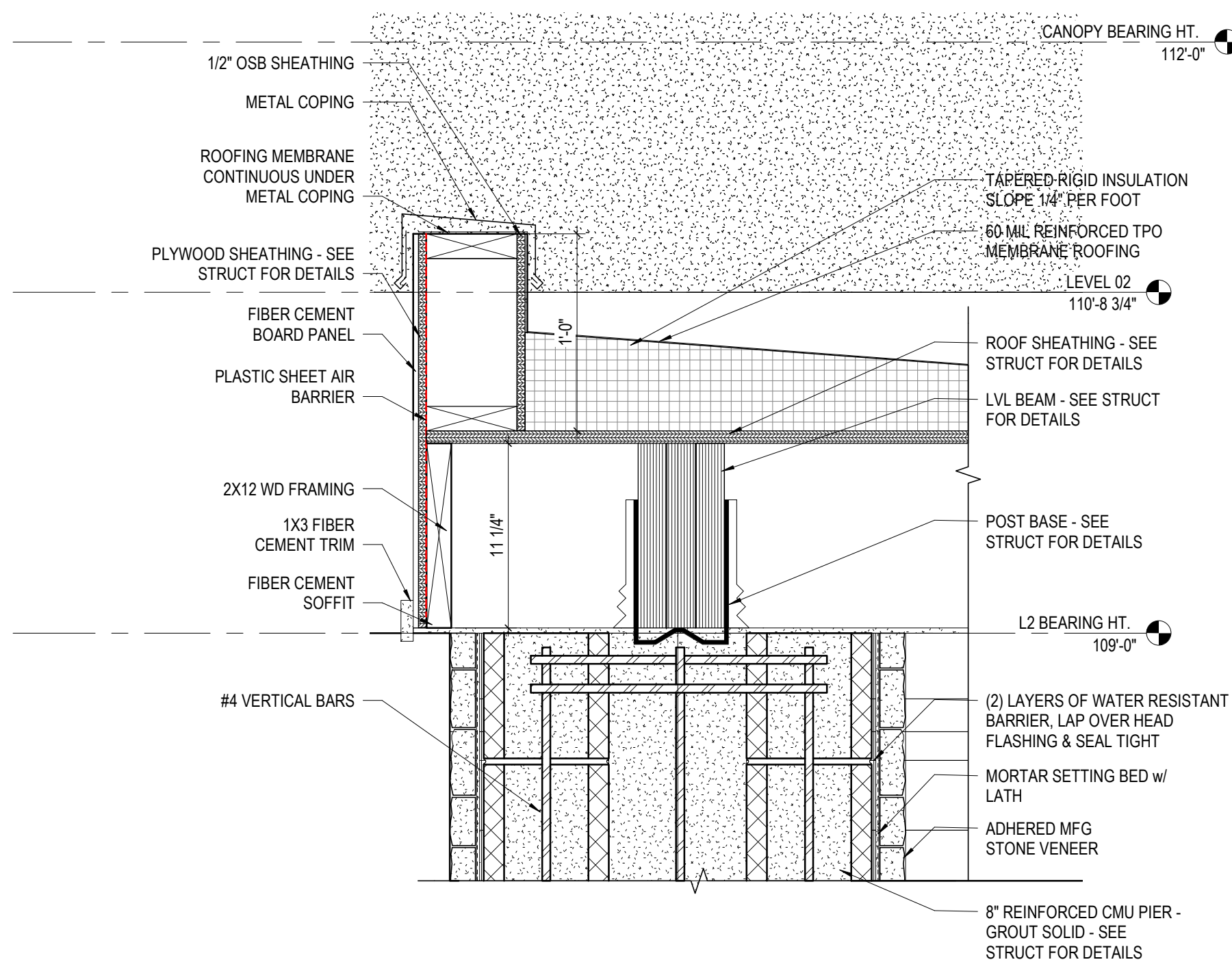




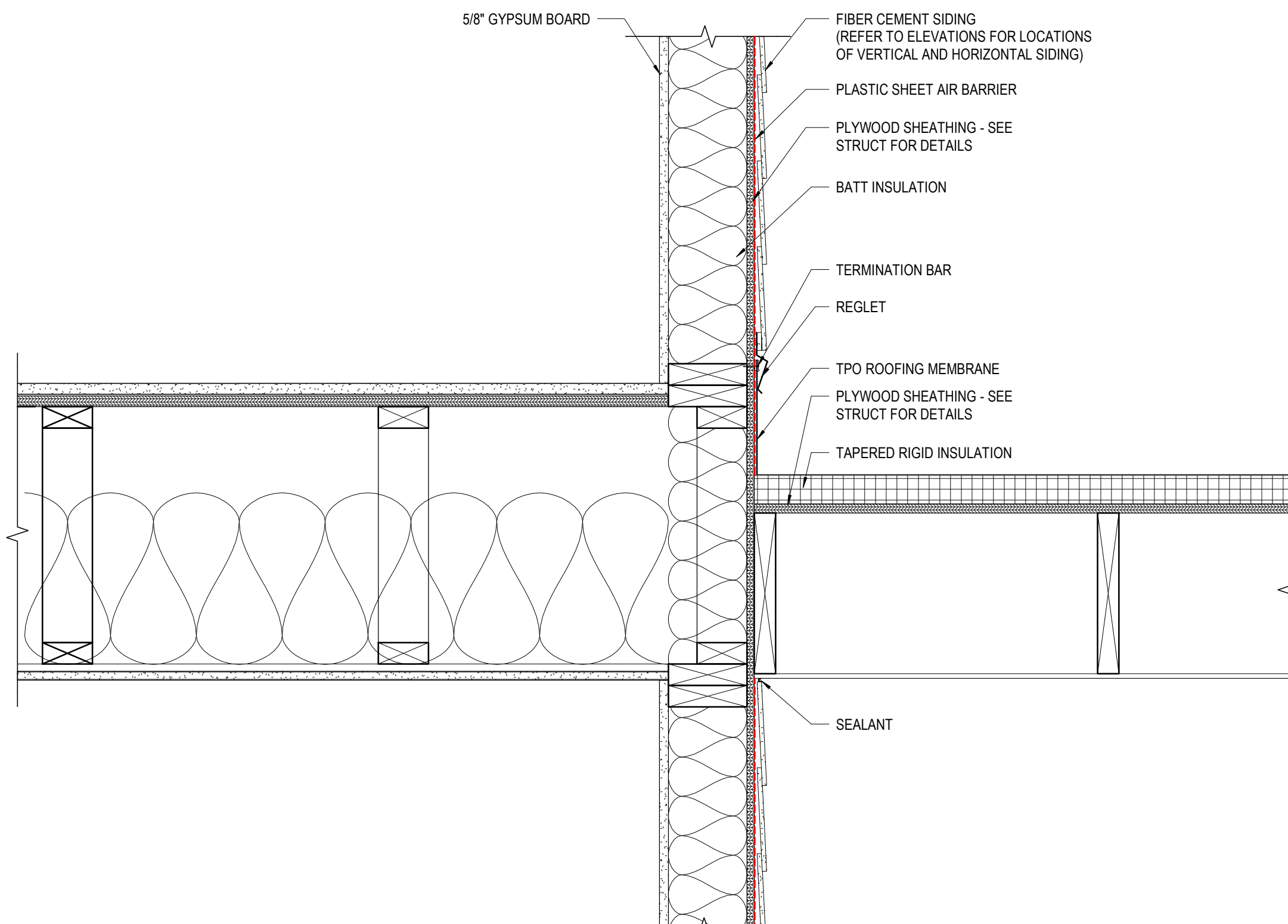
**7 DETAIL** TRANSITION DETAIL TO FLAT ROOF  
1 1/2" = 1'-0" REF: 1 / A102A



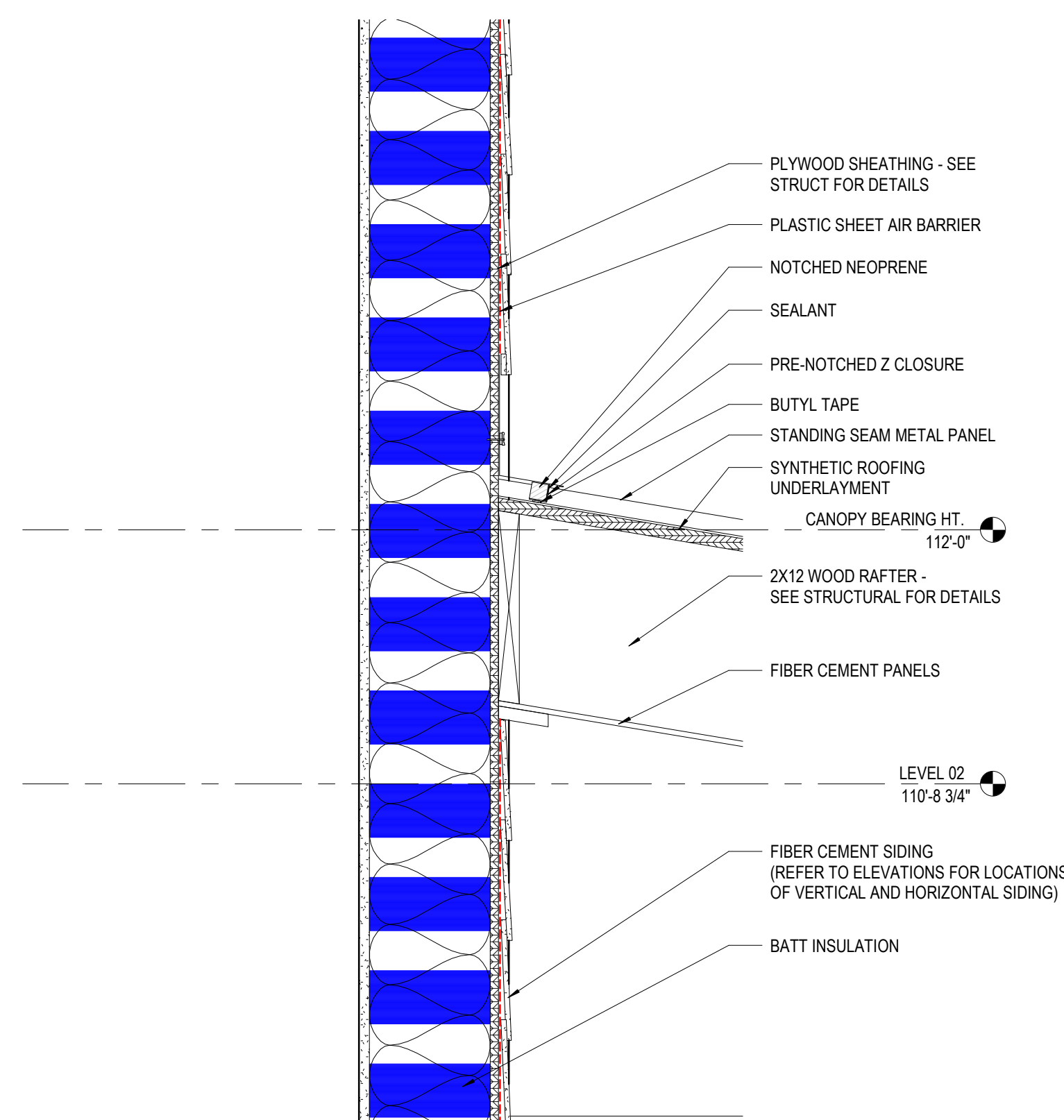
**6 DETAIL** PORTICO FLAT ROOF 2  
1 1/2" = 1'-0" REF: 1 / A102A



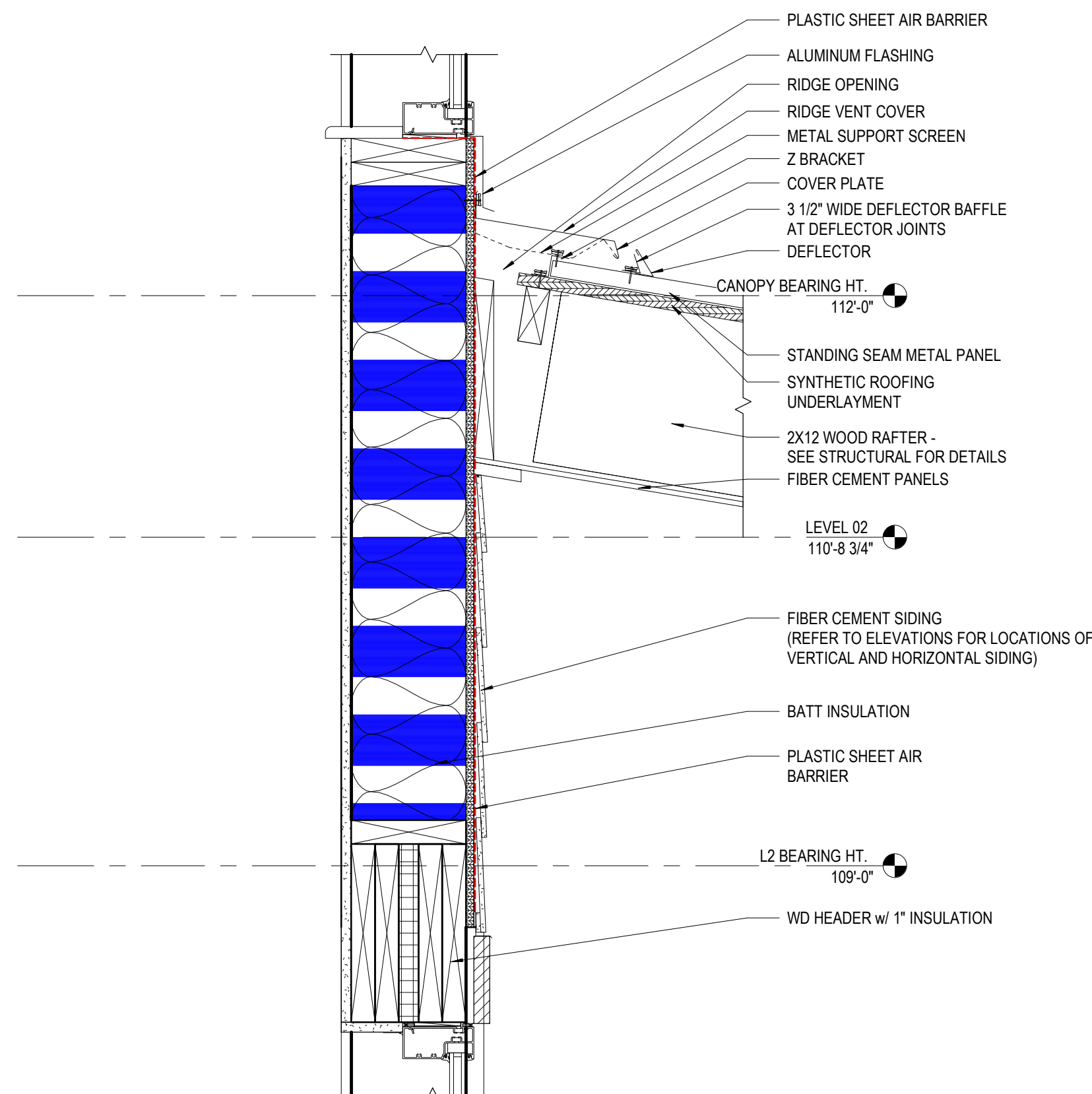
**5 DETAIL** PORTICO FLAT ROOF 1  
1 1/2" = 1'-0" REF: 1 / A101A



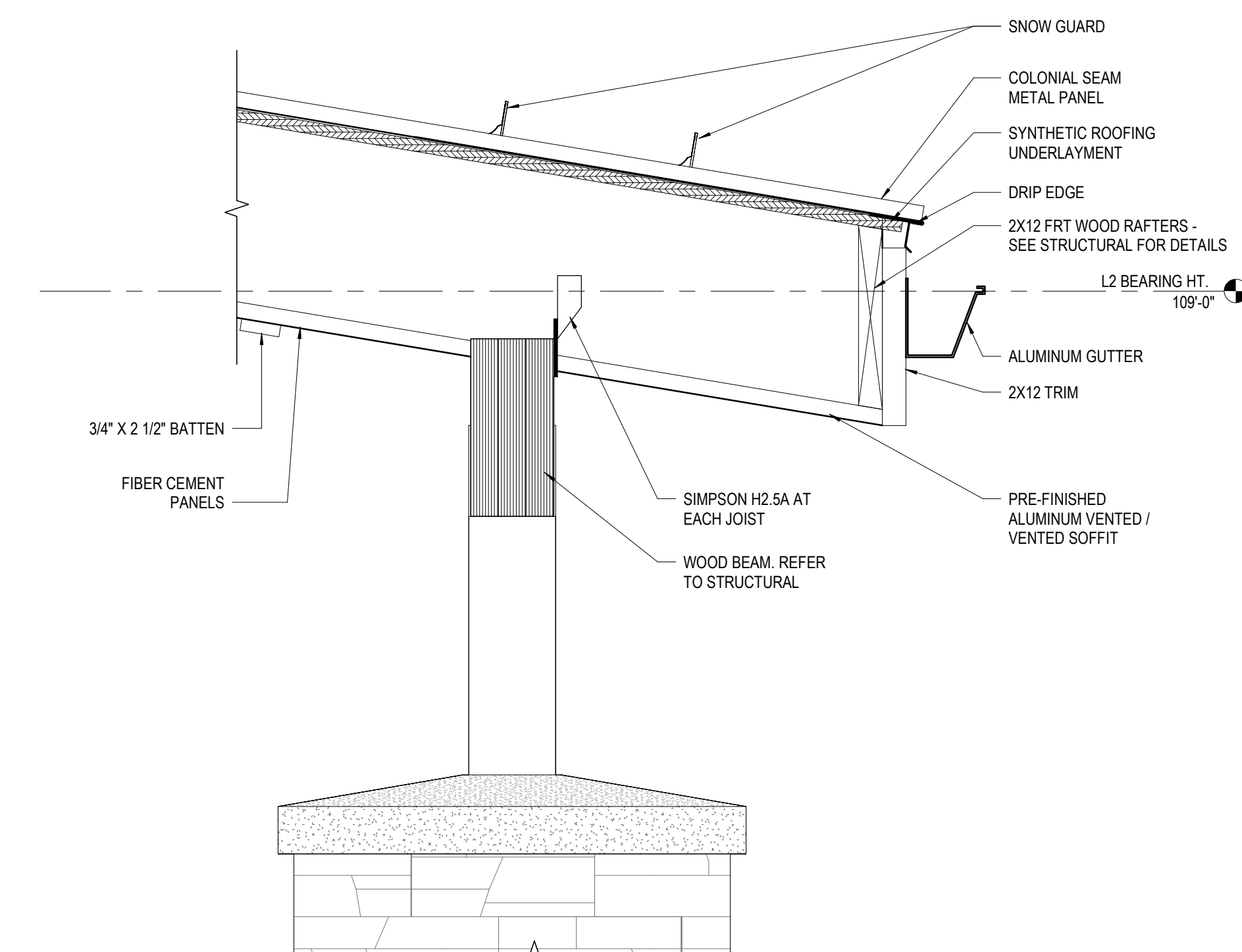
**4 DETAIL** FRONT CANOPY TO BUILDING  
1 1/2" = 1'-0" REF: 6 / A430



**3 DETAIL** AWNING TO WALL TRANSITION @ SIDING  
1 1/2" = 1'-0" REF: 2 / A414



**2 DETAIL** AWNING TO WALL TRANSITION @ STOREFRONT  
1 1/2" = 1'-0" REF: 2 / A412



**1 DETAIL** AWNING EDGE  
1 1/2" = 1'-0" REF: 2 / A412

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  - D. SITE-BUILT FENESTRATION AND DOORS.
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#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1001 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

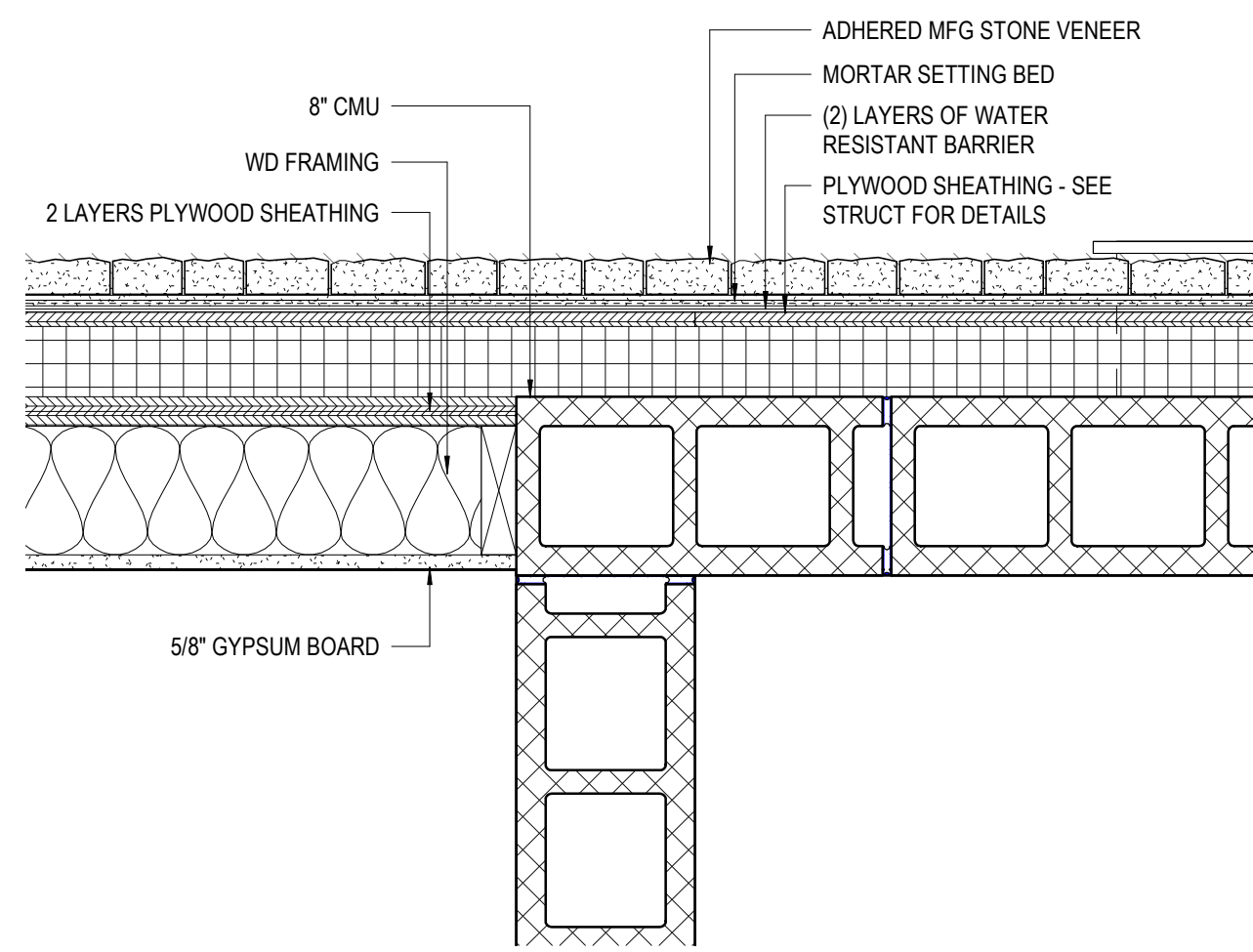
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**CANOPY DETAILS**

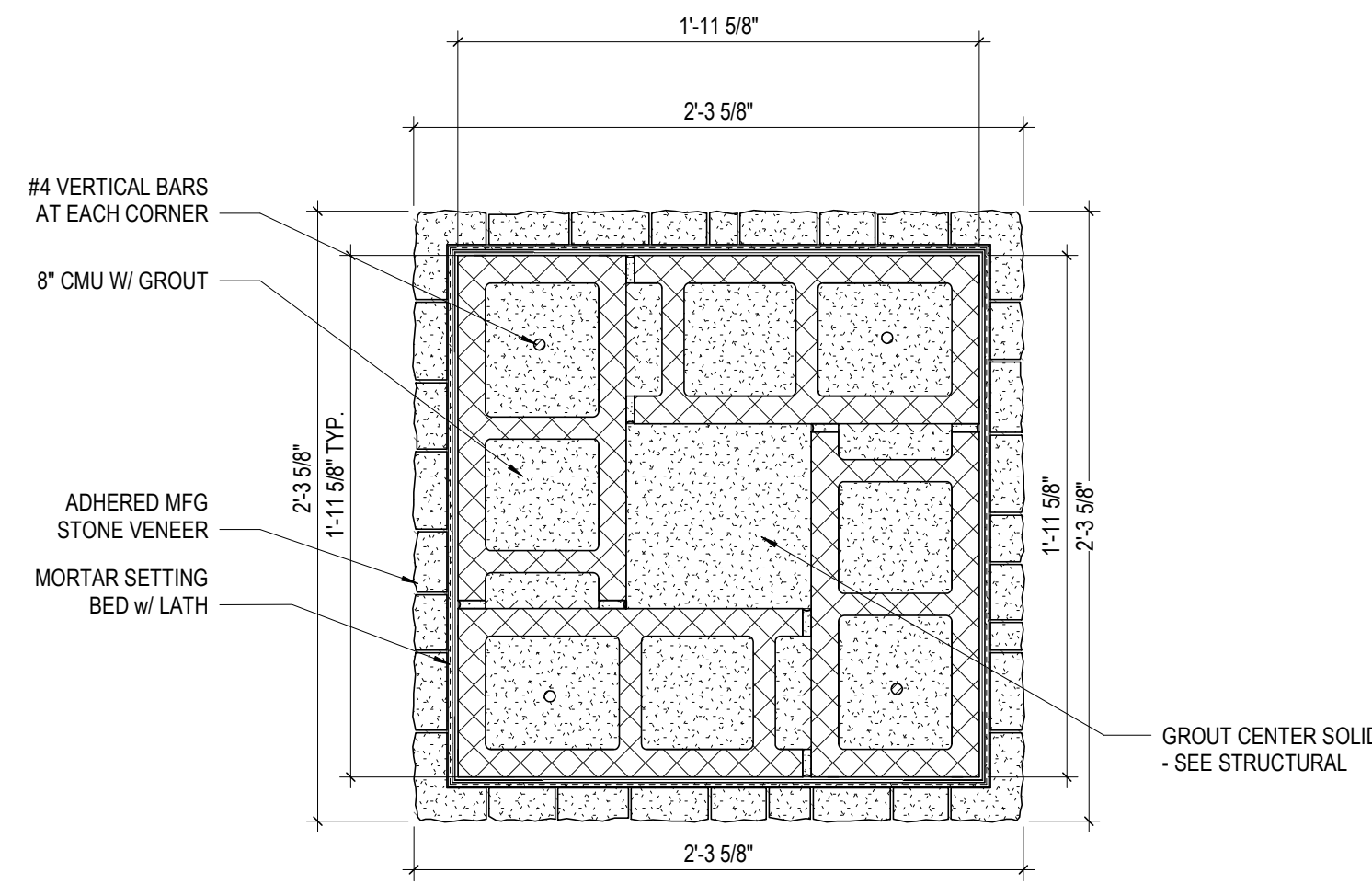
**STATE OF OHIO**  
**JAY W. BOONE**  
REGISTERED ARCHITECT  
10740  
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker  
#22172.01  
**A431**  
PERMIT & BID SET

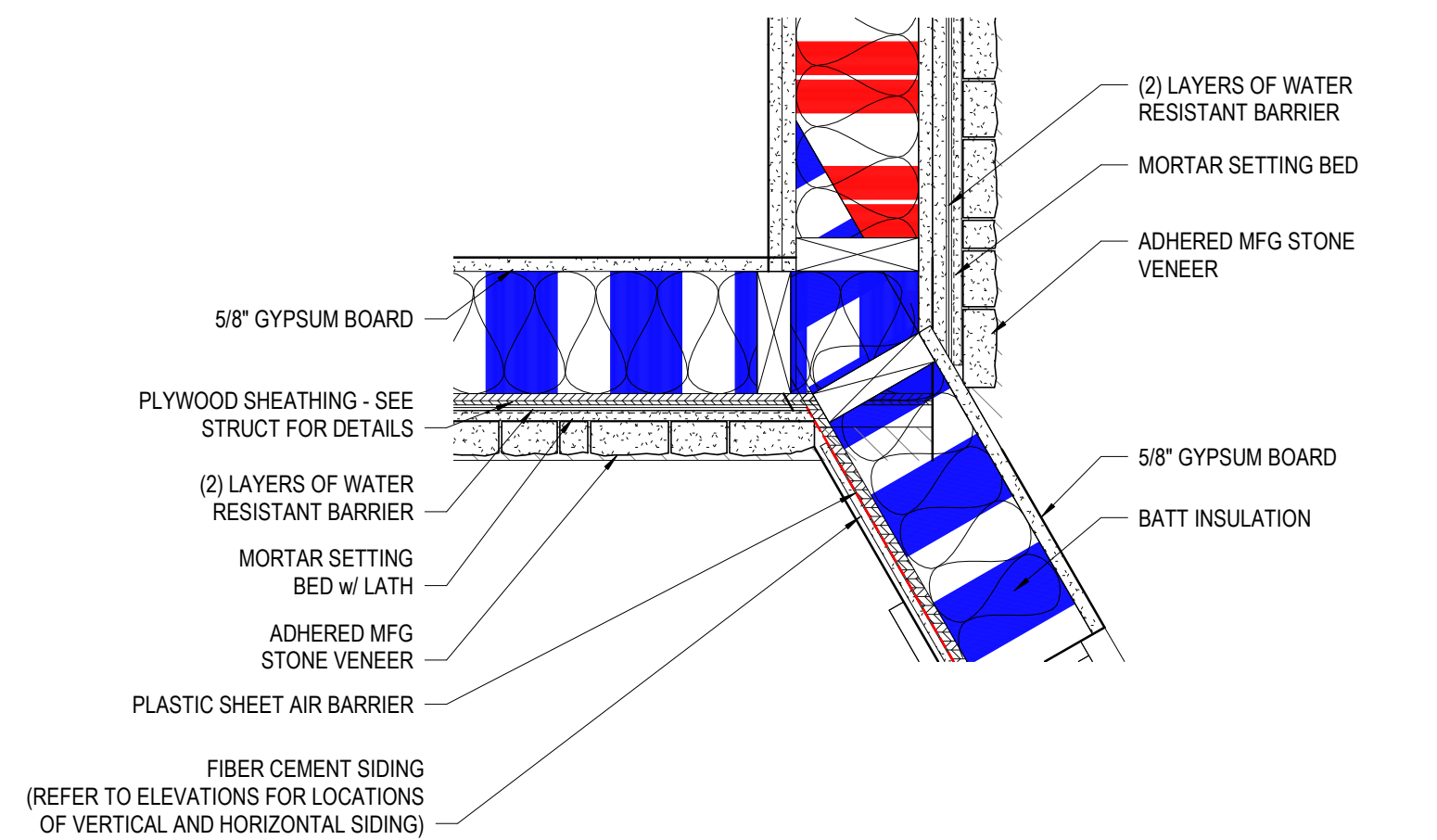




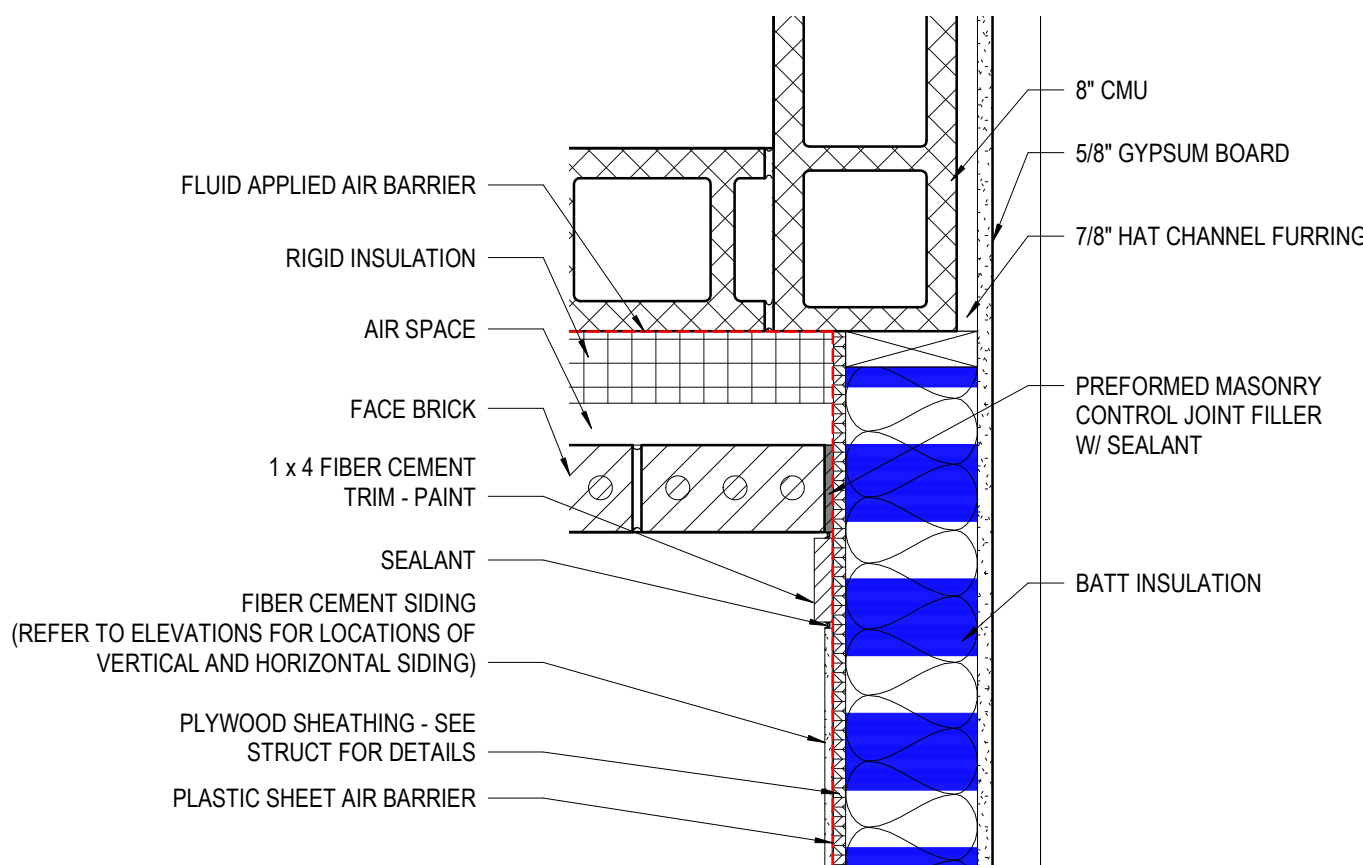
**10 ENLARGED PLAN** CAST STONE WALL - STUD TO CMU  
1 1/2" = 1'-0" REF: 7 / A602



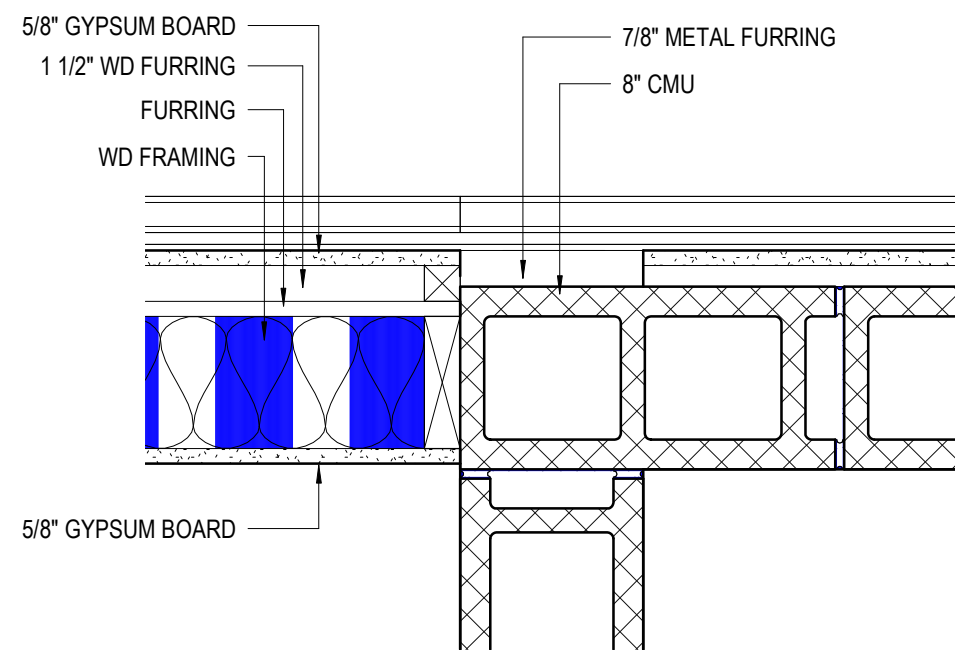
**8 ENLARGED PLAN** EXTERIOR COLUMN  
1 1/2" = 1'-0" REF: 1 / A101A



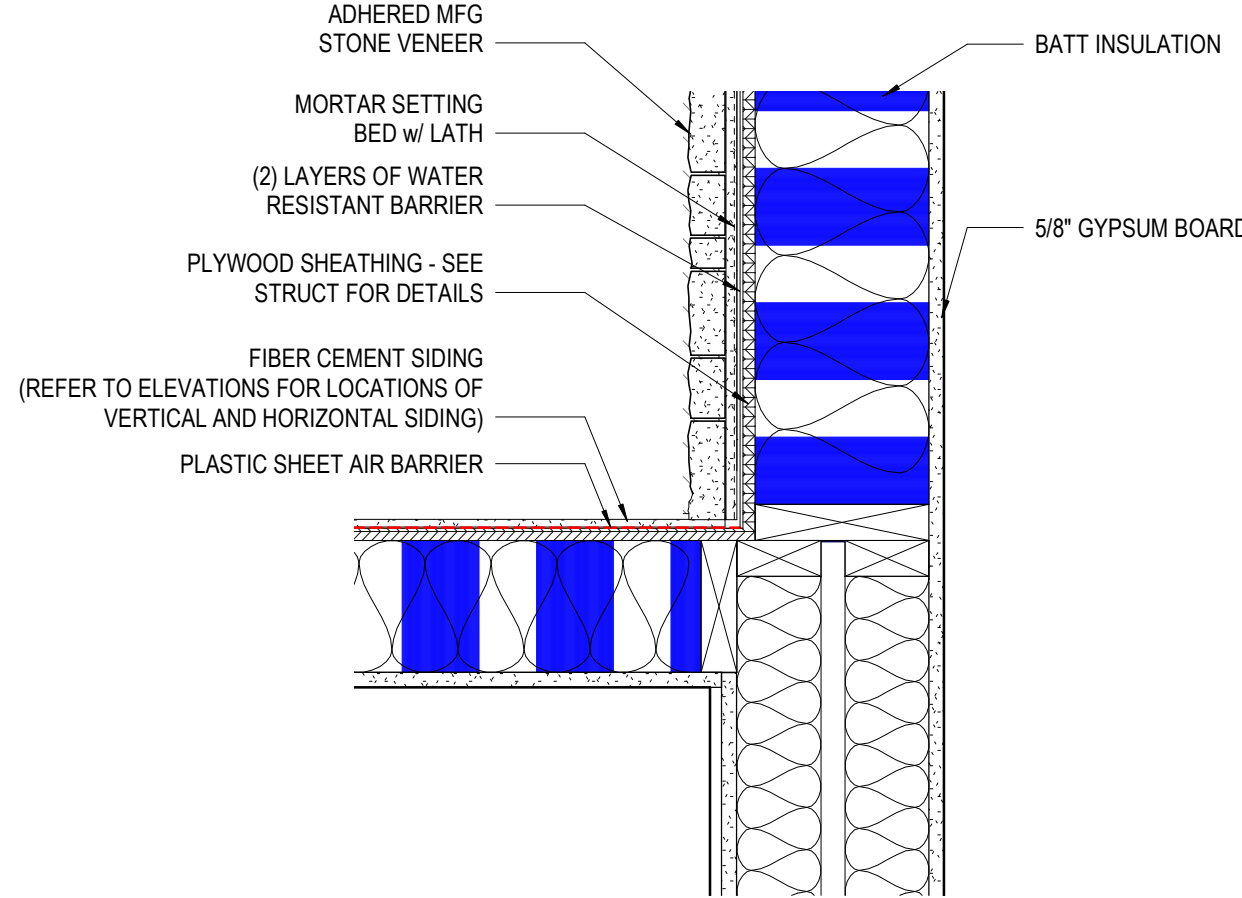
**4 ENLARGED PLAN** STONE TO SIDING TRANSITION @ LOBBY  
1 1/2" = 1'-0" REF: 1 / A101A



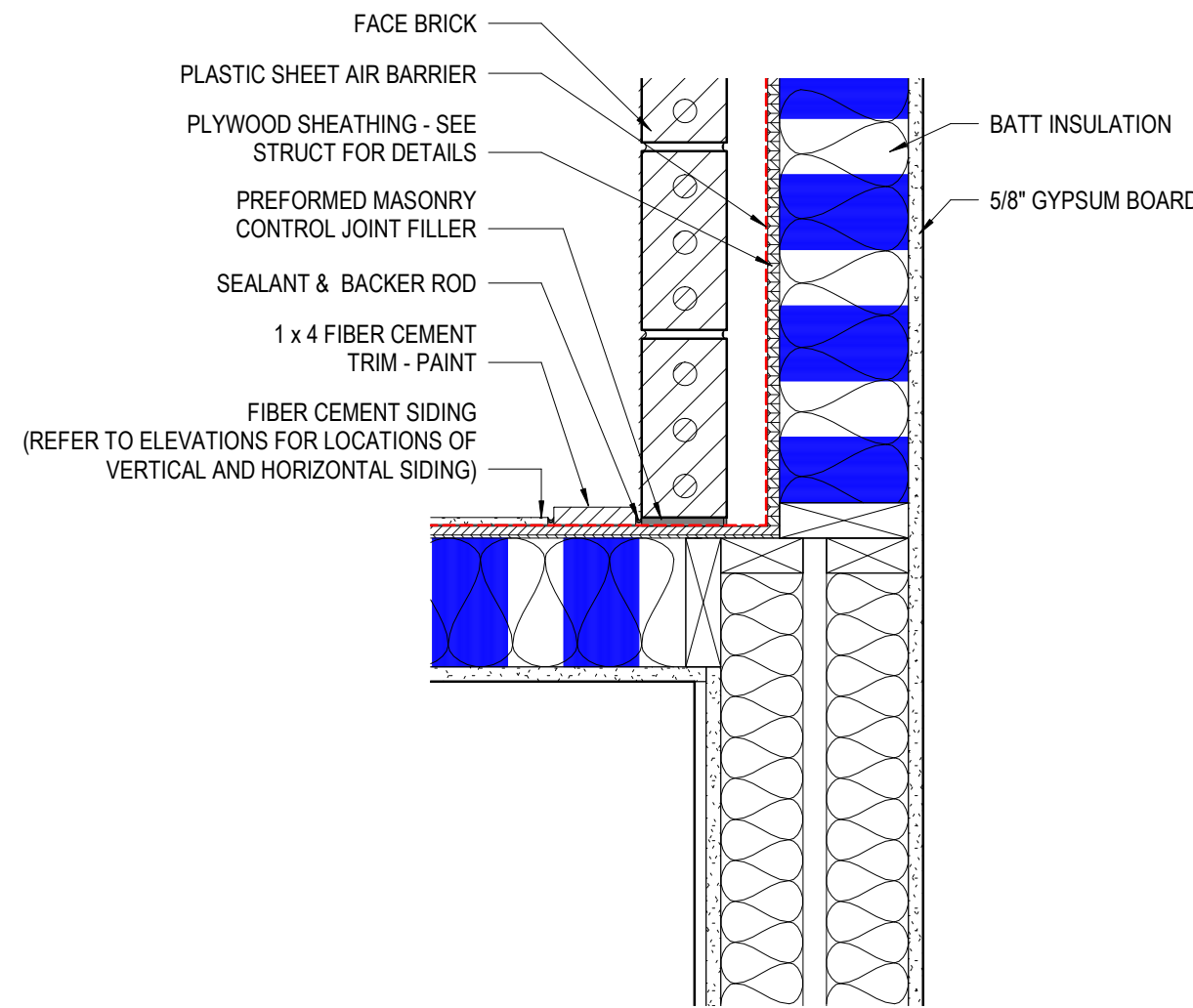
**20 ENLARGED PLAN** STAIR WALL TO SIDING ON WD STUD  
1 1/2" = 1'-0" REF: 9 / A601



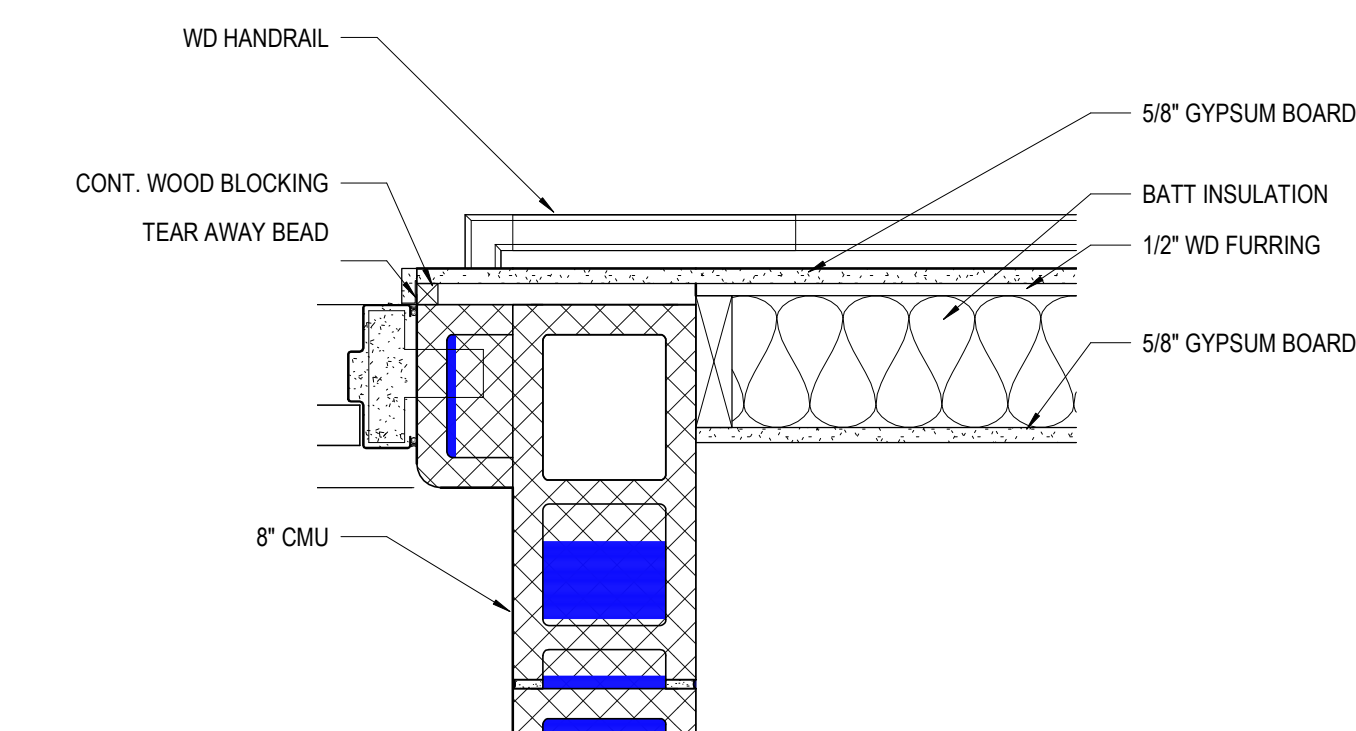
**12 ENLARGED PLAN** SECOND & THIRD FLOOR - ELEVATOR WALL  
1 1/2" = 1'-0" REF: 3 / A602



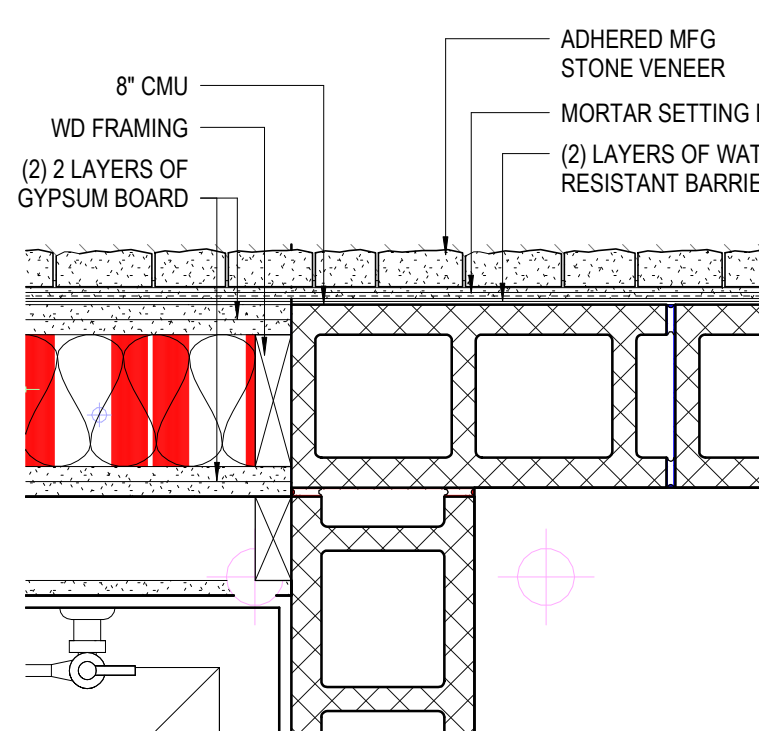
**7 ENLARGED PLAN** SIDING TO STONE @ DEMISING WALL  
1 1/2" = 1'-0" REF: 1 / A101A



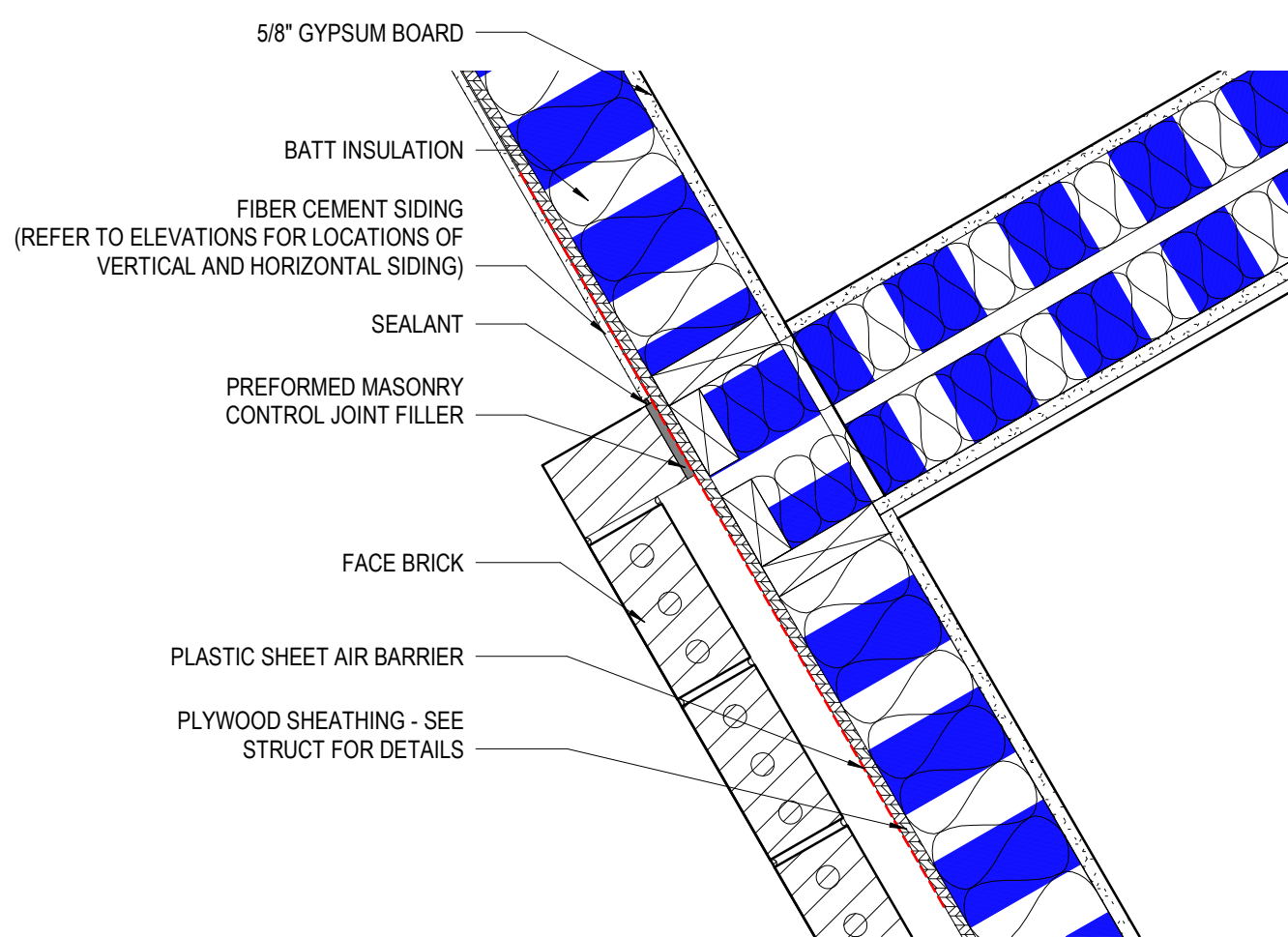
**3 ENLARGED PLAN** SIDING TO BRICK @ DEMISING WALL  
1 1/2" = 1'-0" REF: 1 / A101A



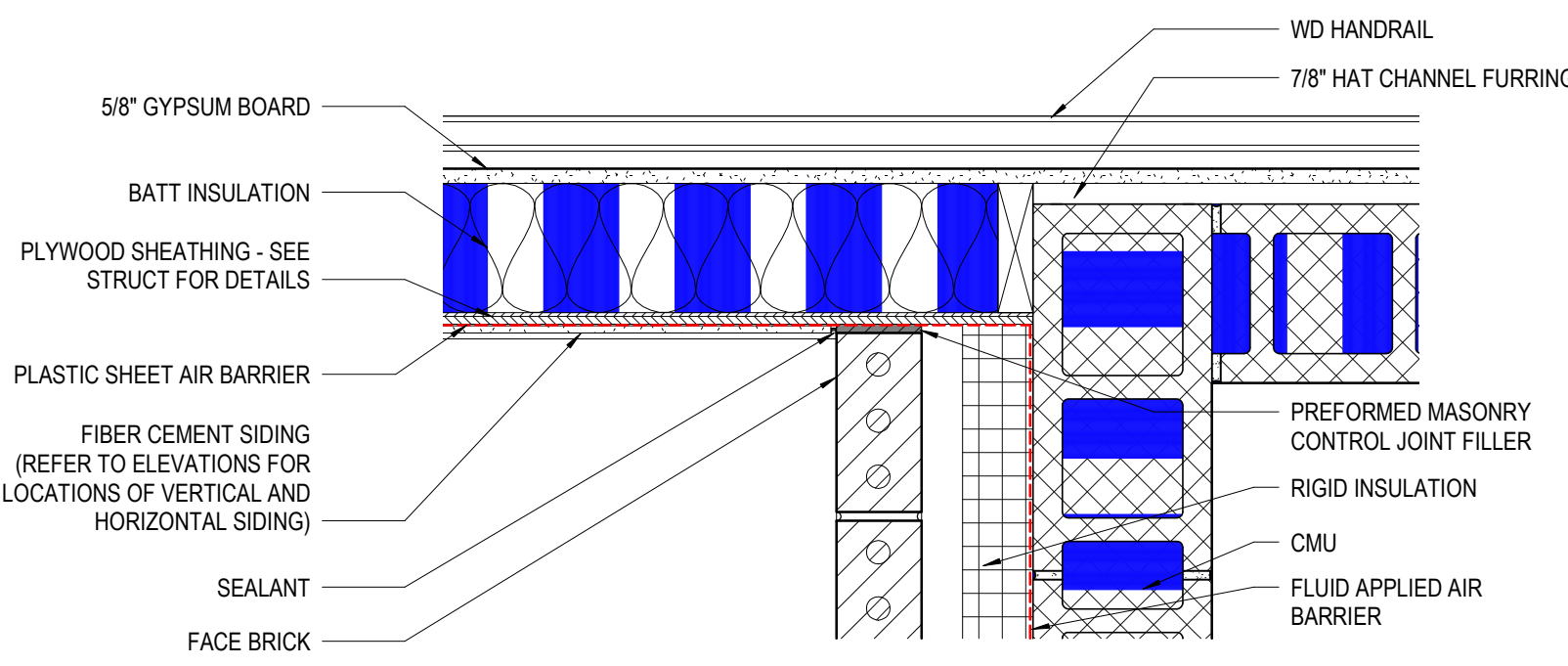
**19 ENLARGED PLAN** STAIR WALL TO INTERIOR BEARING WALL  
1 1/2" = 1'-0" REF: 9 / A601



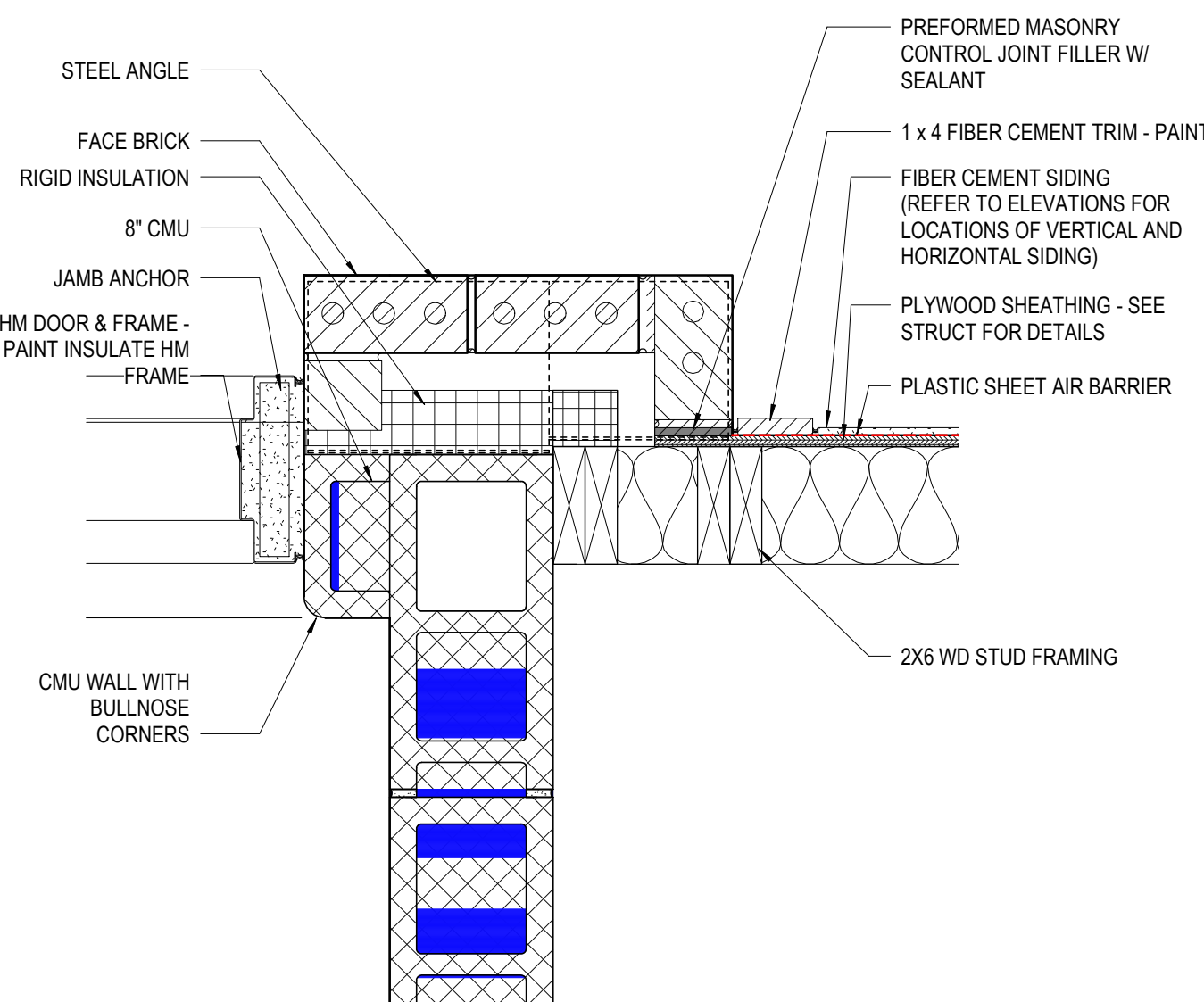
**11 ENLARGED PLAN** FIRST FLOOR - ELEVATOR WALL  
1 1/2" = 1'-0" REF: 2 / A602



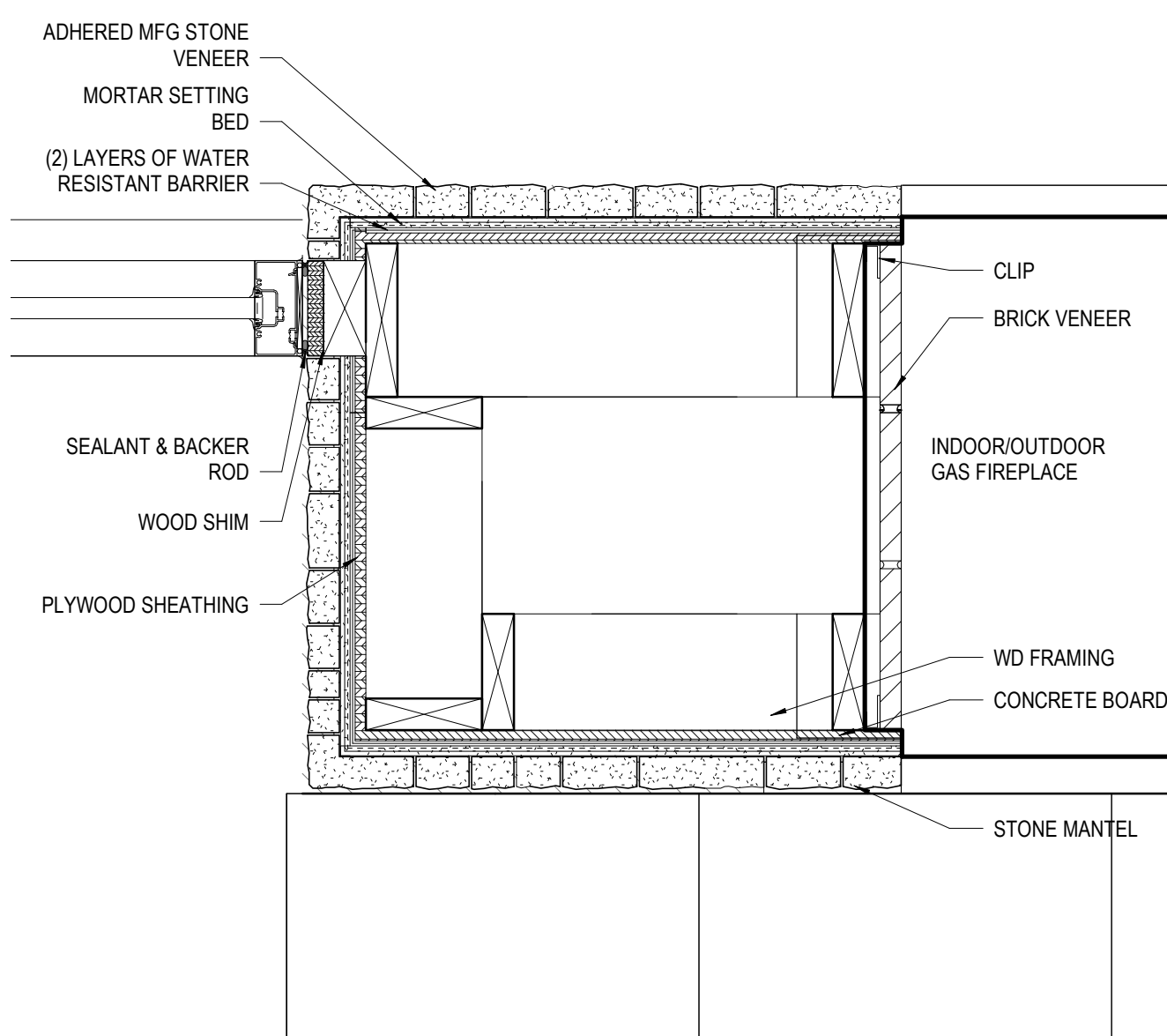
**6 ENLARGED PLAN** BRICK W/ WD STUD TO SIDING TRANSITION  
1 1/2" = 1'-0" REF: 1 / A101A



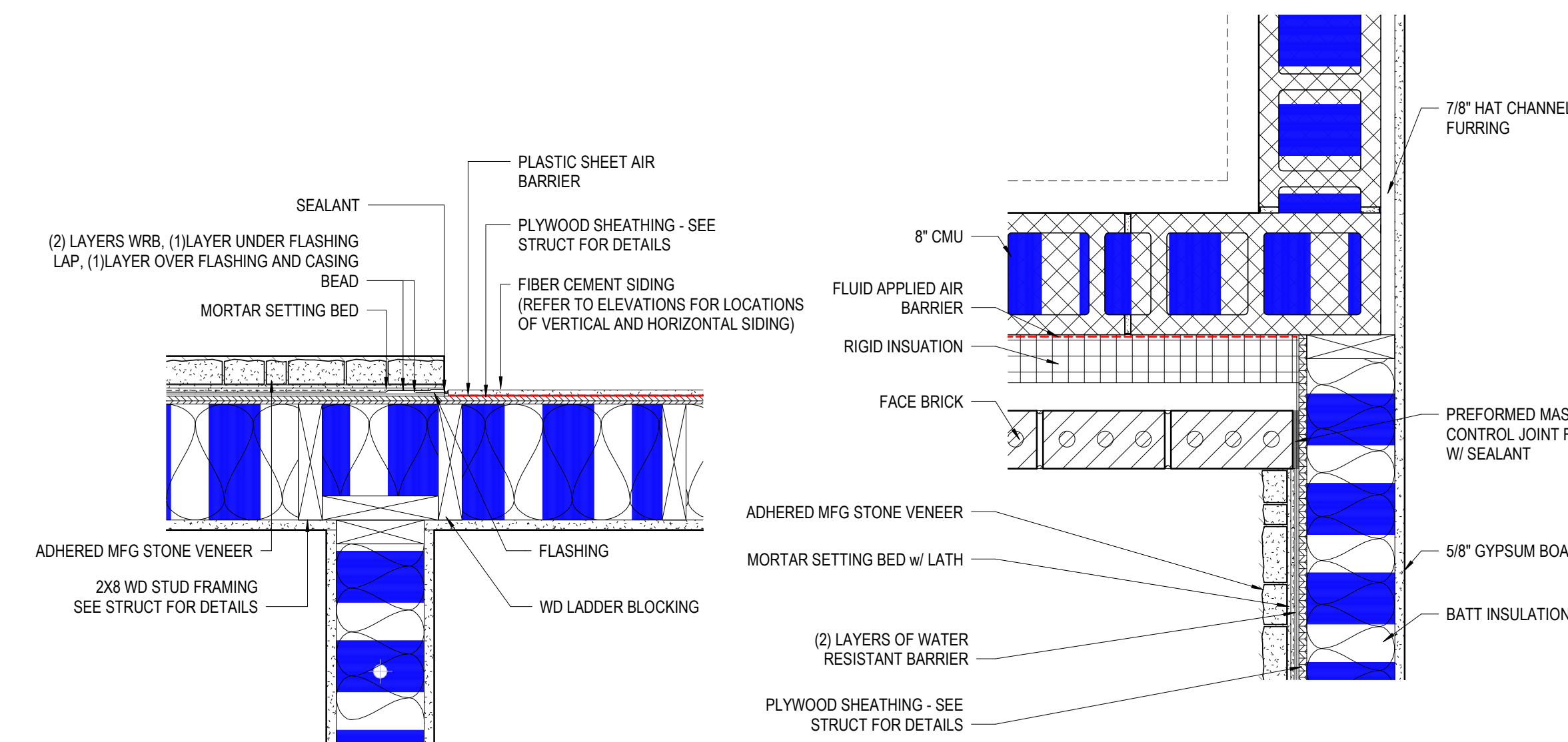
**2 ENLARGED PLAN** BRICK W/ CMU TO SIDING TRANSITION  
1 1/2" = 1'-0" REF: 1 / A101A



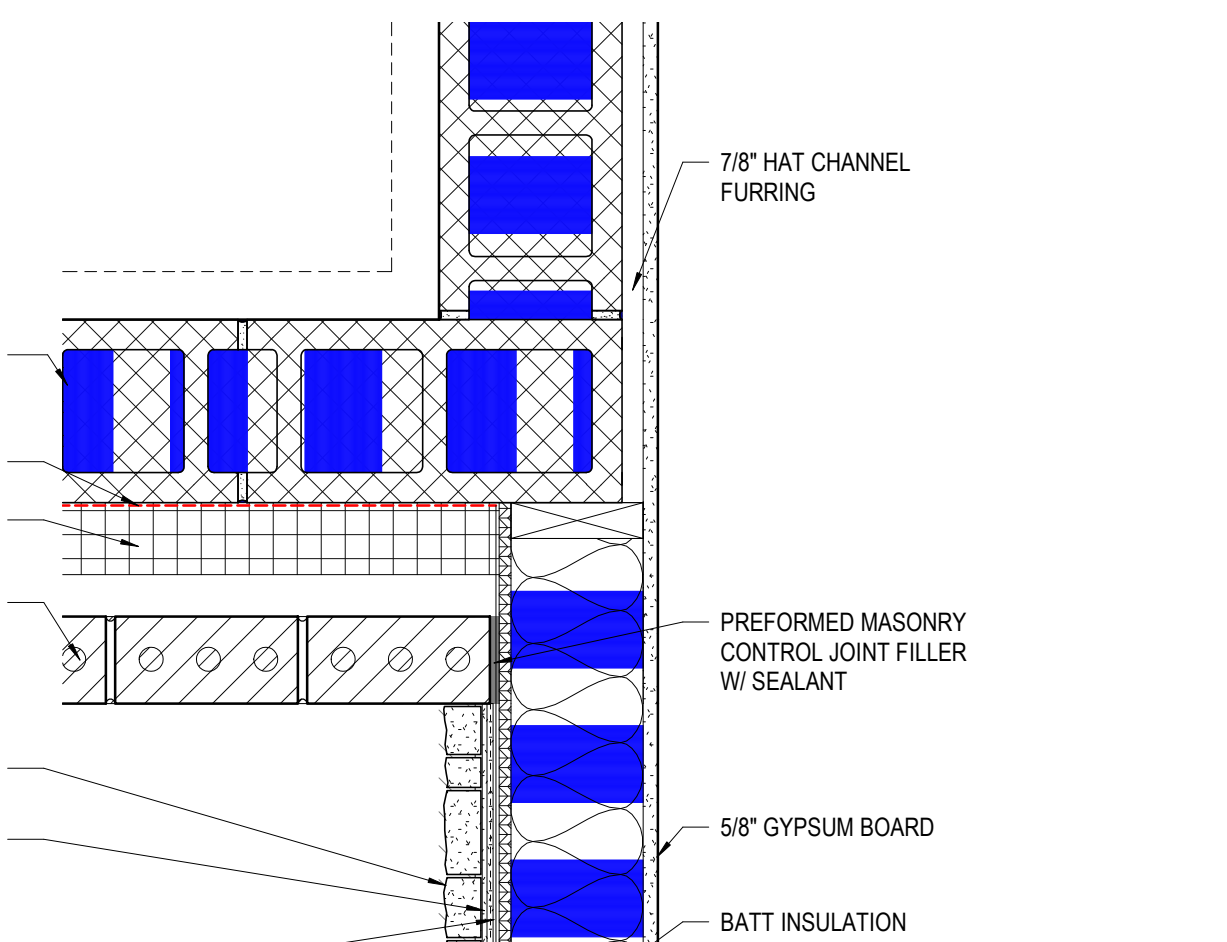
**18 ENLARGED PLAN** CORNER CONDITION @ ROOF  
1 1/2" = 1'-0" REF: 10 / A601



**9 ENLARGED PLAN** FIREPLACE  
1 1/2" = 1'-0" REF: 1 / A101A

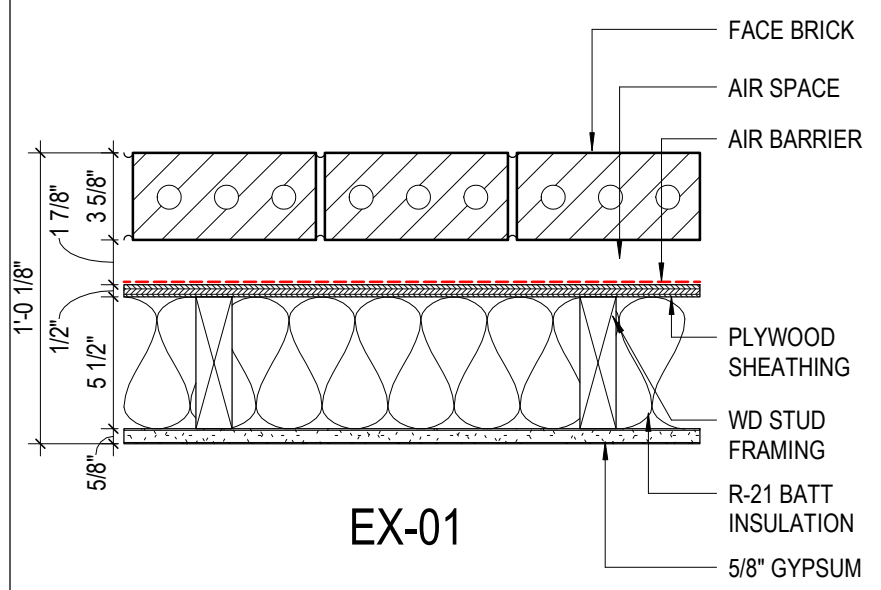


**5 ENLARGED PLAN** STONE TO SIDING TRANSITION @ WELLNESS  
1 1/2" = 1'-0" REF: 1 / A101A

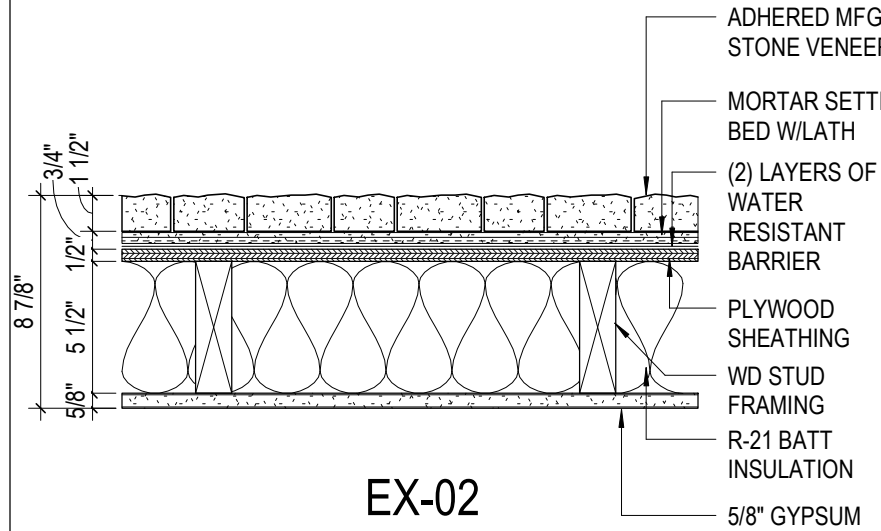


**1 ENLARGED PLAN** BRICK TO STONE TRANSITION  
1 1/2" = 1'-0" REF: 1 / A101A

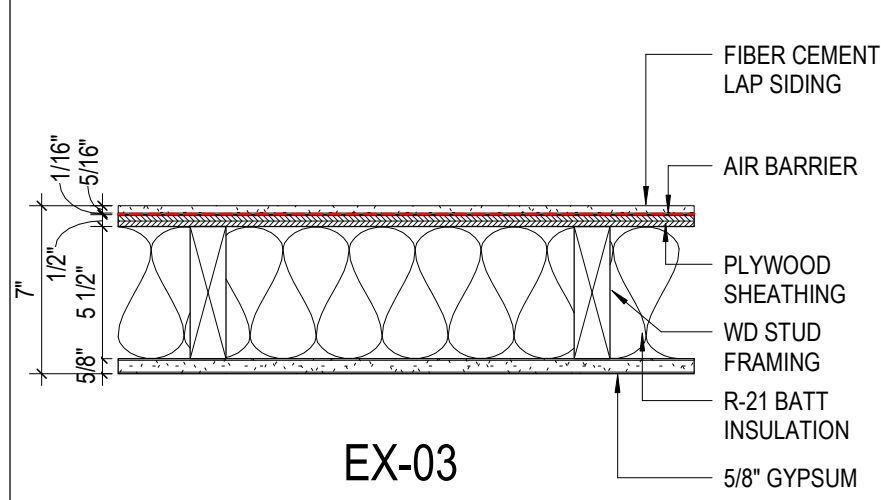
## WALL TYPES



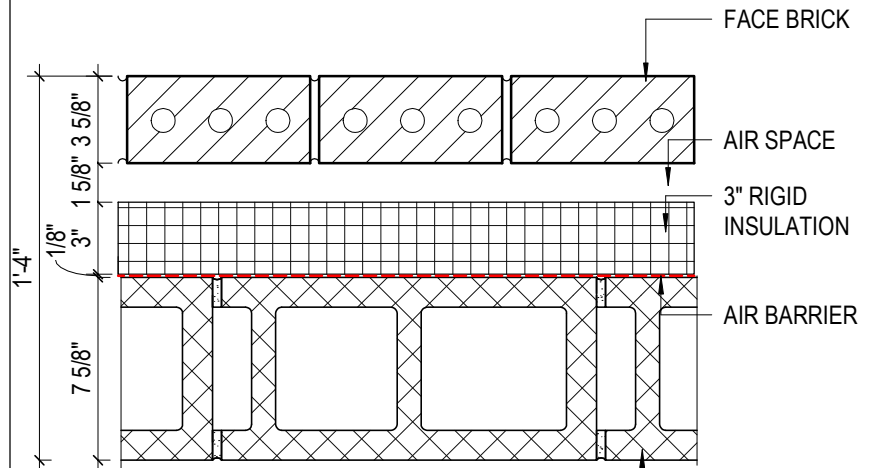
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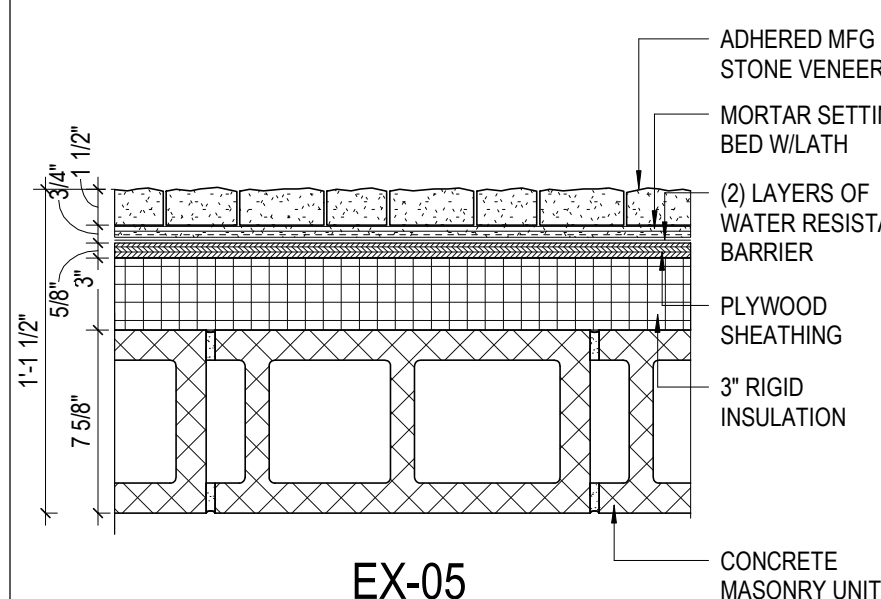
EX-02



EX-03



EX-04



EX-05

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
COLUMBUS METROPOLITAN HOUSING AUTHORITY  
1000 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

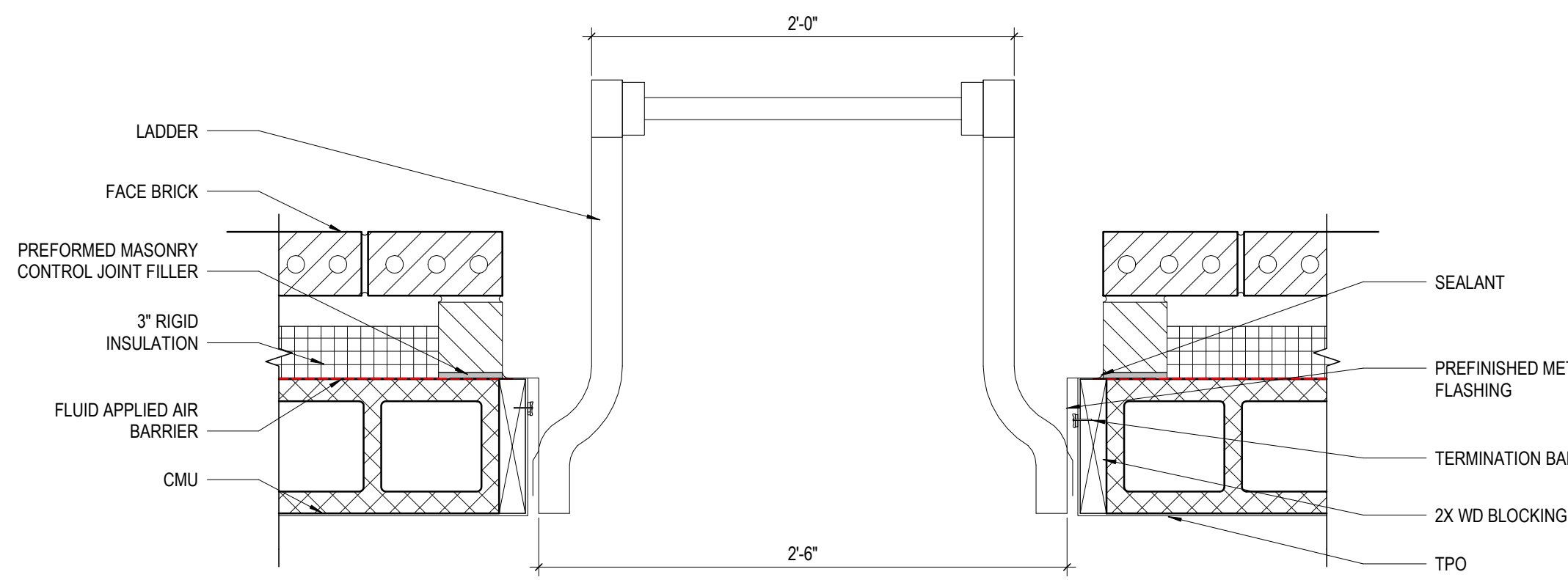
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**PLAN DETAILS**

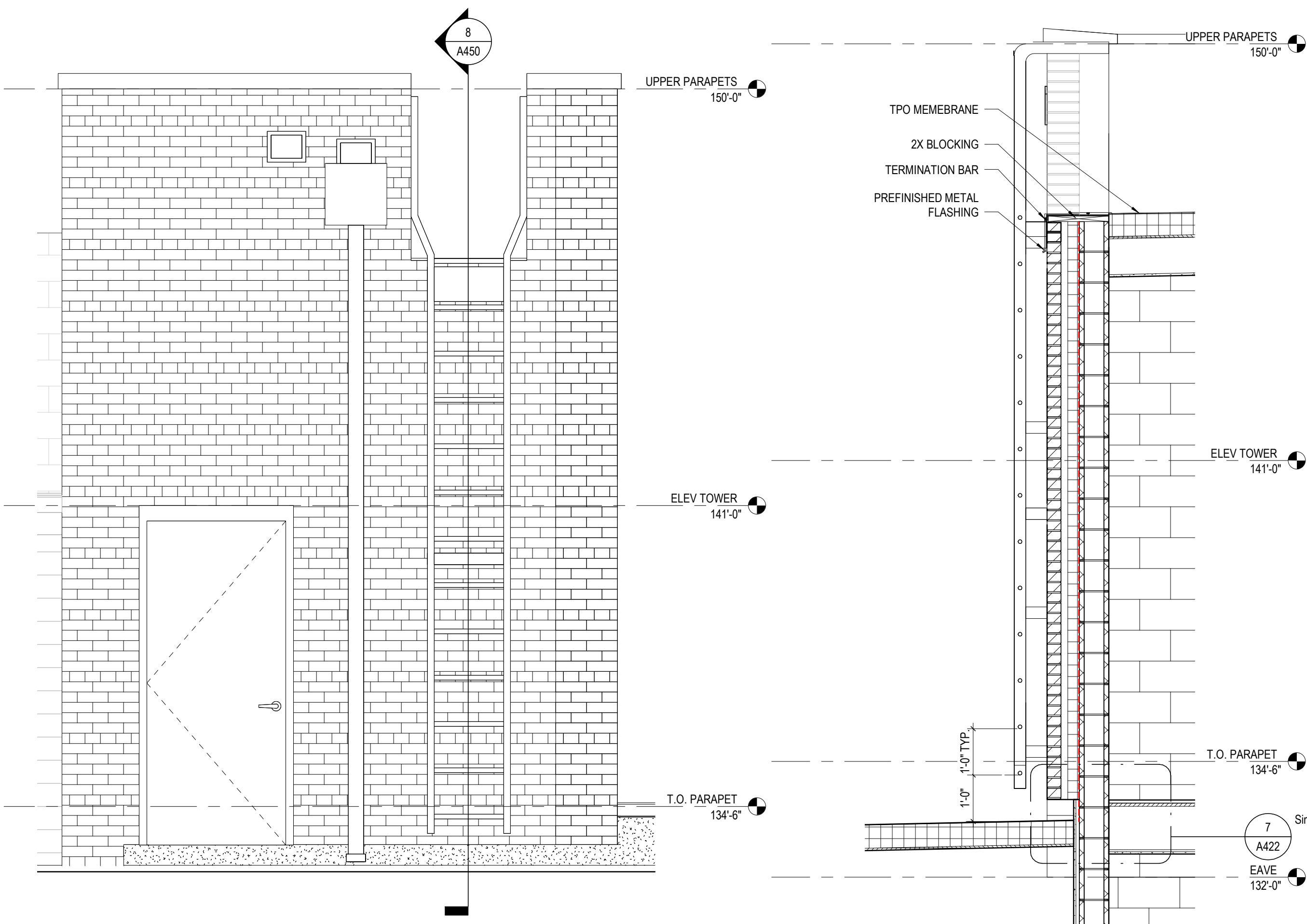
STATE OF OHIO  
JAY W. BOONE  
REGISTERED ARCHITECT  
10740

06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker  
#22172.01  
**A440**  
PERMIT & BID SET



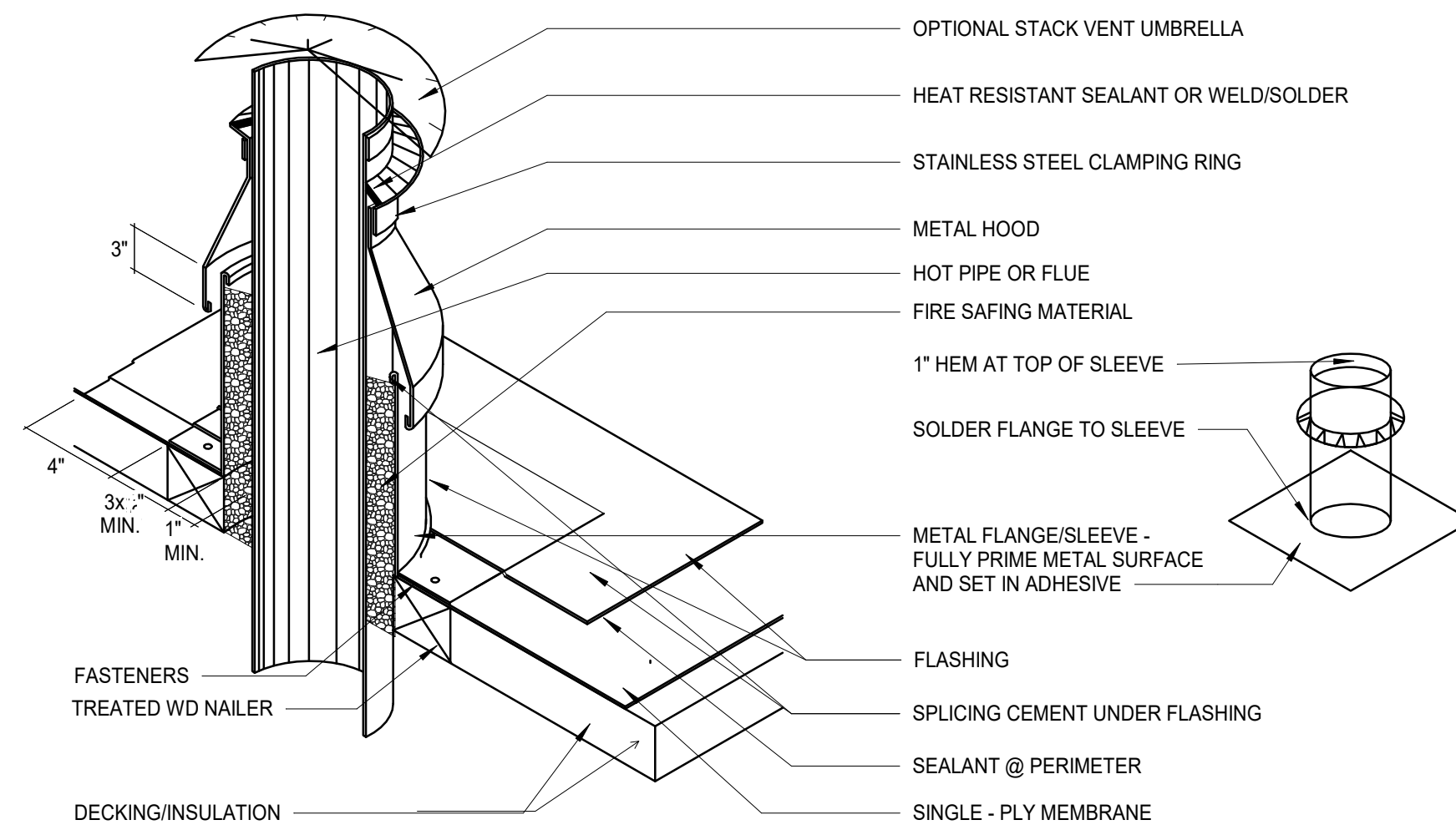


**9 ENLARGED PLAN** ROOF ACCESS  
1 1/2" = 1'-0"

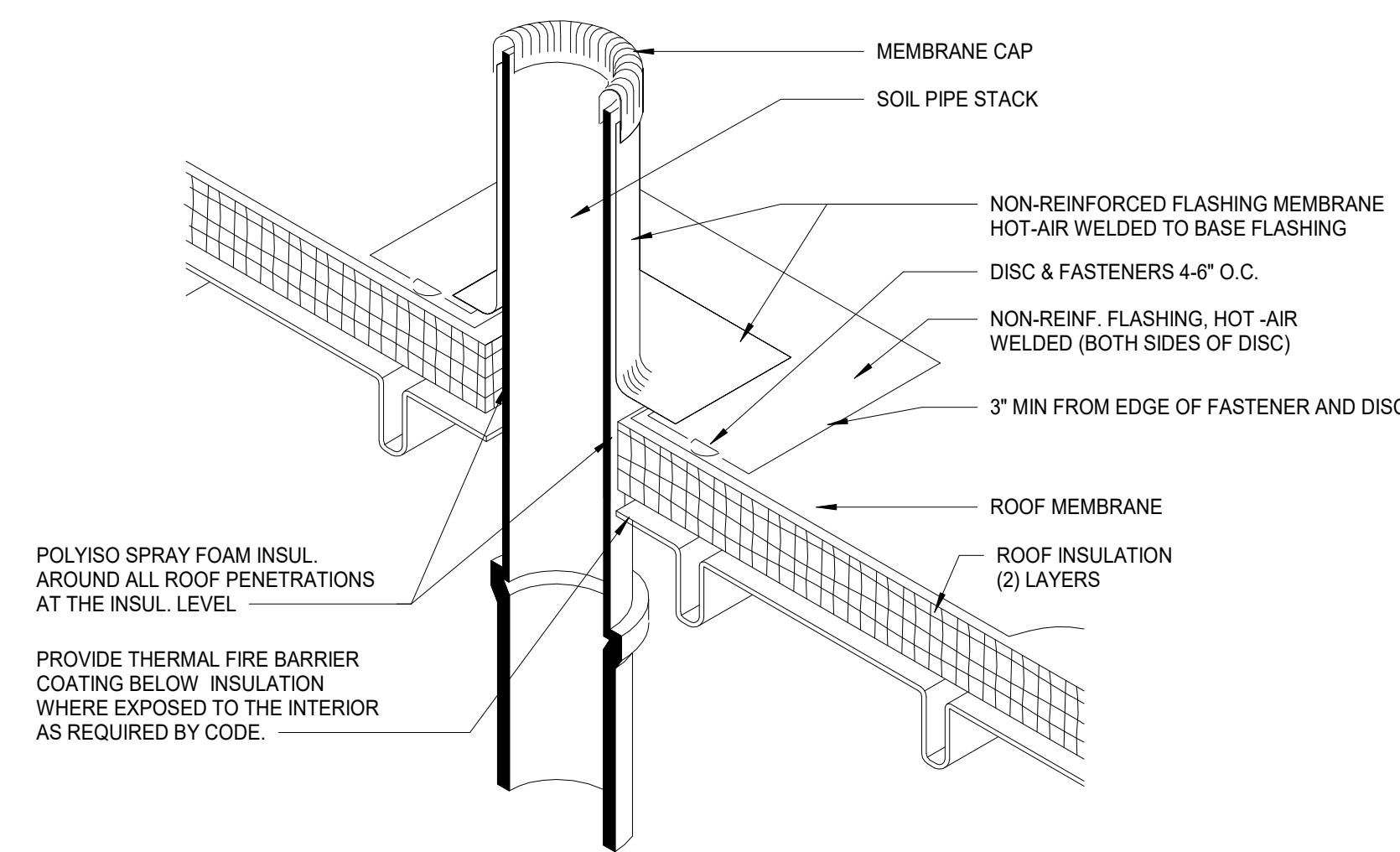


**7 ELEVATION** LADDER  
1/2" = 1'-0" REF: 1 / A1.4

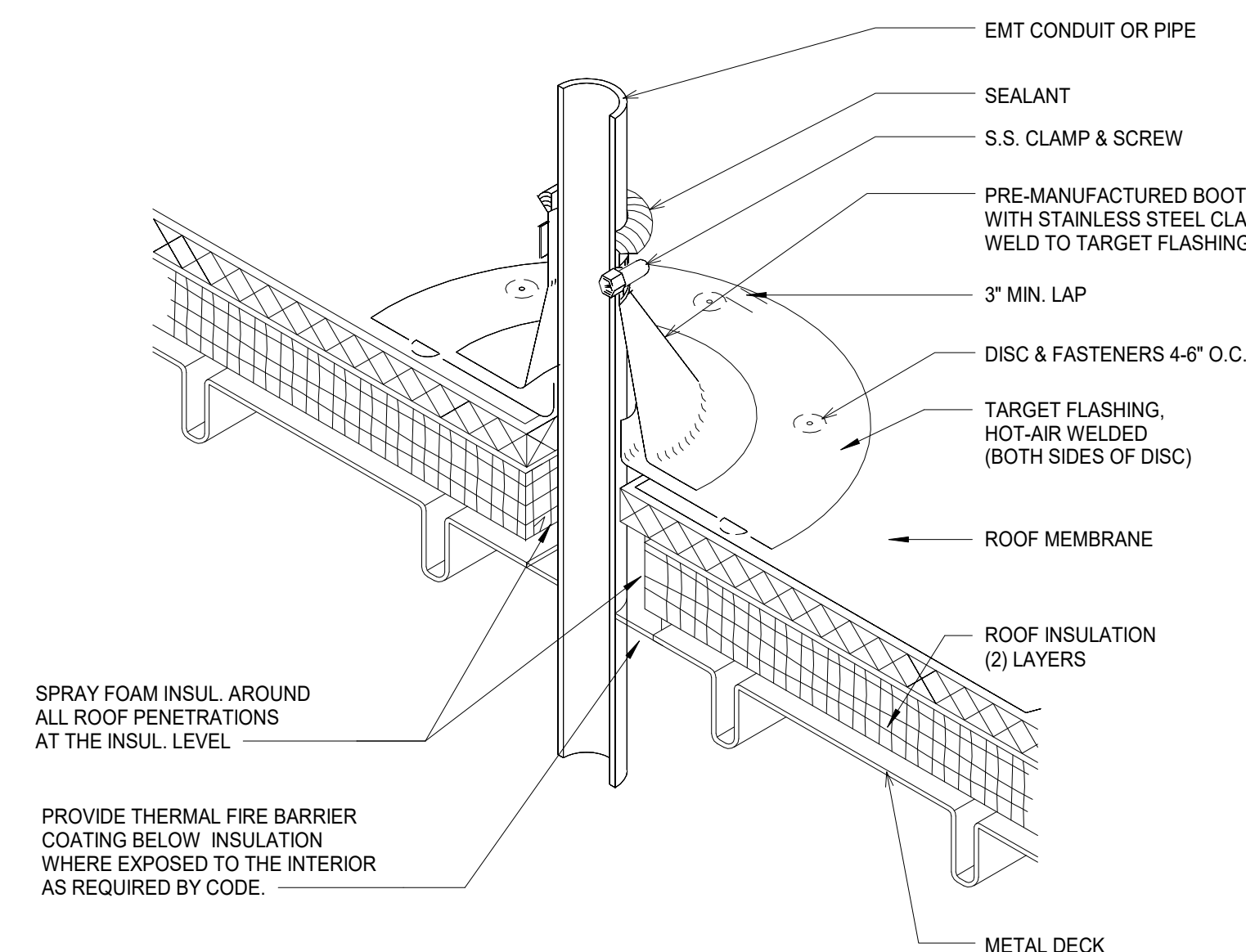
**8 SECTION** ROOF ACCESS LADDER SECTION  
1/2" = 1'-0" REF: 1 / A1.4



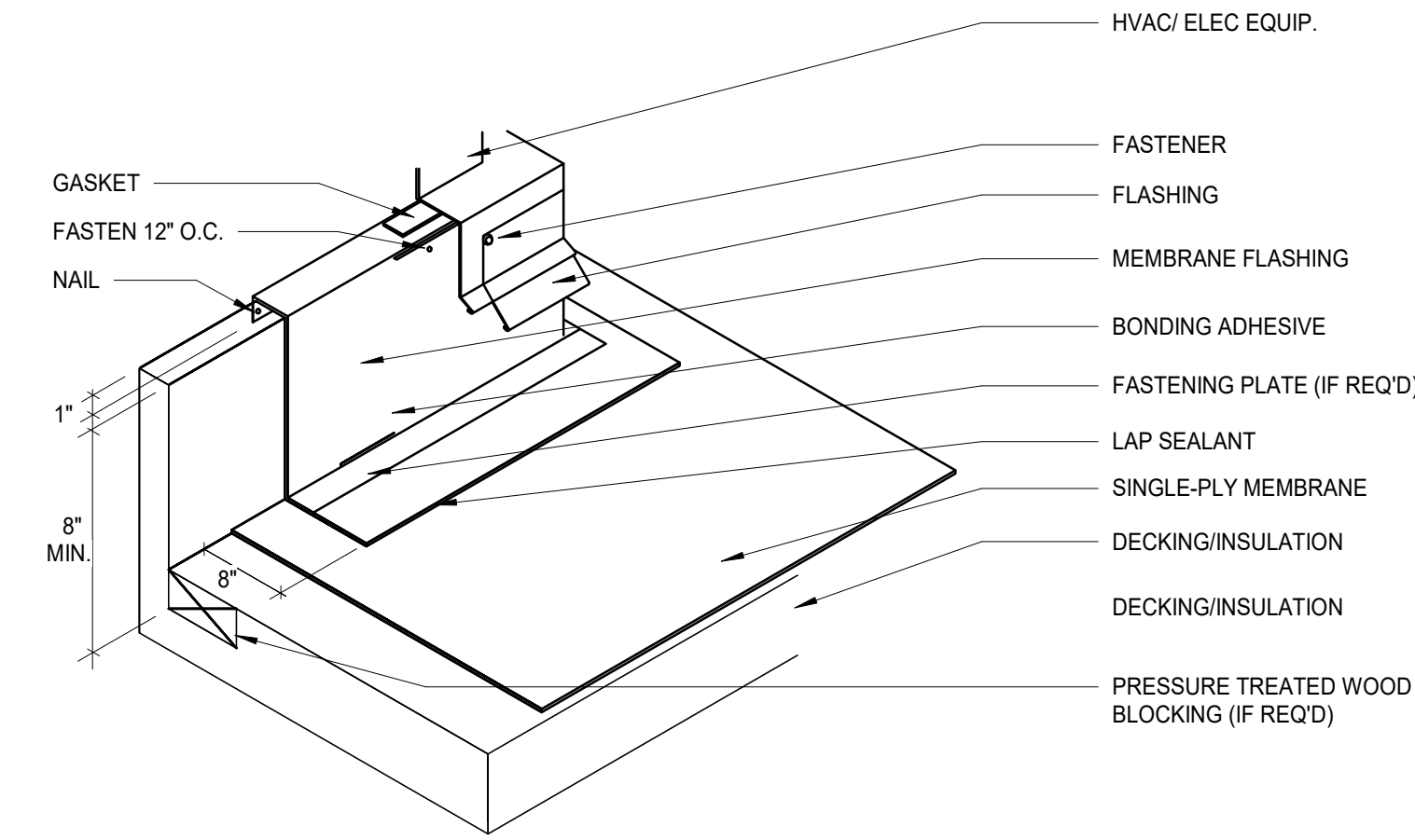
**6 DETAIL** HOT PIPE - MEMBRANE ROOFING  
N.T.S.



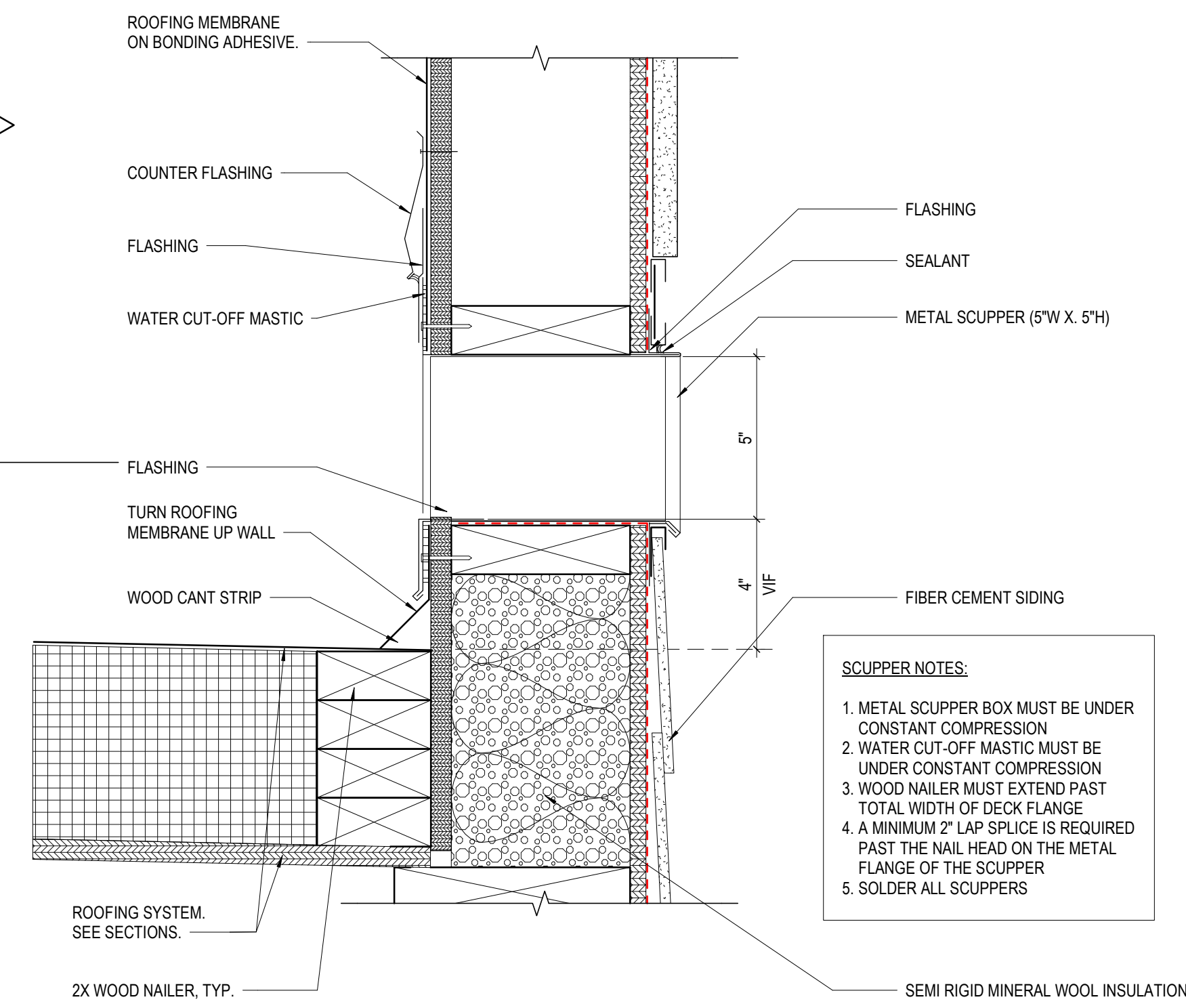
**5 DETAIL** VENT PIPE  
12" = 1'-0"



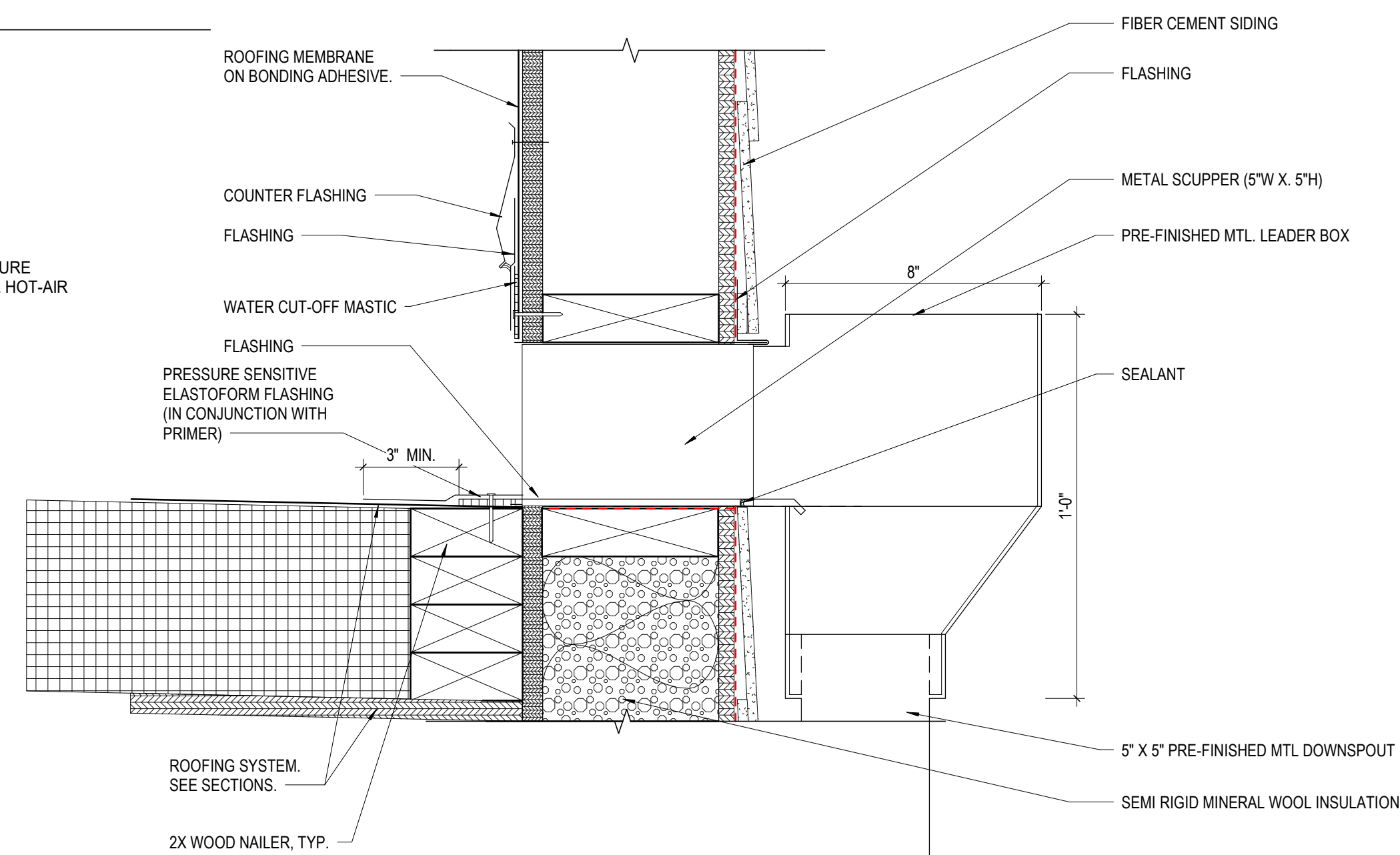
**4 DETAIL** SMALL PIPE PENETRATION  
12" = 1'-0"



**3 DETAIL** DETAIL - HVAC/ELEC CURB - MEMBRANE ROOFING  
N.T.S.



**2 DETAIL** OVERFLOW  
3" = 1'-0"



**1 DETAIL** PRIMARY SCUPPER & COLLECTION BOX  
3" = 1'-0"

**SCUPPER NOTES:**  
1. METAL SCUPPER BOX MUST BE UNDER CONSTANT COMPRESSION  
2. WATER CUT-OFF MASTIC MUST BE UNDER CONSTANT COMPRESSION  
3. WOOD NAILER MUST EXTEND PAST TOTAL WIDTH OF DECK FLANGE  
4. A MINIMUM 2" LAP SPlice IS REQUIRED PAST THE NAIL HEAD ON THE METAL FLANGE OF THE SCUPPER  
5. SOLDER ALL SCUPPERS

#	DATE	CHANGE DESCRIPTION




**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

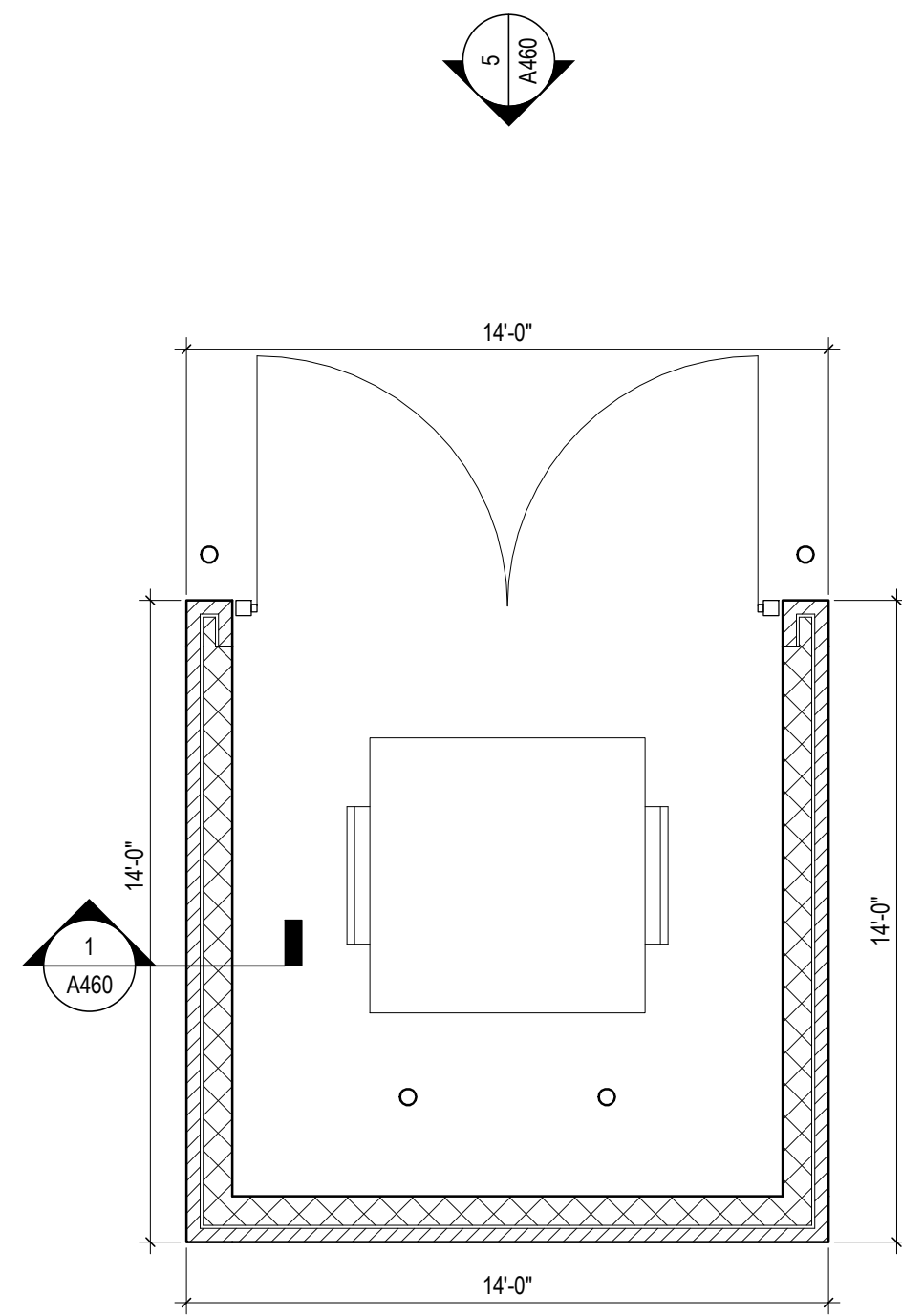
**ROOF DETAILS**



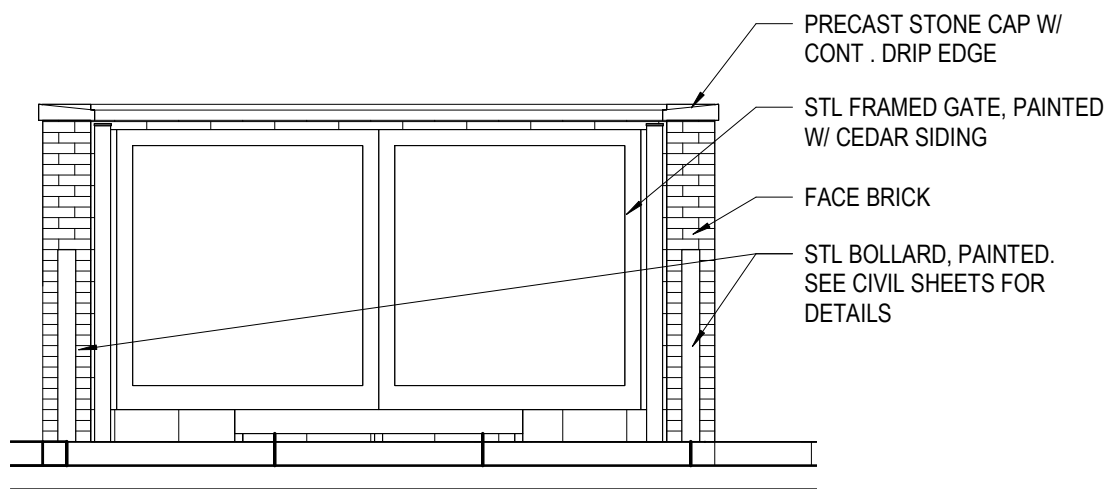
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A450**  
PERMIT & BID SET

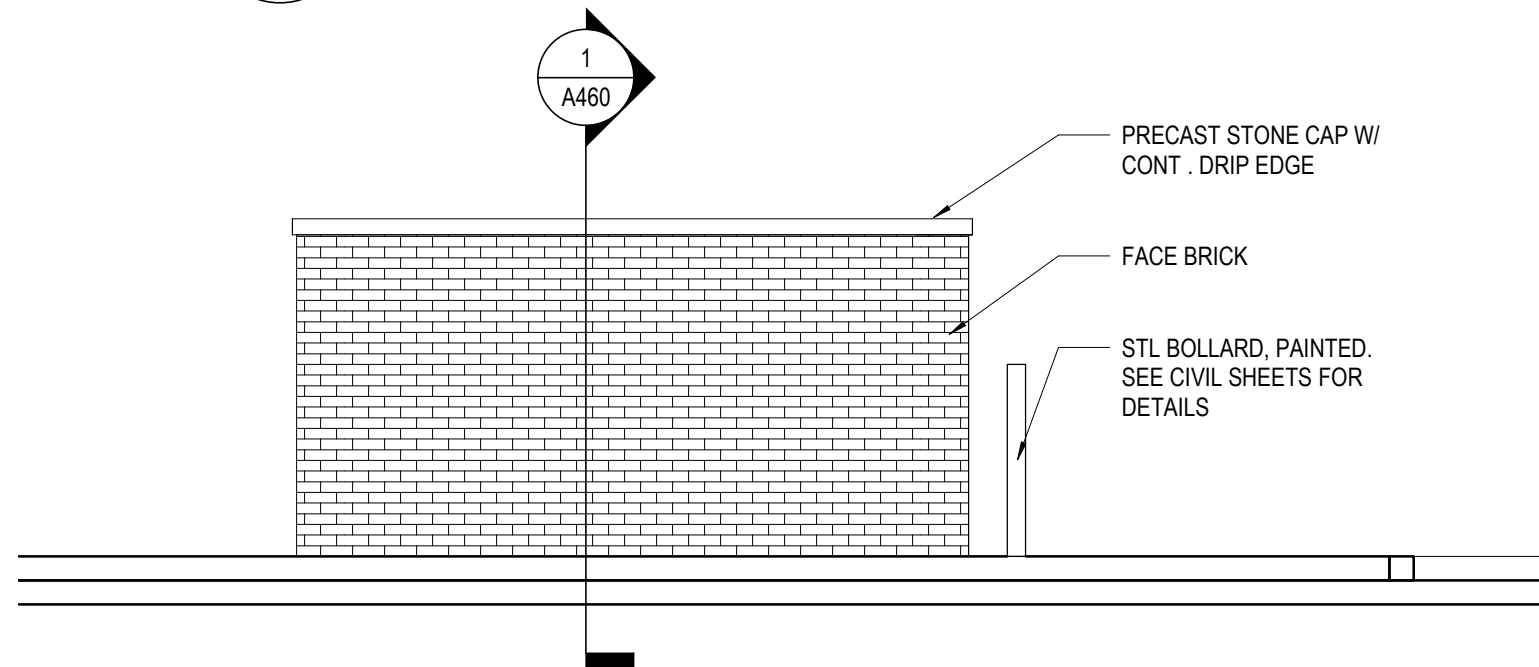




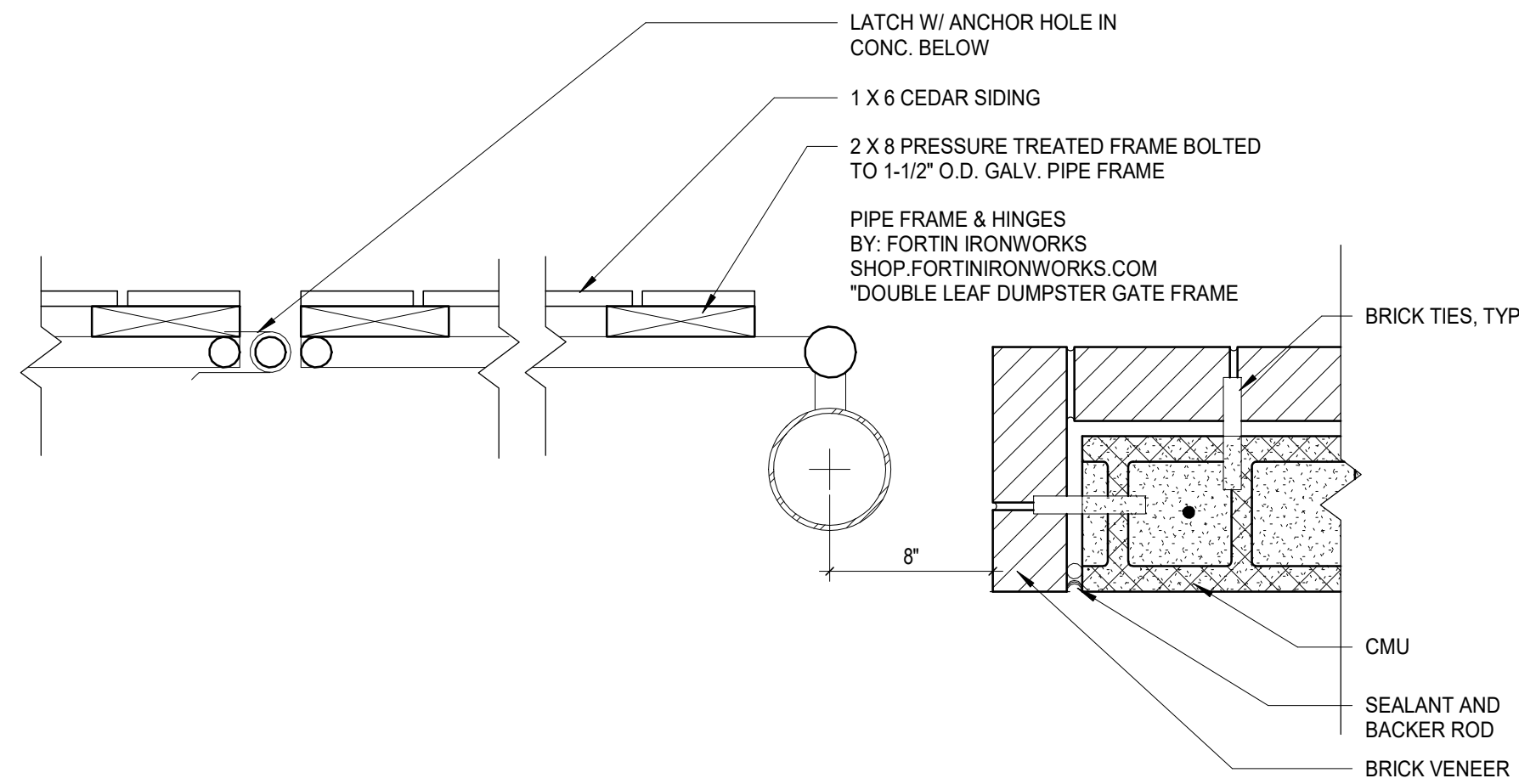
**6 PLAN** DUMPSTER PLAN  
1/4" = 1'-0"



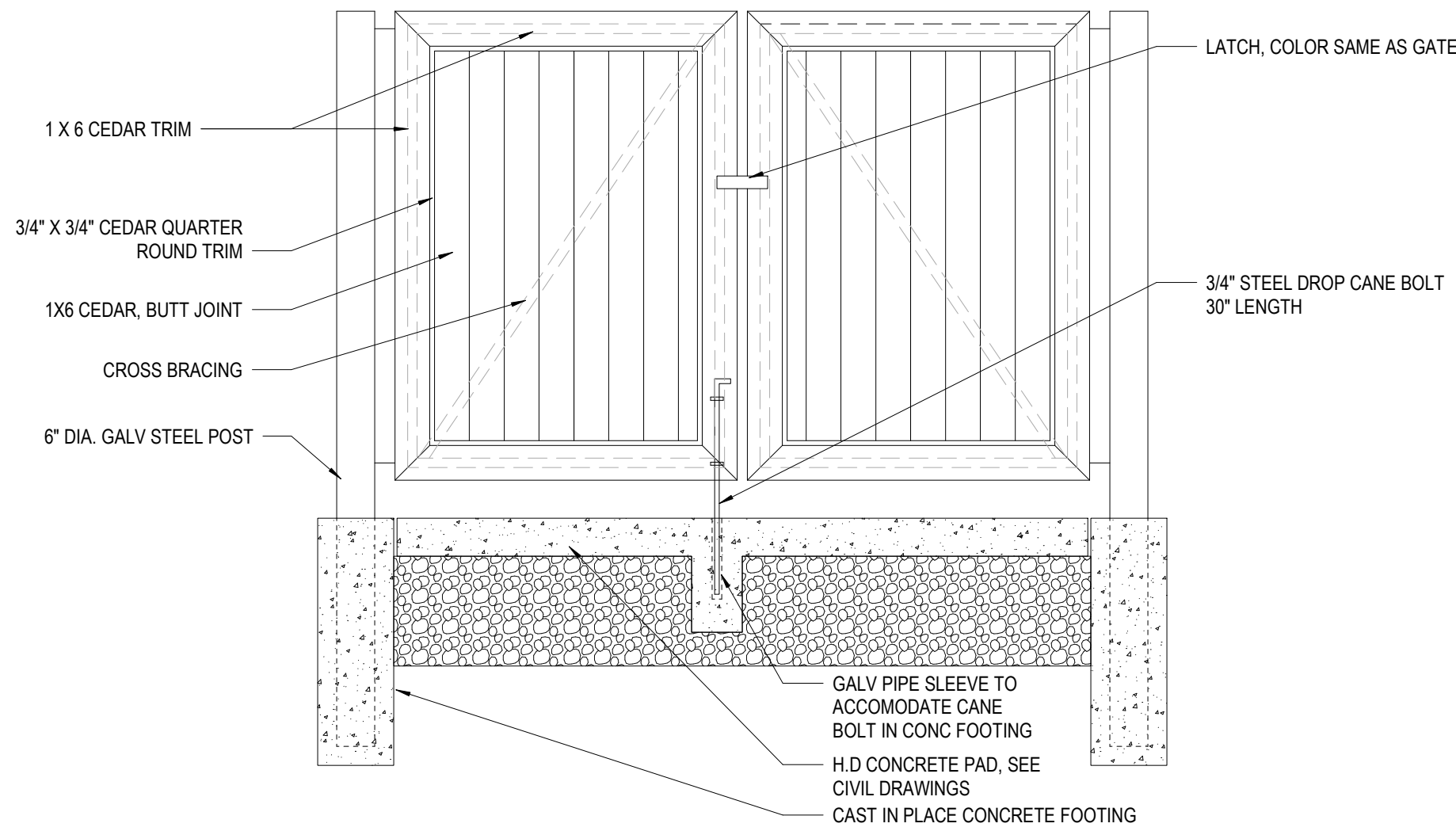
**5 ELEVATION** DUMPSTER ENCLOSURE - NORTH ELEVATION  
1/4" = 1'-0" REF: 1 / A1.1



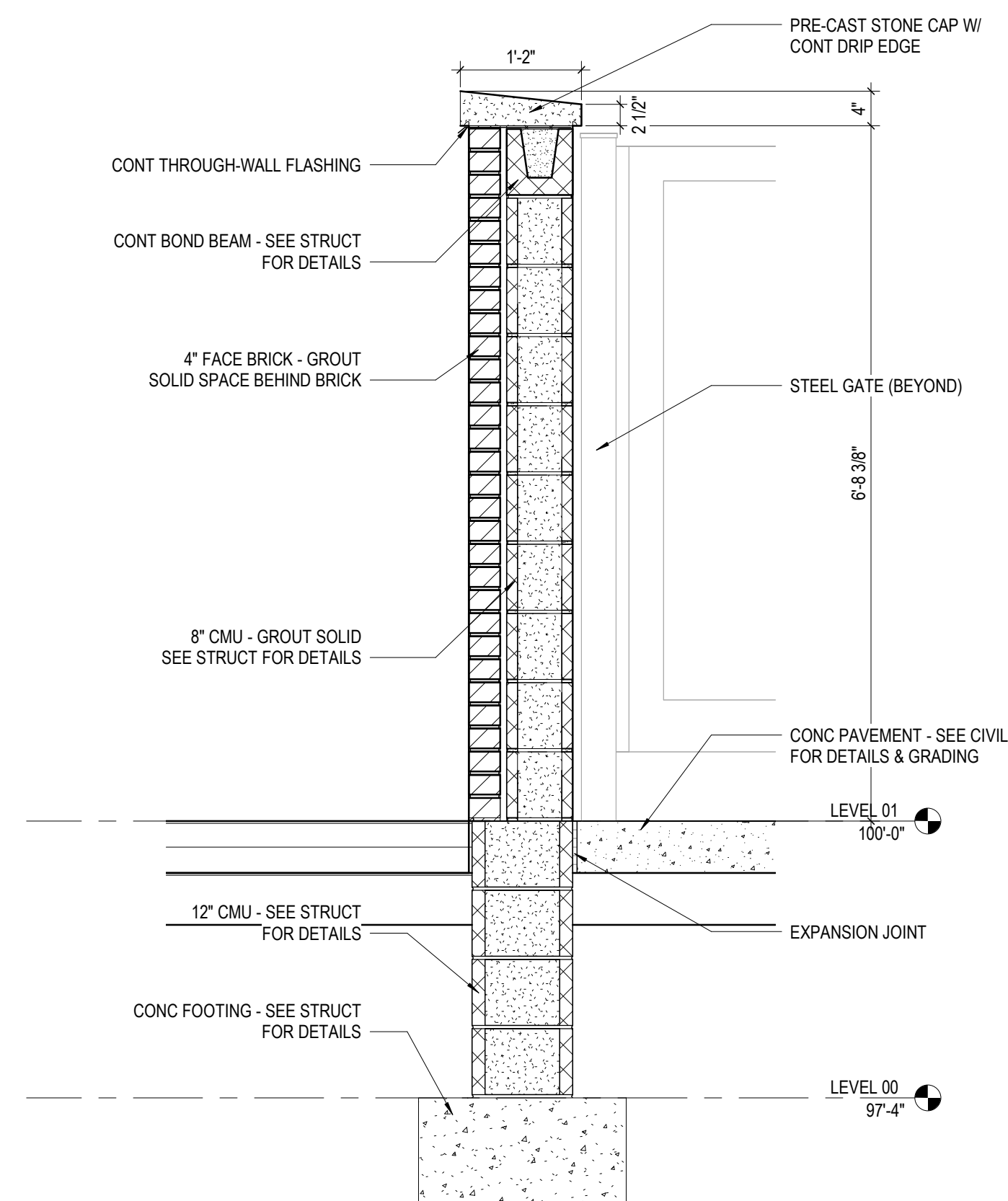
**4 ELEVATION** DUMPSTER ENCLOSURE - WEST ELEVATION  
1/4" = 1'-0" REF: 1 / A1.1



**3 DETAIL** DUMPSTER GATE HINGE  
1 1/2" = 1'-0"



**2 ELEVATION** DUMPSTER GATE  
1/2" = 1'-0"




**1 DUMPSTER ENCLOSURE**  
3/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION



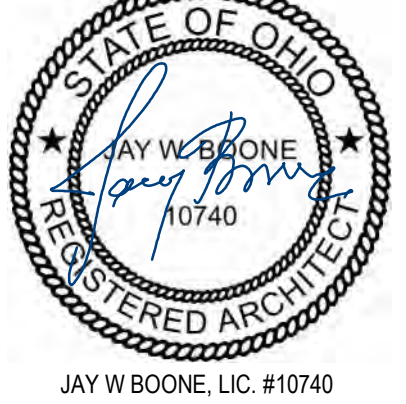
**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



**300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215**  
  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

## SITE & WALL DETAILS



06/08/2023

DRAWN BY: Author CHECKED BY: Checker

#22172.01

**A460**

PERMIT & BID SET

JAY W BOONE, LIC. #10740  
EXP. DATE: 12/31/2023











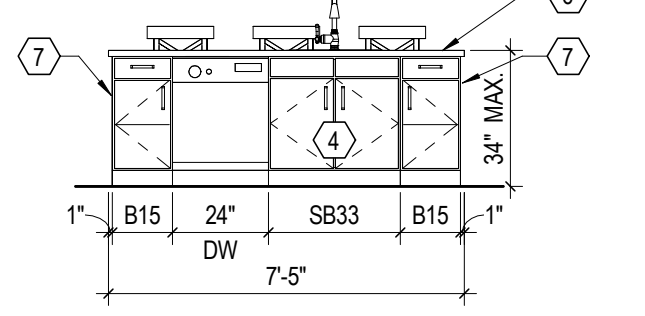
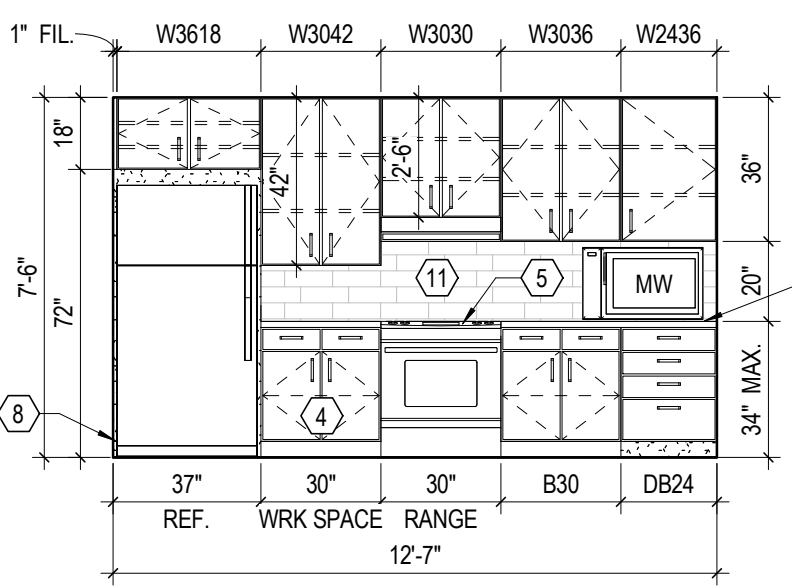
DOOR SCHEDULE UNITS													
DOOR NUMBER	DOOR TYPE	DOOR		FRAME		FIRE RATING	HOW SET	DETAILS - SHEET A710, A711 AND A712			REMARKS		
		WIDTH	HEIGHT	MATERIAL	ELEV			HEAD	JAMB	SILL			
A1	ENTRY	3'-0"	7'-0"	ID	A	HM	1	20 MINUTES	15	14/A712	13/A712	REFER DETAILS BA820 AND 9/A820	
B1	BEDROOM	3'-0"	7'-0"	ID	A	WD	1	17	14/A712	17/A712			
B1R	BEDROOM	3'-0"	7'-0"	ID	A	WD	1	17	14/A712	13/A712	DOOR IN RATED WALL		
B2	BATHROOM	3'-0"	7'-0"	ID	A	WD	1	17	8/A712	17/A712			
B3	BATHROOM	3'-2"	7'-0"	ID	A	WD	1	24	18/A712	17/A712	POCKET DOOR		
C1	CLOSET	2'-4"	7'-0"	ID	A	WD	1	19	8/A712	17/A712			
C2	CLOSET	2'-4"	7'-0"	ID	A	WD	1	19	8/A712	17/A712			
C3	CLOSET	3'-0"	7'-0"	ID	A	WD	1	19	8/A712	17/A712			
C5	CLOSET	5'-0"	7'-0"	ID	AA	WD	3	16	8/A712	17/A712			
C6	CLOSET	5'-0"	7'-0"	ID	AA	WD	3	16	8/A712	17/A712			
L1	LAUNDRY	6'-0"	7'-0"	ID	AA	WD	3	16	8/A712	17/A712			
L1R	LAUNDRY	6'-0"	7'-0"	ID	AA	WD	3	16	14/A712	13/A712	DOOR IN RATED WALL		
U1	UTILITY	3'-0"	8'-0"	ID	H	WD	1	19	8/A712	17/A712			
U2	UTILITY	6'-0"	8'-0"	ID	HH	WD	3	16	8/A712	17/A712			
U2R	UTILITY	6'-0"	8'-0"	ID	HH	WD	3	16	14/A712	13/A712	DOOR IN RATED WALL		

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- PROVIDE LEVER-STYLE DOOR HARDWARE ON ALL INTERIOR DOORS.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)

NOTE: INSTALL MOISTURE RESISTANT PAPERLESS GYPSUM BOARD ON ALL WALLS IN EACH BATHROOM AND TOILET ROOM, AT ALL OTHER WATER SOURCE LOCATIONS. PROVIDE MOISTURE RESISTANT PAPERLESS GYPSUM BOARD ON ALL VERTICAL AND HORIZONTAL SURFACES THAT ARE WITHIN FOUR FEET OF ANY WATER SOURCE WHERE THE DRYWALL CAN BE SPLASHED, INCLUDING BUT NOT LIMITED TO THE KITCHEN SINK, LAUNDRY ROOMS, UTILITY / MECH CLOSETS, ETC.

## TRUSS OPENING DIAGRAM AT UNITS

COORDINATE SIZE AND LOCATION OF OPENING WITH MECHANICAL



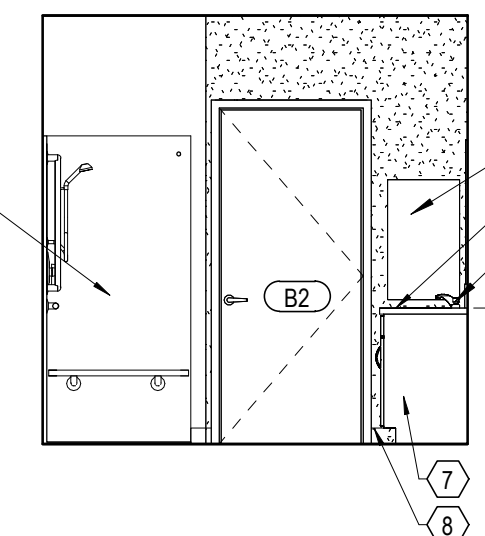
**3 ELEVATION** KITCHEN 2-BED (TYPE A)  
1/4" = 1'-0" REF: 1 / A503

**4 ELEVATION** KITCHEN 2-BED (TYPE A) - ISLAND  
1/4" = 1'-0" REF: 1 / A503

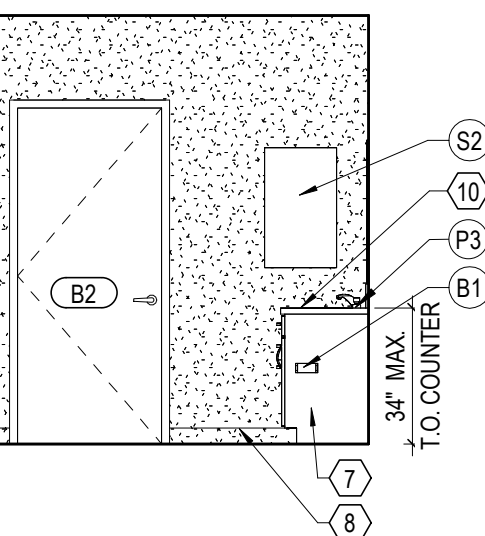
## TYPICAL RESIDENTIAL UNIT FINISH SCHEDULE

ROOM NAME	FLOOR		WALLS		GENERAL REMARKS	KEYED REMARKS
	FINISH	COLOR	FINISH	COLOR		
COAT	LV	1	PT	1	APPLIES TO COAT CLOSET	1
KITCHEN	LV	1	PT / CW	1 / 1	CW@ BACKSPLASH	3, 4
LIVING	LV	1	PT	1		
BEDROOM	LV	1	PT	1		
BATH / ACC. BATH	SV	1	PT	1		5
LAUNDRY	LV	1	PT	1		
UTILITY	LV or SV	1	PT	1		2, 6

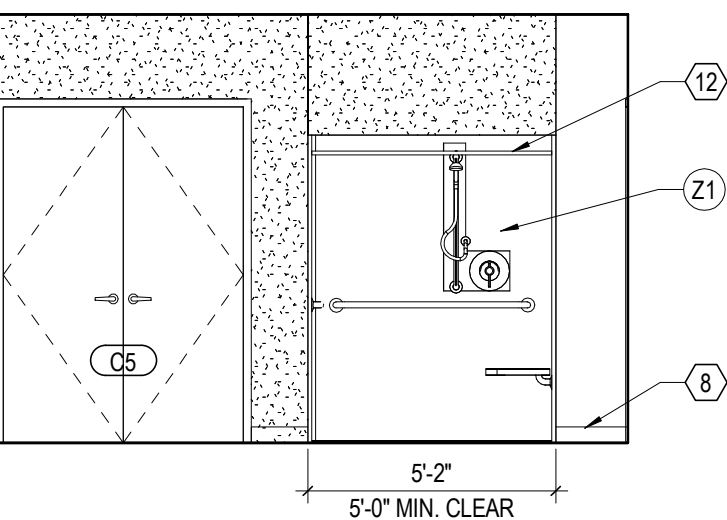
- GENERAL NOTES:
- REFER TO "FINISH LEGEND" A900 FOR MATERIAL AND COLOR INFORMATION.
  - ALL UNIT INTERIOR DOORS AND DOOR FRAMES TO BE PAINTED PT2 IN SEMI-GLOSS.
  - ALL WALL BASE WITHIN RESIDENTIAL UNITS TO BE WD1 AND TO BE PAINTED PT2 - EXCEPT UNIT BATHROOM TO BE RB1. WINDOW AND DOOR OPENINGS TO RECEIVE WOOD CASINGS. WINDOWS TO RECEIVE CULTURED MARBLE SILLS.
  - KITCHEN BACKSPLASH TO BE CW1.
  - CEILINGS TO BE PAINTED PT7.
  - CONTINUE FLOOR FINISH INTO KNEE SPACE OF REMOVABLE CABINETS. PAINT BACK WALL. INSTALL WALL BASE.
  - ALL EXTERIOR WINDOWS TO RECEIVE MINI-BLINDS WITH HIDDEN CORDS AS SPECIFIED IN THE PROJECT MANUAL.
  - KITCHEN CABINETS TO BE SMART CABINERY / SQUIRE PROFILE IN FINISH SILVERGRASS.
- KEYED REMARKS:
- COAT ROD AND SHELF SPAN FULL WIDTH OF CLOSET.
  - WIRE SHELVING: TYPE A OR B TO SPAN FULL WIDTH OF CLOSET.
  - UNIT KITCHEN COUNTERTOP TO BE PLAM (COLOR TBD).
  - TYPE A KITCHEN TO HAVE A 3/4" THICK SQUARE EDGE BACKSPLASH LENGTH OF BASE CABINERY. RECEPTACLES TO BE MOUNTED HORIZONTALLY IN THE BACKSPLASH.
  - BATH VANITY COUNTERTOP TO BE CULTURED MARBLE.
  - FLOOR FINISH TO MATCH FLOOR FINISH IN ADJACENT ROOM.



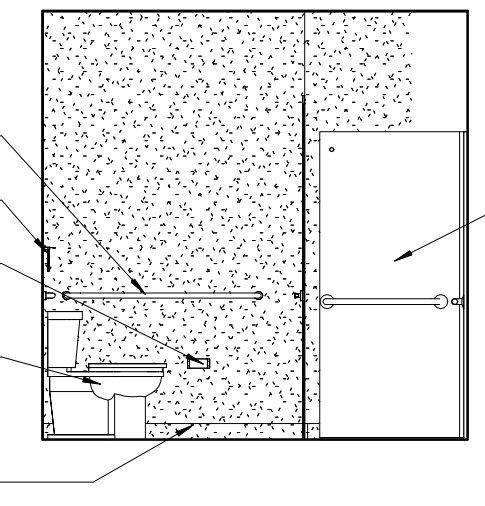
**12 ELEVATION** ACC. BATH 2-BED (TYPE A) - DOOR WALL  
1/4" = 1'-0" REF: 1 / A503



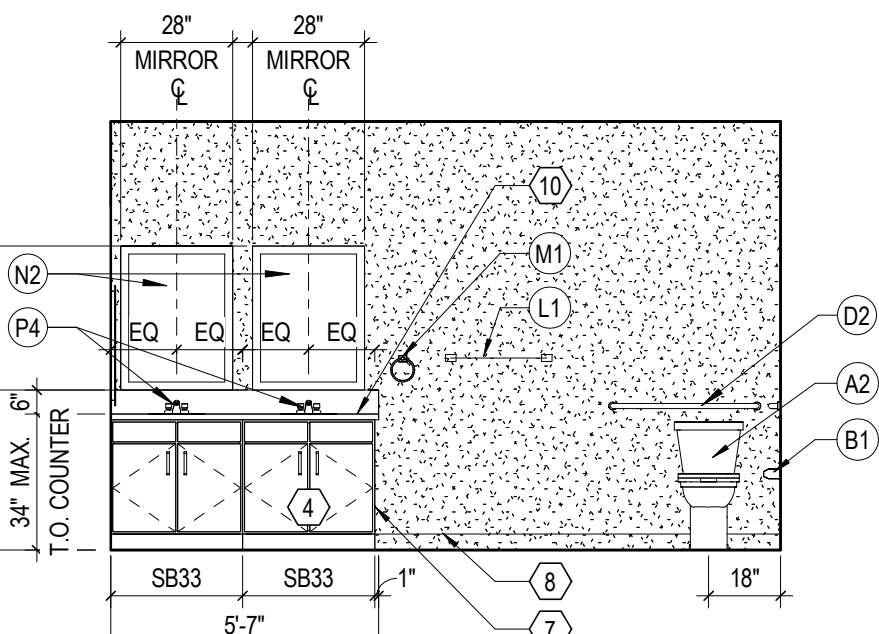
**8 ELEVATION** BATH 2-BED (TYPE A) - DOOR WALL  
1/4" = 1'-0" REF: 1 / A503



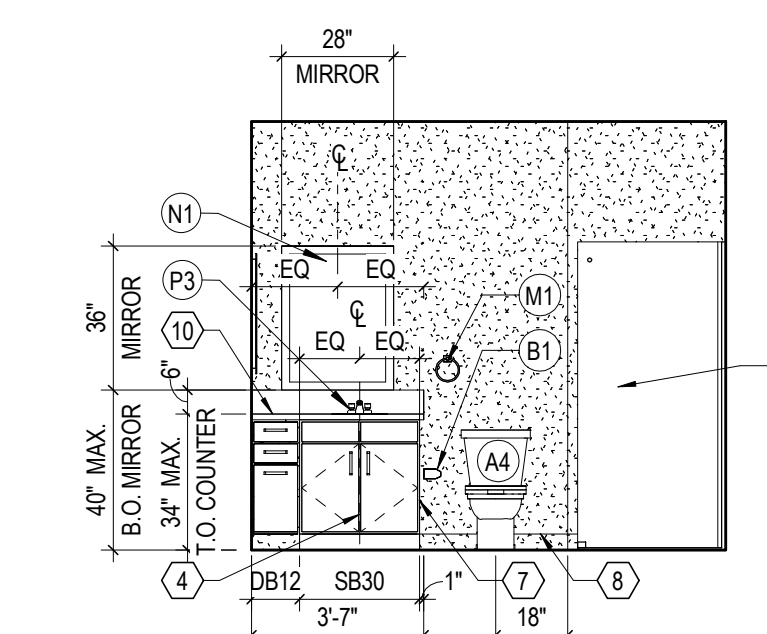
**11 ELEVATION** ACC. BATH 2-BED (TYPE A) - SHOWER WALL  
1/4" = 1'-0" REF: 1 / A503



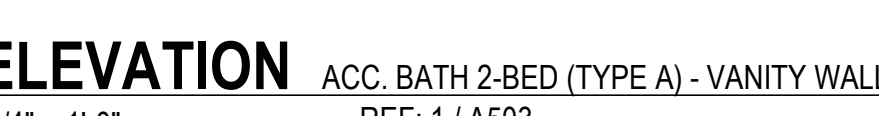
**7 ELEVATION** BATH 2-BED (TYPE A) - SIDE WALL  
1/4" = 1'-0" REF: 1 / A503



**10 ELEVATION** ACC. BATH 2-BED (TYPE A) - END WALL  
1/4" = 1'-0" REF: 1 / A503

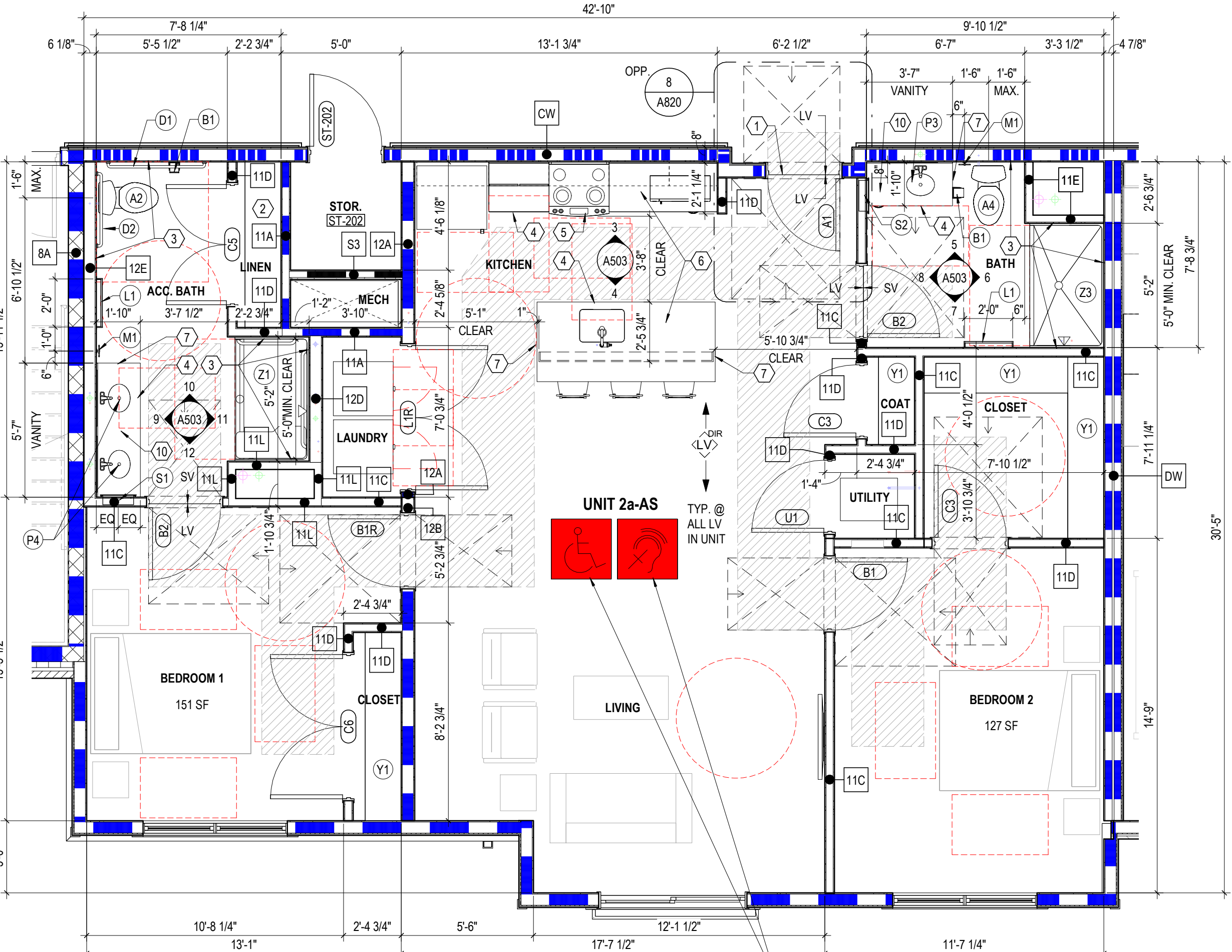


**6 ELEVATION** BATH 2-BED (TYPE A) - SHOWER WALL  
1/4" = 1'-0" REF: 1 / A503



**5 ELEVATION** BATH 2-BED (TYPE A) - VANITY WALL  
1/4" = 1'-0" REF: 1 / A503

**2 RCP** ENLARGED UNIT 2a-AS (2-BED ANSI TYPE A)  
1/4" = 1'-0"



**1 PLAN** ENLARGED UNIT 2a-AS (2-BED ANSI TYPE A)  
1/4" = 1'-0"

## CODED NOTES - A820 / ELEV.

- SEE TYPICAL PROJECT DETAILS SHEETS A810 AND A820 FOR ADDITIONAL INFORMATION, INCLUDING ALL MOUNTING HEIGHT REQUIREMENTS.
- LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- ADJUSTABLE HEIGHT LINEN SHELF. SEE GENERAL NOTES.
- IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER LOCATIONS.
- REMOVABLE CABINET FRONT AND BASE. MATCH ADJACENT CABINERY. FLOOR FINISH TO EXTEND BELOW CABINERY. WALLS BEHIND AND SURROUNDING THE CABINERY TO BE FINISHED.
- RANGE WITH FRONT-MOUNTED CONTROLS AT TYPE A UNIT KITCHENS. PROVIDE SKIRT AS NEEDED TO MOUNT COOKTOP AT 34 INCHES A.F.F. TO MATCH ADJACENT COUNTERTOP HEIGHT.
- KITCHEN PLAM COUNTER WITH COUNTERTOP METAL SUPPORTS. TOP OF COUNTER AT 38 INCHES A.F.F. IN TYPE B UNIT KITCHENS AND 34 INCHES MAX A.F.F. AT TYPE A UNIT KITCHENS. IN TYPE A UNIT WORK AREAS, PROVIDE INTERMEDIATE SUPPORTS.
- FINISHED END PANEL. TYPICAL.
- WALL BASE. SEE FINISH SCHEDULE.
- LIGHT FIXTURES. SEE UNIT RCP PLAN. SEE ELECTRICAL DWGS.
- BATH: CULTURED MARBLE COUNTERTOPS WITH INTEGRAL BOWLS. TYPE A & B VANITY COUNTERS TO BE AT 34 INCHES MAX A.F.F. PROVIDE 6" HIGH BACKSPLASH AT TYPE A UNITS (OUTLETS MOUNTED HORIZONTALLY, IF ANY).
- SUBWAY TILE BACKSPLASH. REFER FINISH LEGEND.
- SHOWER CURTAIN ROD.

## LEGEND - UNIT PLAN

- 1 HOUR FIRE RATING - INCLUDING BUT NOT LIMITED TO UNIT DEMISING WALLS
- 1 HOUR FIRE RATING - CORRIDOR WALLS
- INTERIOR PARTITION
- SENSORY (HEARING / VISUALLY IMPAIRED) UNIT - SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP DRAWINGS FOR ADDITIONAL INFO.
- ANSI TYPE A UNIT - SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. UNITS TO ALL UNIT PLUMBING FIXTURES TO BE WATERSENSE-RATED. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- DIRECTION OF INSTALLATION OF LVT FLOORING. SEE FINISH SCHEDULE FOR ADDITIONAL INFO.
- DOOR TYPE
- REQUIRED 30"x48" CLEAR FLOOR SPACE - 48" SHALL BE CENTERED AT APPLIANCES AND SINKS
- UNOBSTRUCTED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS. MIN. 36" REQUIRED

## GENERAL NOTES - UNIT RCP

- PAINT DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE FOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
  - LIGHT FIXTURES SHOWN TO INDICATE PROPOSED FIXTURES AND GENERAL DESIGN INTENT.
  - FINISHED CEILING HEIGHTS ARE FROM TOP OF FINISH FLOOR, U.N.O.
  - COORDINATE LOCATION OF FIXTURES WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION DRAWINGS. ANY CONFLICT BETWEEN TRADES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
  - FACE OF BULKHEADS SHALL ALIGN WITH FACE OF ADJACENT WALLS TO WHICH BULKHEADS ARE PARALLEL, U.N.O. OR DIMENSIONED.
  - PAINT DUCTWORK INSIDE AIR GRILLES FLAT COLOR.
  - ALL GYPSUM BOARD SOFFITS AND CEILINGS TO BE PAINTED FLAT CEILING WHITE (U.N.O.).
  - CEILING GRIDS ARE CENTERED ON ROOM, U.N.O. OR DIMENSIONED.
  - ALL CEILING DEVICES TO BE CENTERED IN TILE, U.N.O.
  - WHERE EXIT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.
  - GYPSUM BOARD CEILINGS FRAMED TO THE UNDERSIDE OF WOOD TRUSSES SHALL BE INSTALLED TIGHT TO THE BOTTOM CHORD WITH A 1/2 INCH RESILIENT CHANNEL. CEILINGS BELOW 2X WOOD FRAMING SHALL MATCH THE HEIGHT OF THE CEILINGS BELOW THE WOOD TRUSSES UNLESS NOTED OTHERWISE. ALL CEILING ASSEMBLIES AND WALLS MUST MAINTAIN THE INTEGRITY OF THE FIRE RATED CEILING ASSEMBLIES.
  - SEE ELECTRICAL DRAWINGS FOR THE REQUIRED ELECTRICAL DEVICES. FIRST AND SECOND FLOOR REFLECTED CEILING PLANS SHOW GENERAL LOCATION OF CANS IN THE PUBLIC CORRIDORS.
  - CONCAVE RATED DRYWALL ABOVE ANY DROP CEILINGS AND SOFFITS. PROVIDE A RATED ACCESS PANEL AT ALL SMOKE DAMPER LOCATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT. PROVIDE ONE ACCESS PANEL PER FLOOR AT ALL SHAFT LOCATIONS. ACCESS PANEL TO BE ON THE PUBLIC CORRIDOR SIDE, ON OPEN / UNOCCUPIED SHADT ENCLOSURES. PROVIDE ONE RATED ACCESS PANEL PER FLOOR FOR FUTURE INSTALLATION OF MECHANICAL SYSTEMS.
  - COORDINATE FINAL SLOTT LOCATION WITH FINAL CABINET LAYOUT.
- SEE OVERALL FLOOR PLANS FOR LOCATIONS OF ANSI TYPE A AND SENSORY UNITS. ALL ANSI TYPE A UNITS TO HAVE SENSORY UNIT FEATURES WITH REQUIRED AUDIBLE AND VISUAL ALARMS.

## CODED NOTES - UNIT RCP

- MOISTURE RESISTANT PAPERLESS GYPSUM BOARD SHALL BE USED FOR THE BATH CEILINGS ON THE 1ST AND 2ND FLOORS ONLY.

## LEGEND - UNIT RCP

- E1 EXPOSED STRUCTURE ABOVE
- G1 GYPSUM BOARD CEILING OR SOFFIT (RATED CEILING INSTALLED DIRECTLY TO STRUCTURE)
- G2 GYPSUM BOARD CEILING OR SOFFIT (ADDITIONAL LOWER CEILING)
- 2x2 SURFACE MOUNTED LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- SURFACE MOUNTED LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- SURFACE MOUNTED LIGHT FIXTURE (UNIT)
- PENDANT LIGHT FIXTURE
- SUSPENDED LINEAR LIGHT FIXTURE
- WALL MOUNTED VANITY LIGHT FIXTURE
- SUPPLY DIFFUSER
- LINEAR DIFFUSER
- EXHAUST/RETURN GRILLE
- ACCESS PANEL
- CEILING TAG WITH HEIGHT

NOTE: COORDINATE ARCHITECTURAL REFLECTED CEILING PLANS WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR NUMBER OF, AND LOCATIONS OF, AND TYPES OF FIXTURES AND GRILLES. NOT ALL ITEMS SHOWN ON LEGEND MAY BE PRESENT IN PROJECT.

## GEN. NOTES - UNIT PLANS

- DESIGNATIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- WALLS ARE 2X WOOD FRAMING U.N.O. SEE SHEET G003 FOR PARTITION INFO.
- EXTERIOR WALL CONDITIONS VARY. REFER TO OVERALL FLOOR PLAN SHEETS FOR EXTERIOR WALL AND WINDOW CONDITIONS.
- RESIDENTIAL UNITS: TYPE B DENOTES ANSI TYPE B AND TYPE A DENOTES ANSI TYPE A UNITS SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS REFERENCED ON THE CODE INFORMATION. THIS INCLUDES BUT IS NOT LIMITED TO ANSI A117.1-2009.
- ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM. CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND CRACKS.
- PROVIDE WOOD BLOCKING ON ALL RESIDENTIAL TYPE A AND TYPE B UNITS IN BATHS AND LOCATED ON "TYPICAL PROJECT DETAILS" SHEETS. SEE A100 SERIES AND A500 SERIES SHEETS FOR TYPE A & B UNIT LOCATIONS AND LAYOUTS. ALL UNITS TO RECEIVE BLOCKING FOR GRAB BARS (TYPE A UNITS) AND FUTURE GRAB BARS (TYPE B UNITS). SEE "TYPICAL PROJECT DETAILS" SHEETS ON A100 FOR LENGTHS AND LOCATIONS OF GRAB BARS.
- PROVIDE WOOD BLOCKING NOT SHOWN OR SHOWN AS REQUIRED TO MOUNT MILKWORK, MEP DEVICES AND ALL FIXTURES.
- ALL DOOR OPENINGS INTO LEASABLE OCCUPIED ROOMS IN RESIDENTIAL AND PUBLIC AREAS SHALL BE MINIMUM 32 INCHES CLEAR OR GREATER.
- COORDINATE TRUSS LAYOUT AND DESIGN WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT PRIOR TO FABRICATION. TRUSS SHOP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. PROVIDE COORDINATION DRAWING TO ARCHITECT. FRAMING CONTRACTOR SHALL COORDINATE TRUSS FRAMING OPENINGS AS REQUIRED TO ACCOMMODATE SANITARY LINES AND OTHER MEP EQUIPMENT / FIXTURES.
- INSTALL ACOUSTIC BATT INSULATION AT PARTITIONS WITH PLUMBING STACKS, DEMISING WALLS AND FLOOR / CEILING ASSEMBLIES.
- NOT USED.
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS MUST BE INSULATED TO PROTECT AGAINST CONTACT, INCLUDING COLD WATER SUPPLIES. PROVIDE SPRAY FOAM INSULATION AT DEMISING AND EXTERIOR WALLS AT LOCATIONS AROUND PLUMBING INSTALLATIONS. PROVIDE A VALANCE AT AREAS WITH EXPOSED SINK DRAINS. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR REQUIREMENTS.
- HORIZONTAL OFFSETS IN PLUMBING DRAIN PIPES: PROVIDE ACOUSTIC PIPE INSULATION. REFER TO PLUMBING DRAWINGS.
- ALL RESIDENTIAL UNITS TO RECEIVE A STANDARD SHOWER (TYPE B UNITS AND NON-ACCESSIBLE BATH IN TYPE A UNITS) OR ACCESSIBLE ROLL-IN SHOWER (ACCESSIBLE BATH IN TYPE A UNITS). BLOCKING FOR INSTALLATION OF GRAB BARS AND OTHER SHOWER FIXTURES TO BE FACTORY INSTALLED IN PREFABRICATED UNITS. WALL ROUGH FRAMING DIMENSION REQUIREMENTS MUST BE COORDINATED WITH SELECTED SHOWER UNIT. NOTE THAT THESE DIMENSIONS TEND TO VARY PER MANUFACTURER. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR LAYOUT OF SHOWER BLOCKING AND FIXTURES. SEE PLUMBING DRAWINGS FOR EXACT DIMENSIONS REQUIRED AND FIXTURE INFO.
- LAUNDRY ROOM DRYER VENTING LOCATIONS SHALL BE COORDINATED WITH ARCHITECT. ROUTING SHALL NOT EXCEED 35 FEET WITH ONLY ONE BEND. LABEL LENGTH OF ANY DRYER VENTING DUCT ON THE LAUNDRY ROOMS PER REQUIREMENT BY THE CITY OF COLUMBUS.
- PROVIDE LOOP PULLS ON ALL KITCHEN CASEWORK.
- RANGES IN TYPE A UNITS ARE DROP IN TYPE. SEE SPECIFICATIONS. PROVIDE CABINET BASE TO MOUNT THE APPLIANCE AS REQUIRED TO ALIGN RANGE RIM WITH TOP OF COUNTERTOP.
- ALL MEP OPERABLE CONTROLS, FIXTURES, OUTLETS AND ALL OTHER RESIDENTIAL, TOILET OR UNIT ACCESSORIES SHALL NOT BE MOUNTED LOWER THAN 18 INCHES AFF AND HIGHER THAN 48 INCHES. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR ADDITIONAL MOUNTING REQUIREMENTS.
- ALL RESIDENTIAL UNIT MICROWAVES (TYPE A UNITS) AND RANGE HOODS (TYPE A UNITS) TO BE DUCTED AND VENTED TO THE EXTERIOR. SEE ELECTRICAL INFORMATION. INSTALL PER ENERGY STAR AND LEED REQUIREMENTS.
- PROVIDE COUNTER TYPE MICROWAVE ALL TYPE A UNIT KITCHENS.
- ALL UNIT APPLIANCES ARE INCLUDED. SEE SPECIFICATIONS. UNIT KITCHEN APPLIANCES TO BE STAINLESS STEEL AND ENERGY STAR-RATED.
- ALL UNIT PLUMBING FIXTURES TO BE WATERSENSE-RATED. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- FOR KITCHEN ELECTRIC OUTLET RECEPTACLES, THE MAXIMUM ALLOWABLE HEIGHT TO THE CENTERLINE OF AN OUTLET IS 48 INCHES AFF WHEN REACHING OVER AN OBSTRUCTION 36 INCHES HIGH MAXIMUM AND 25-1/2 INCHES DEEP MAXIMUM. OUTLETS MUST BE A MINIMUM OF 36 INCHES FROM AN INSIDE CORNER OR 12 INCHES FROM WALL, DIM. 5.8.
- THERMOSTATS, SWITCHES, ELECTRICAL OUTLETS, ELECTRICAL PANELBOARDS AND OTHER OPERABLE PARTS MUST BE LOCATED WITHIN AN ACCESSIBLE REACH RANGE FROM 15 INCHES TO 48 INCHES AFF FOR AN UNOBSTRUCTED REACH. DIM. 5.5, 5.8, 100.5.8, 100.6, 3.38.
- ELECTRICAL PANELS ON ALL RESIDENTIAL UNITS SHALL BE INSTALLED SO THE OPERABLE COMPONENTS ARE NOT HIGHER THAN 48 INCHES A.F.F. OR LOWER THAN 18 INCHES A.F.F.
- AT TYPE A UNITS, THE LOCATION OF CONTROLS FOR THE OVEN AND RANGE MUST NOT REQUIRE REACHING ACROSS THE BURNERS. ANSI 100.5.12.5.4, 100.5.12.5.4.4. SEE THE SPECIFICATIONS FOR APPLIANCE REQUIREMENTS.
- KITCHEN SINKS AT TYPE A UNITS SHALL INCLUDE REAR DRAINED SINKS TO ACCOMMODATE DISPOSALS. SINK BOWL SHALL NOT BE DEEPER THAN 6 1/2 INCHES.
- PROVIDE LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- AT TYPE A UNITS, THE FLUSH CONTROL FOR THE WATER CLOSET SHALL BE LOCATED ON THE OPEN SIDE (AWAY FROM THE SIDE WALL).
- WHERE REQUIRED, INSTALL ANY MEP DEVICES / FIXTURES SO THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTINUE TYPE X GYPSUM BOARD ASSEMBLY BEHIND MEP DEVICE / FIXTURE.
- EXTEND FINISH FLOOR MATERIAL UNDER KITCHEN APPLIANCES, VANITY IN ALL BATHS AND UNDERNEATH REMOVABLE UNIVERSAL BASE CABINETS. ALL CABINET SURFACES VISIBLE INCLUDING AREAS EXPOSED AFTER REMOVING REMOVABLE BASE CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK. EXPOSED SIDES OF CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK.
- SIDES OF RANGE OR OPEN WORK AREAS BELOW BASE CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK. EXPOSED SIDES OF WALL AND BASE CABINETS SHALL HAVE FINISH PANELS ON ALL EXPOSED TO VIEW.
- SEE "TYPICAL PROJECT DETAILS" SHEETS A810 & A820 AND SHEET A900 FOR EXTENT OF FINISHES AT ALL UNIT ENTRANCES.
- UNIT FURNITURE IN CONTRACT. SEE FRAE DRAWINGS FOR ADDITIONAL INFO.
- PROVIDE ONE MIRROR AND ONE MEDICINE CABINET FOR EACH UNIT BATH. MIRROR WIDTH AS SHOWN ON BATH ELEVATIONS. TYPICAL. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR MOUNTING HEIGHTS REQUIREMENTS AND SPECIFICATIONS FOR ALL OTHER REQUIRED TOILET ACCESSORIES.
- SEE "TYPICAL PROJECT DETAILS" SHEETS FOR MOUNTING HEIGHT REQUIREMENTS.
- ALL RESIDENTIAL UNITS TO RECEIVE PLAM KITCHEN COUNTERTOPS WITH SUBWAY TILE BACKSPLASH. BATHS TO RECEIVE CULTURED MARBLE COUNTERTOPS WITH INTEGRAL BOWLS.
- IN TYPE A UNITS, ALL COUNTERTOPS TO BE SET AT 34 INCHES MAXIMUM HEIGHT TO THE TOP OF KITCHEN OR BATH / TOILET SINK RIM. ON TYPE B UNITS, ALL VANITY COUNTERTOPS TO BE SET AT 34 INCHES MAXIMUM HEIGHT TO THE TOP OF BATH SINK RIM.
- AT TYPE A COUNTERTOPS, MOUNT CENTER OF WALL RECEPTACLES ABOVE COUNTER, NO HIGHER THAN 40 INCHES A.F.F. COORDINATE WITH CASEWORK ELEVATIONS. SEE "TYPICAL PROJECT DETAILS" SHEETS.
- AT TYPE A UNITS AND SENSORY UNITS, PROVIDE HARD-WIRED CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.
- UNITS MAY BE OPPOSITE HAND OF THOSE SHOWN ON ENLARGED UNIT PLANS AND RCPs. SEE OVERALL FLOOR PLANS FOR LOCATIONS AND ORIENTATION OF UNITS.

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1001 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

## ENLARGED UNIT PLANS - 2BED (TYPE A)

06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A503**  
JAY W BOONE, LIC. #10740  
EXP. DATE: 12/31/2023  
PERMIT & BID SET



DOOR SCHEDULE UNITS													
DOOR NUMBER	DOOR TYPE	DOOR				FRAME		FIRE RATING	HOW SET	DETAILS - SHEET A710, A711 AND A712			REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV	MATERIAL	ELEV			HEAD	JAMB	SILL	
A1	ENTRY	3'-0"	7'-0"	ID	A	HM	1	20 MINUTES	15	14A712	13A712	REFER DETAILS 8A820 AND 9A820	
B1	BEDROOM	3'-0"	7'-0"	ID	A	WD	1	17	8A712	17A712			
B1R	BEDROOM	3'-0"	7'-0"	ID	A	WD	1	17	14A712	13A712	DOOR IN RATED WALL		
B2	BATHROOM	3'-0"	7'-0"	ID	A	WD	1	17	8A712	17A712		POCKET DOOR	
B3	BATHROOM	3'-2"	7'-0"	ID	A	WD	1	24	18A712	17A712			
C1	CLOSET	2'-4"	7'-0"	ID	A	WD	1	19	8A712	17A712			
C2	CLOSET	2'-6"	7'-0"	ID	A	WD	1	19	8A712	17A712			
C3	CLOSET	3'-0"	7'-0"	ID	A	WD	1	19	8A712	17A712			
C5	CLOSET	5'-0"	7'-0"	ID	AA	WD	3	16	8A712	17A712			
C6	CLOSET	6'-0"	7'-0"	ID	AA	WD	3	16	8A712	17A712			
L1	LAUNDRY	6'-0"	7'-0"	ID	AA	WD	3	16	8A712	17A712			
L1R	LAUNDRY	6'-0"	7'-0"	ID	AA	WD	3	16	14A712	13A712		DOOR IN RATED WALL	
U1	UTILITY	3'-0"	8'-0"	ID	H	WD	1	19	8A712	17A712			
U2	UTILITY	6'-0"	8'-0"	ID	HH	WD	3	16	8A712	17A712			
U2R	UTILITY	6'-0"	8'-0"	ID	HH	WD	3	16	14A712	13A712		DOOR IN RATED WALL	

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- PROVIDE LEVER-STYLE DOOR HARDWARE ON ALL INTERIOR DOORS.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)

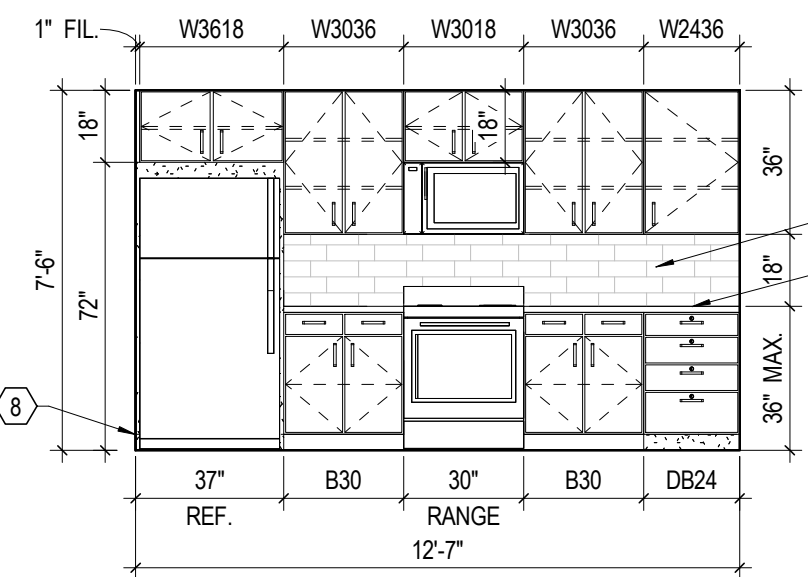
TYPICAL RESIDENTIAL UNIT FINISH SCHEDULE						
ROOM NAME	FLOOR		WALLS		GENERAL REMARKS	KEYED REMARKS
	FINISH	COLOR	FINISH	COLOR		
COAT	LV	1	PT	1	APPLIES TO COAT CLOSET	1
KITCHEN	LV	1	PT / CW	1 / 1	CW@ BACKSPLASH	3, 4
LIVING	LV	1	PT	1		
BEDROOM	LV	1	PT	1		
BATH / ACC. BATH	SV	1	PT	1		5
LINEN	SV	1	PT	1		
CLOSET	LV	1	PT	1	APPLIES TO BEDROOM CLOSETS	2
LAUNDRY	LV	1	PT	1		
UTILITY	LV or SV	1	PT	1		2, 6

- GENERAL NOTES:
- A. REFER TO "FINISH LEGEND" A900 FOR MATERIAL AND COLOR INFORMATION.
  - B. ALL UNIT INTERIOR DOORS AND DOOR FRAMES TO BE PAINTED PT2 IN SEMI-GLOSS.
  - C. ALL WALL BASE WITHIN RESIDENTIAL UNITS TO BE WD1 AND TO BE PAINTED PT2 - EXCEPT UNIT BATHROOM TO BE RB1. WINDOW AND DOOR OPENINGS TO RECEIVE WOOD CASINGS. WINDOWS TO RECEIVE CULTURED MARBLE SILLS.
  - D. KITCHEN BACKSPLASH TO BE CW1.
  - E. CEILINGS TO BE PAINTED PT7.
  - F. CONTINUE FLOOR FINISH INTO KNEE SPACE OF REMOVABLE CABINETS. PAINT BACK WALL. INSTALL WALL BASE.
  - G. ALL EXTERIOR WINDOWS TO RECEIVE MINI-BLINDS WITH HIDDEN CORDS AS SPECIFIED IN THE PROJECT MANUAL.
  - H. KITCHEN CABINETS TO BE SMART CABINERY / SQUIRE PROFILE IN FINISH SILVERGRASS.
- KEYED REMARKS:
- COAT ROD AND SHELF SPAN FULL WIDTH OF CLOSET.
  - WIRE SHELVING: TYPE A OR B TO SPAN FULL WIDTH OF CLOSET.
  - UNIT KITCHEN COUNTERTOP TO BE PLAM (COLOR TBD).
  - TYPE A KITCHEN TO HAVE A 6" HIGH X 3/4" THICK SQUARE EDGE BACKSPLASH LENGTH OF BASE CABINERY. RECEPTACLES TO BE MOUNTED HORIZONTALLY IN THE BACKSPLASH.
  - BATH VANITY COUNTERTOP TO BE CULTURED MARBLE.
  - FLOOR FINISH TO MATCH FLOOR FINISH IF ADJACENT ROOM.

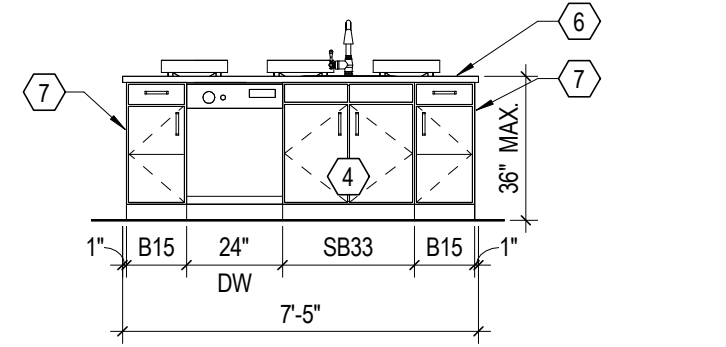
NOTE: INSTALL MOISTURE RESISTANT PAPERLESS GYPSUM BOARD ON ALL WALLS IN EACH BATHROOM AND TOILET ROOM. AT ALL OTHER WATER SOURCE LOCATIONS, PROVIDE MOISTURE RESISTANT PAPERLESS GYPSUM BOARD ON ALL VERTICAL AND HORIZONTAL SURFACES THAT ARE WITHIN FOUR FEET OF ANY WATER SOURCE WHERE THE DRYWALL CAN BE SPLASHED, INCLUDING BUT NOT LIMITED TO THE KITCHEN SINK, LAUNDRY ROOMS, UTILITY / MECH CLOSETS, ETC.

## TRUSS OPENING DIAGRAM AT UNITS

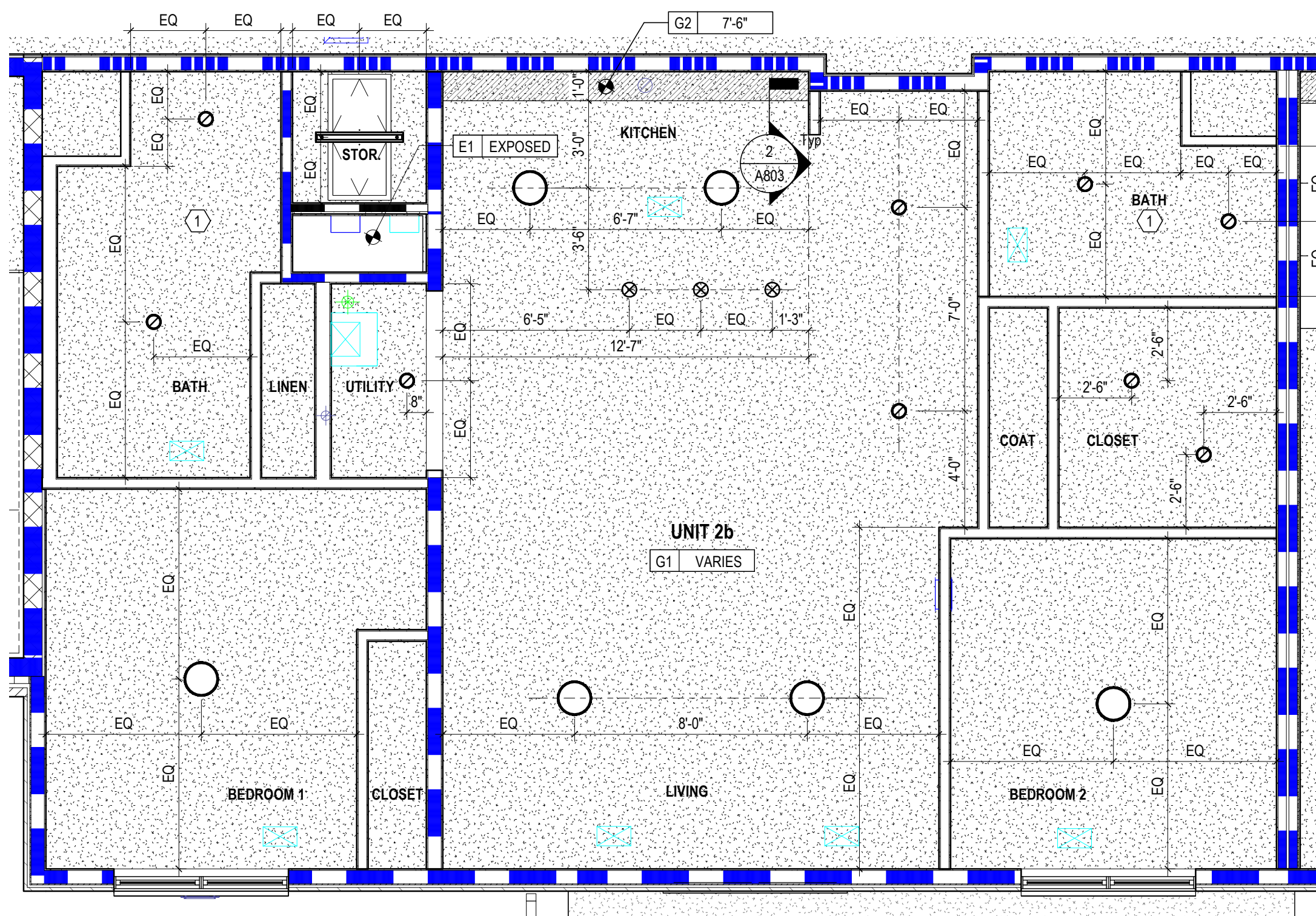
COORDINATE SIZE AND LOCATION OF OPENING WITH MECHANICAL.



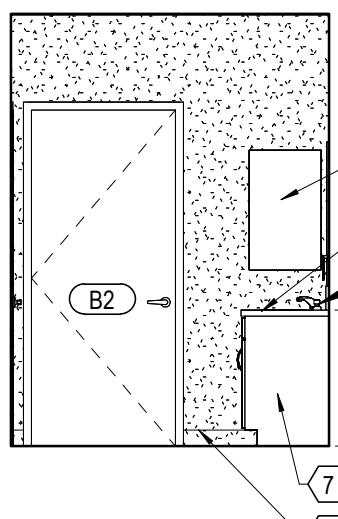
4 ELEVATION KITCHEN 2BED (TYPE B)  
1/4" = 1'-0" REF: 1 / A504



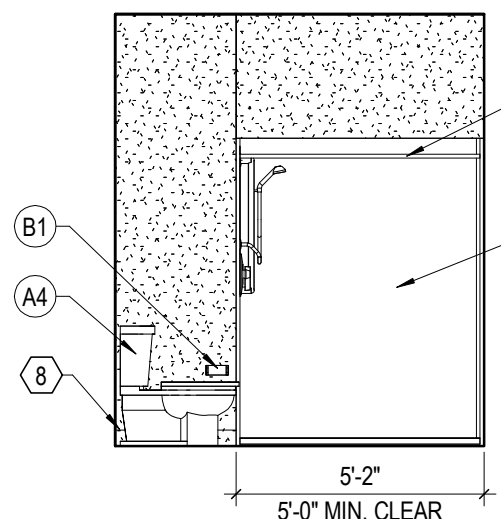
3 ELEVATION KITCHEN 2BED (TYPE B) - ISLAND  
1/4" = 1'-0" REF: 1 / A504



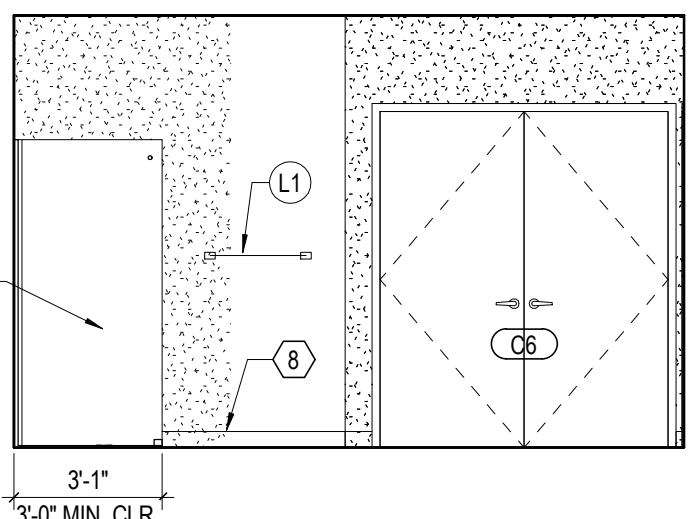
2 RCP ENLARGED UNIT 2b (2-BED ANSI TYPE B)  
1/4" = 1'-0"



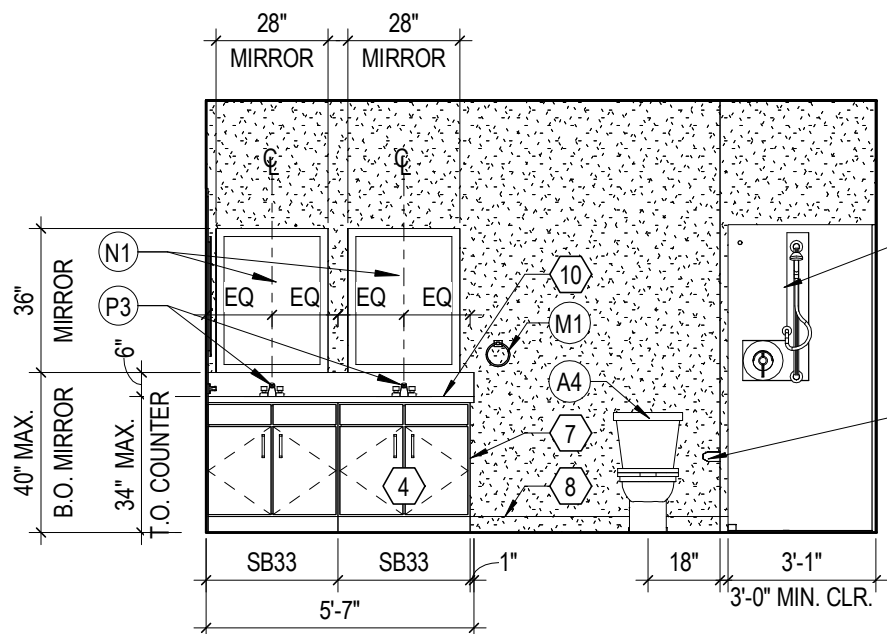
8 ELEVATION BATH 2-BED (TYPE B) - DOOR WALL  
1/4" = 1'-0" REF: 1 / A504



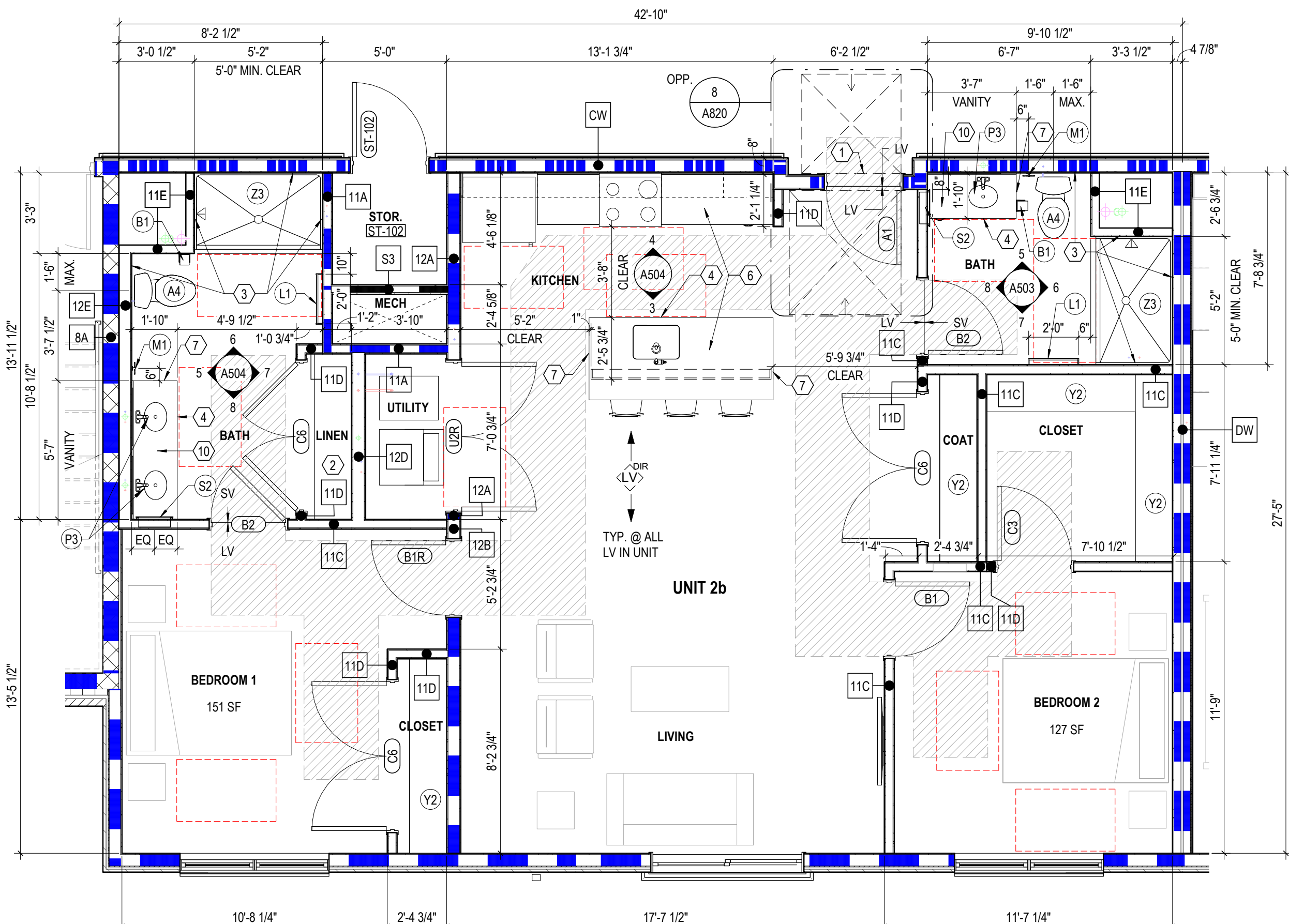
6 ELEVATION BATH 2-BED (TYPE B) - SHOWER WALL  
1/4" = 1'-0" REF: 1 / A504



7 ELEVATION BATH 2-BED (TYPE B) - SIDE WALL  
1/4" = 1'-0" REF: 1 / A504



5 ELEVATION BATH 2-BED (TYPE B) - VANITY WALL  
1/4" = 1'-0" REF: 1 / A504



1 PLAN ENLARGED UNIT 2b (2-BED ANSI TYPE B)  
1/4" = 1'-0"

## CODED NOTES - A20/ ELEV.

- SEE TYPICAL PROJECT DETAILS SHEETS A810 AND A820 FOR ADDITIONAL INFORMATION, INCLUDING ALL MOUNTING HEIGHT REQUIREMENTS.
- LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- ADJUSTABLE HEIGHT LINEN SHELF. SEE GENERAL NOTES.
- IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER LOCATIONS.
- REMOVABLE CABINET FRONT AND BASE. MATCH ADJACENT CABINERY. FLOOR FINISH TO EXTEND BELOW CABINERY. WALLS BEHIND AND SURROUNDING THE CABINERY TO BE FINISHED.
- RANGE WITH FRONT-MOUNTED CONTROLS AT TYPE A UNIT KITCHENS. PROVIDE SKIRT AS NEEDED TO MOUNT COOKTOP AT 34 INCHES A.F.F. TO MATCH ADJACENT COUNTERTOP HEIGHT.
- KITCHEN PLAM COUNTER WITH COUNTERTOP METAL SUPPORTS. TOP OF COUNTER AT 38 INCHES A.F.F. IN TYPE B UNIT KITCHENS AND 34 INCHES MAX A.F.F. AT TYPE A UNIT KITCHENS. IN TYPE A UNIT WORK AREAS, PROVIDE INTERMEDIATE SUPPORTS.
- FINISHED END PANEL, TYPICAL.
- WALL BASE. SEE FINISH SCHEDULE.
- LIGHT FIXTURES. SEE UNIT RCP PLAN. SEE ELECTRICAL DWGS.
- BATH: CULTURED MARBLE COUNTERTOPS WITH INTEGRAL BOWLS. TYPE A & B VANITY COUNTERS TO BE AT 34 INCHES MAX A.F.F. PROVIDE 6" HIGH BACKSPLASH AT TYPE A UNITS (OUTLETS MOUNTED HORIZONTALLY, IF ANY).
- SUBWAY TILE BACKSPLASH. REFER FINISH LEGEND.
- SHOWER CURTAIN ROD.

## LEGEND - UNIT PLAN

- 1 HOUR FIRE RATING - INCLUDING BUT NOT LIMITED TO UNIT DEMISING WALLS
- 1 HOUR FIRE RATING - CORRIDOR WALLS
- INTERIOR PARTITION
- SENSORY (HEARING / VISUALLY IMPAIRED) UNIT - SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP DRAWINGS FOR ADDITIONAL INFO.
- ANSI TYPE A UNIT - SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. UNITS TO ALSO INDICATE SENSORY (HEARING / VISUALLY IMPAIRED) UNIT FEATURES. SEE MEP DRAWINGS FOR ADDITIONAL INFO.
- DIRECTION OF INSTALLATION OF LVT FLOORING. SEE FINISH SCHEDULE FOR ADDITIONAL INFO.
- DOOR TYPE
- REQUIRED 30"x48" CLEAR FLOOR SPACE - 48" SHALL BE CENTERED AT APPLIANCES AND SINKS
- UNOBSTRUCTED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS, MIN. 36" REQUIRED

## GENERAL NOTES - UNIT RCP

- PAINT DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE FOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETES, ETC.
- LIGHT FIXTURES SHOWN TO INDICATE PROPOSED FIXTURES AND GENERAL DESIGN INTENT.
- FINISHED CEILING HEIGHTS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- COORDINATE LOCATION OF FIXTURES WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION DRAWINGS. ANY CONFLICT BETWEEN TRADES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
- FACE OF BULKHEADS SHALL ALIGN WITH FACE OF ADJACENT WALLS TO WHICH BULKHEADS ARE PARALLEL, U.N.O. OR DIMENSIONED.
- PAINT DUCTWORK INSIDE AIR GRILLES FLAT COLOR.
- ALL GYPSUM BOARD SOFFITS AND CEILINGS TO BE PAINTED FLAT CEILING WHITE (U.N.O.).
- CEILING GRIDS ARE CENTERED ON ROOM, U.N.O. OR DIMENSIONED.
- ALL CEILING DEVICES TO BE CENTERED IN TILE, U.N.O.
- WHERE EXIT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.
- GYPSUM BOARD CEILINGS FRAMED TO THE UNDERSIDE OF WOOD TRUSSES SHALL BE INSTALLED TIGHT TO THE BOTTOM CHORD WITH A 1/2" INCH RESILIENT CHANNEL. CEILINGS BELOW 2X WOOD FRAMING SHALL MATCH THE HEIGHT OF THE CEILINGS BELOW THE WOOD TRUSSES UNLESS NOTED OTHERWISE. ALL CEILING ASSEMBLIES AND WALLS MUST MAINTAIN THE INTEGRITY OF THE FIRE RATED CEILING ASSEMBLIES.
- SEE ELECTRICAL DRAWINGS FOR THE REQUIRED ELECTRICAL DEVICES. FIRST AND SECOND FLOOR REFLECTED CEILING PLANS SHOW GENERAL LOCATION OF CANS IN THE PUBLIC CORRIDORS.
- CONTINUE RATED GYPSUM BOARD ABOVE ANY DROP CEILINGS AND SOFFITS. PROVIDE A RATED ACCESS PANEL AT ALL SMOKE DAMPER LOCATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT. PROVIDE ONE ACCESS PANEL PER FLOOR AT ALL SHAFT LOCATIONS. ACCESS PANEL TO BE ON THE PUBLIC CORRIDOR SIDE. ON OPEN / UNOCCUPIED SHAFT ENCLOSURES, PROVIDE ONE RATED ACCESS PANEL PER FLOOR FOR FUTURE INSTALLATION OF MECHANICAL SYSTEMS.
- COORDINATE FINAL SOFFIT LOCATION WITH FINAL CABINET LAYOUT.

## CODED NOTES - UNIT RCP

- MOISTURE RESISTANT PAPERLESS GYPSUM BOARD SHALL BE USED FOR THE BATH CEILINGS ON THE 1ST AND 2ND FLOORS ONLY.

## LEGEND - UNIT RCP

- E1 EXPOSED STRUCTURE ABOVE
- G1 GYPSUM BOARD CEILING OR SOFFIT (RATED CEILING INSTALLED DIRECTLY TO STRUCTURE)
- G2 GYPSUM BOARD CEILING OR SOFFIT (ADDITIONAL LOWER CEILING)
- 2x2 SURFACE MOUNTED LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- SURFACE MOUNTED LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- SURFACE MOUNTED LIGHT FIXTURE (UNIT)
- PENDANT LIGHT FIXTURE
- SUSPENDED LINEAR LIGHT FIXTURE
- WALL MOUNTED VANITY LIGHT FIXTURE
- SUPPLY DIFFUSER
- LINEAR DIFFUSER
- EXHAUST/RETURN GRILLE
- ACCESS PANEL
- CEILING TAG WITH HEIGHT

NOTE: COORDINATE ARCHITECTURAL REFLECTED CEILING PLANS WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR NUMBER OF, AND LOCATIONS OF, AND TYPES OF FIXTURES AND GRILLES. NOT ALL ITEMS SHOWN ON LEGEND MAY BE PRESENT IN PROJECT.

## GEN. NOTES - UNIT PLANS

- DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- WALLS ARE 2X WOOD FRAMING U.N.O. SEE SHEET G003 FOR PARTITION INFO.
- EXTERIOR WALL CONDITIONS VARY. REFER TO OVERALL FLOOR PLAN SHEETS FOR EXTERIOR WALL AND WINDOW CONDITIONS.
- RESIDENTIAL UNITS: TYPE B DENOTES ANSI TYPE B AND TYPE A DENOTES ANSI TYPE A. UNITS SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS REFERENCED ON THE CODE INFORMATION. THIS INCLUDES BUT IS NOT LIMITED TO ANSI A117.1-2009.
- ACCESSIBLE ROUTE WIDTH WITHIN UNITS SHALL BE 36" MINIMUM. CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- PROVIDE WOOD BLOCKING ON ALL RESIDENTIAL TYPE A AND TYPE B UNITS IN BATHS AND AS INDICATED ON "TYPICAL PROJECT DETAILS" SHEETS. SEE A100 SERIES AND A500 SERIES SHEETS FOR TYPE A & B UNIT LOCATIONS AND LAYOUTS. ALL UNITS TO RECEIVE BLOCKING FOR GRAB BARS (TYPE A UNITS) AND FUTURE GRAB BARS (TYPE B UNITS). SEE "TYPICAL PROJECT DETAILS" SHEETS ON A100 FOR LENGTHS AND LOCATIONS OF GRAB BARS.
- PROVIDE WOOD BLOCKING NOT SHOWN OR SHOWN AS REQUIRED TO MOUNT MILKWORK, MEP DEVICES AND ALL FIXTURES.
- ALL DOOR OPENINGS INTO USABLE OCCUPIED ROOMS IN RESIDENTIAL AND PUBLIC AREAS SHALL BE MINIMUM 32 INCHES CLEAR OR GREATER.
- COORDINATE TRUSS LAYOUT AND DESIGN WITH MECHANICAL, ELECTRICAL AND PLUMBING LAYOUT PRIOR TO FABRICATION. TRUSS SHOP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. PROVIDE COORDINATION DRAWING TO ARCHITECT. FRAMING CONTRACTOR SHALL COORDINATE TRUSS FRAMING OFFSETS AS REQUIRED TO ACCOMMODATE SANITARY LINES AND OTHER MEP EQUIPMENT / FIXTURES.
- INSTALL ACOUSTIC BATT INSULATION AT PARTITIONS WITH PLUMBING STACKS, DEMISING WALLS AND FLOOR / CEILING ASSEMBLIES.
- NOT USED.
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS MUST BE INSULATED TO PROTECT AGAINST CONTACT, INCLUDING COLD WATER SUPPLIES. PROVIDE SPRAY FOAM INSULATION AT DEMISING AND EXTERIOR WALLS AT LOCATIONS AROUND PLUMBING INSTALLATIONS. PROVIDE A VALANCE AT AREAS WITH EXPOSED SINK DRAINS. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR REQUIREMENTS.
- HORIZONTAL OFFSETS IN PLUMBING DRAIN PIPES: PROVIDE ACOUSTIC PIPE INSULATION. REFER TO PLUMBING DRAWINGS.
- ALL RESIDENTIAL UNITS TO RECEIVE A STANDARD SHOWER (TYPE B UNITS AND NON-ACCESSIBLE BATH IN TYPE A UNITS) OR ACCESSIBLE ROLL-IN SHOWER (ACCESSIBLE BATH IN TYPE A UNITS). BLOCKING FOR INSTALLATION OF GRAB BARS AND OTHER SHOWER FIXTURES TO BE FACTORY INSTALLED IN PREFABRICATED UNITS. WALL ROUGH FRAMING DIMENSION REQUIREMENTS MUST BE COORDINATED WITH SELECTED SHOWER UNIT. NOTE THAT THESE DIMENSIONS TEND TO VARY PER MANUFACTURER. SEE TYPICAL PROJECT DETAILS' SHEETS FOR LAYOUT OF SHOWER BLOCKING AND FIXTURES. SEE PLUMBING DRAWINGS FOR EXACT DIMENSIONS REQUIRED AND FIXTURE INFO.
- LAUNDRY ROOM DRYER VENTING LOCATIONS SHALL BE COORDINATED WITH ARCHITECT. ROUTING SHALL NOT EXCEED 35 FEET WITH ONLY ONE BEND. LABEL LENGTH OF ANY DRYER VENTING DUCT ON THE LAUNDRY ROOMS PER REQUIREMENT BY THE CITY.
- PROVIDE LOOP PULLS ON ALL KITCHEN CASEWORK.
- RANGES IN TYPE A UNITS ARE DROP IN TYPE. SEE SPECIFICATIONS. PROVIDE CABINET BASE TO MOUNT THE APPLIANCE AS REQUIRED TO ALIGN RANGE WITH TOP OF COUNTERTOP.
- ALL MEP OPERABLE CONTROLS, FIXTURES, OUTLETS AND ALL OTHER RESIDENTIAL, TOILET OR UNIT ACCESSORIES SHALL NOT BE MOUNTED LOWER THAN 18 INCHES AFF AND HIGHER THAN 48 INCHES. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR ADDITIONAL MOUNTING REQUIREMENTS.
- ALL RESIDENTIAL UNIT MICROWAVES (TYPE A UNITS) AND RANGE HOODS (TYPE A UNITS) TO BE DUCTED AND VENTED TO THE EXTERIOR. SEE ELECTRICAL INFORMATION. INSTALL PER ENERGY STAR AND LEED REQUIREMENTS.
- PROVIDE COUNTER TYPE APPLIANCE ACCESSORIES SHALL NOT BE MOUNTED LOWER THAN 18 INCHES AFF AND HIGHER THAN 48 INCHES. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR ADDITIONAL MOUNTING REQUIREMENTS.
- ALL UNIT PLUMBING FIXTURES TO BE 48 INCHES AFF WHEN REACHING OVER AN OBSTRUCTION 36 INCHES HIGH MAXIMUM AND 25-12 INCHES DEEP MAXIMUM. OUTLETS MUST BE A MINIMUM OF 36 INCHES FROM AN INSIDE CORNER OR 12 INCHES FROM END WALL, DIM 5.8.
- THERMOSTATS, SWITCHES, ELECTRIC OUTLETS, ELECTRICAL PANELBOARDS AND OTHER OPERABLE PARTS MUST BE LOCATED WITHIN AN ACCESSIBLE REACH RANGE FROM 15 INCHES TO 48 INCHES AFF FOR AN UNOBSTRUCTED REACH, DIM 5.8.5. ANSI 1003.8, 1004.3, 309.3, 309.
- ELECTRICAL PANELS ON ALL RESIDENTIAL UNITS SHALL BE INSTALLED SO THE OPERABLE COMPONENTS ARE NOT HIGHER THAN 48 INCHES A.F.F. OR LOWER THAN 18 INCHES A.F.F.
- AT TYPE A UNITS, THE LOCATION OF CONTROLS FOR THE OVEN AND RANGE MUST NOT REQUIRE REACHING ACROSS THE BURNERS. ANSI 1003.12.5.4.4, 1003.12.5.4.4. SEE THE SPECIFICATIONS FOR APPLIANCE REQUIREMENTS.
- KITCHEN SINKS AT TYPE A UNITS SHALL INCLUDE REAR DRAINED SINKS TO ACCOMMODATE DISPOSALS. SINK BOWL SHALL NOT BE DEEPER THAN 6 1/2 INCHES.
- PROVIDE LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- AT TYPE A UNITS, THE FLUSH CONTROL FOR THE WATER CLOSET WILL BE LOCATED ON THE OPEN SIDE (AWAY FROM THE SIDE WALL).
- WHERE REQUIRED, INSTALL ANY MEP DEVICES / FIXTURES SO THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTINUE TYPE X GYPSUM BOARD ASSEMBLY BEHIND MEP DEVICE / FIXTURE.
- EXTEND FINISH FLOOR MATERIAL UNDER KITCHEN APPLIANCES, VANITY IN ALL BATHS AND UNDERNEATH REMOVABLE UNIVERSAL BASE CABINETS. ALL CABINET SURFACES VISIBLE INCLUDING AREAS EXPOSED AFTER REMOVING REMOVABLE BASE CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK. EXPOSED SIDES OF CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK. EXPOSED SIDES OF WALL AND BASE CABINETS SHALL HAVE FINISH PANELS ON ALL EXPOSED TO VIEW.
- SEE "TYPICAL PROJECT DETAILS" SHEETS A810 & A820 AND SHEET A900 FOR EXTENT OF FINISHES AT ALL UNIT ENTRY DOORS.
- UNIT FURNITURE IN CONTRACT. SEE FRAM DRAWINGS FOR ADDITIONAL INFO.
- PROVIDE ONE MIRROR AND ONE MEDICINE CABINET FOR EACH UNIT BATH. MIRROR WIDTH AS SHOWN ON BATH. SEE TYPICAL. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR MOUNTING HEIGHT REQUIREMENTS AND SPECIFICATIONS FOR ALL OTHER REQUIRED TOILET ACCESSORIES.
- SEE "TYPICAL PROJECT DETAILS" FOR MOUNTING HEIGHTS AND OTHER DIMENSIONS REQUIRED FOR PLUMBING AND OTHER FIXTURES REQUIRED.
- ALL RESIDENTIAL UNIT WINDOWS TO RECEIVE WINDOW TREATMENTS AS NOTED IN FINISH SCHEDULE.
- PROVIDE ONE LOOK VIEWER AT THE TYPE B UNIT ENTRY DOOR AND TWO DOOR VIEWERS AT THE TYPE A UNIT ENTRY DOOR.
- WIRE SHELVING SHALL BE PROVIDED FOR ENTIRE WIDTH OF THE CLOSET AS FOLLOWS: BEDROOM & COAT CLOSET (1 SHELF AND ROD FIXED), LINEN CLOSET (5 SHELF, ADJUSTABLE), UTILITY (1 SHELF, FIXED). SEE "TYPICAL PROJECT DETAILS" SHEETS FOR MOUNTING HEIGHT REQUIREMENTS.
- ALL RESIDENTIAL UNITS TO RECEIVE PLAM KITCHEN COUNTERTOPS WITH SUBWAY TILE BACKSPLASH. BATHS TO RECEIVE CULTURED MARBLE COUNTERTOPS WITH INTEGRAL BOWLS.
- IN TYPE A UNITS, ALL COUNTERTOPS TO BE SET AT 34 INCHES MAXIMUM HEIGHT TO THE TOP OF KITCHEN OR BATH / TOILET SINK RIM. ON TYPE B UNITS, ALL VANITY COUNTERTOPS TO BE SET AT 34 INCHES MAXIMUM HEIGHT TO THE TOP OF BATH SINK RIM.
- AT TYPE A UNIT COUNTERTOPS, MOUNT CENTER OF WALL RECEPTACLES ABOVE COUNTER, NO HIGHER THAN 40 INCHES A.F.F. COORDINATE WITH CASEWORK ELEVATIONS. SEE "TYPICAL PROJECT DETAILS" SHEETS.
- AT TYPE A UNITS AND SENSORY UNITS, PROVIDE HARD-WIRED CALL FOR AID STATION IN ALL BEDROOMS AND BATHS.
- UNITS MAY BE OPPOSITE HAND OF THOSE SHOWN ON ENLARGED UNIT PLANS AND RCPs. SEE OVERALL FLOOR PLANS FOR LOCATIONS AND ORIENTATION OF UNITS.

#	DATE	CHANGE DESCRIPTION

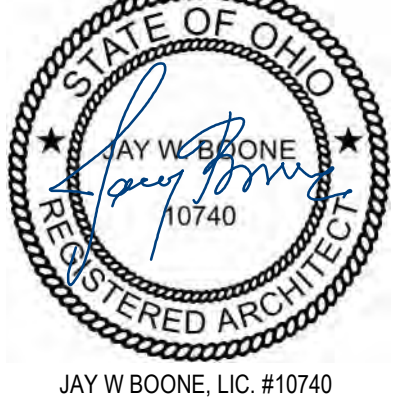


**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



300 SPRUCE STREET  
SUITE 300  
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## ENLARGED UNIT PLANS - 2BED (TYPE B)



06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A504**  
JAY W BOONE, LIC. #10740 EXP. DATE: 12/31/2023  
PERMIT & BID SET



DOOR SCHEDULE UNITS													
DOOR NUMBER	DOOR TYPE	DOOR		FRAME		FIRE RATING	HOW SET	DETAILS - SHEET A710, A711 AND A712					REMARKS
		WIDTH	HEIGHT	MATERIAL	ELEV			HEAD	JAMB	SILL			
A1	ENTRY	3'-0"	7'-0"	ID	A	HM	1						REFER DETAILS BA820 AND 9A820
B1	BEDROOM	3'-0"	7'-0"	ID	A	WD	1	17	14A712	13A712			
B1R	BEDROOM	3'-0"	7'-0"	ID	A	WD	1	17	14A712	13A712			DOOR IN RATED WALL
B2	BATHROOM	3'-0"	7'-0"	ID	A	WD	1	17	8A712	7A712			
B3	BATHROOM	3'-2"	7'-0"	ID	A	WD	1	24	18A712	17A712			POCKET DOOR
C1	CLOSET	2'-4"	7'-0"	ID	A	WD	1	19	8A712	7A712			
C2	CLOSET	2'-4"	7'-0"	ID	A	WD	1	19	8A712	7A712			
C3	CLOSET	3'-0"	7'-0"	ID	A	WD	1	19	8A712	7A712			
C5	CLOSET	5'-0"	7'-0"	ID	AA	WD	3	16	8A712	7A712			
C6	CLOSET	6'-0"	7'-0"	ID	AA	WD	3	16	8A712	7A712			
L1	LAUNDRY	6'-0"	7'-0"	ID	AA	WD	3	16	8A712	7A712			
L1R	LAUNDRY	6'-0"	7'-0"	ID	AA	WD	3	16	14A712	13A712			DOOR IN RATED WALL
U1	UTILITY	3'-0"	8'-0"	ID	H	WD	1	19	8A712	7A712			
U2	UTILITY	6'-0"	8'-0"	ID	HH	WD	3	16	8A712	7A712			
U2R	UTILITY	6'-0"	8'-0"	ID	HH	WD	3	16	14A712	13A712			DOOR IN RATED WALL

- PROVIDE A ROBE HOOK ON THE DOOR OF BATH ROOMS. HOOK TO FACE SIDE OF TOILET AREA.
- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF BUILDING TO BE 32" MIN CLEAR.
- PROVIDE LEVER-STYLE DOOR HARDWARE ON ALL INTERIOR DOORS.
- ALL DOORS PROVIDING ACCESS TO RESIDENTIAL SPACES TO BE PAINTED.
- HM = HOLLOW METAL; WD = WOOD; ID = INTERIOR DOOR (WOOD, SOLID CORE)

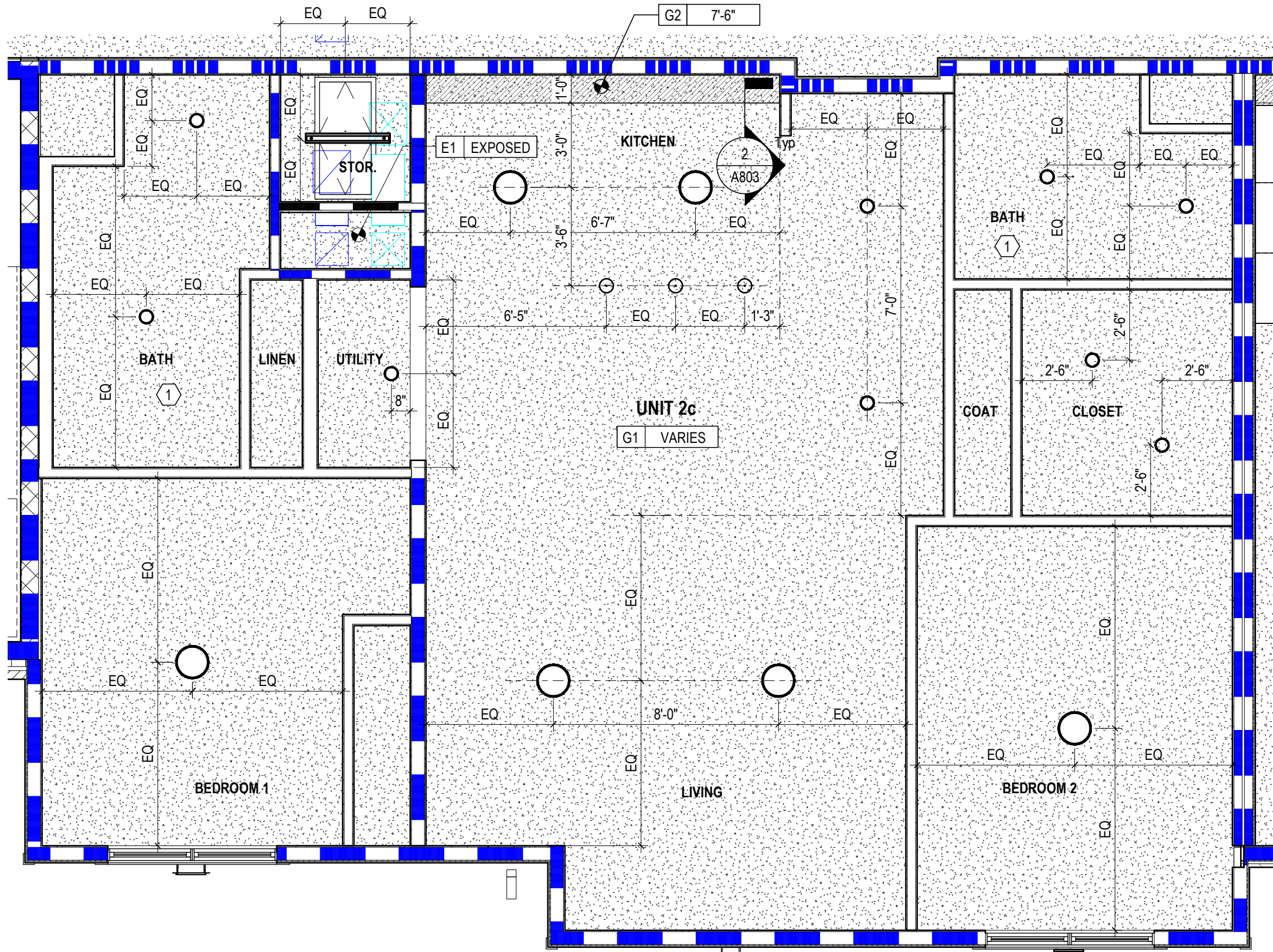
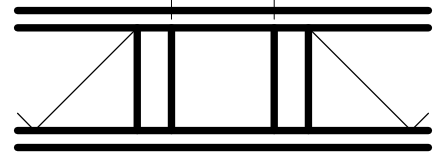
TYPICAL RESIDENTIAL UNIT FINISH SCHEDULE					
ROOM NAME	FLOOR		WALLS		KEYED REMARKS
	FINISH	COLOR	FINISH	COLOR	
COAT	LV	1	PT	1	APPLIES TO COAT CLOSET
KITCHEN	LV	1	PT / CW	1 / 1	CW@ BACKSPLASH
LIVING	LV	1	PT	1	
BEDROOM	LV	1	PT	1	
BATH/ACC. BATH	SV	1	PT	1	
LINEN	SV	1	PT	1	
CLOSET	LV	1	PT	1	APPLIES TO BEDROOM CLOSETS
LAUNDRY	LV	1	PT	1	
UTILITY	LV or SV	1	PT	1	

- GENERAL NOTES:
- A. REFER TO "FINISH LEGEND" A900 FOR MATERIAL AND COLOR INFORMATION.
  - B. ALL UNIT INTERIOR DOORS AND DOOR FRAMES TO BE PAINTED PT2 IN SEMI-GLOSS.
  - C. ALL WALL BASE WITHIN RESIDENTIAL UNITS TO BE WD1 AND TO BE PAINTED PT2 - EXCEPT UNIT BATHROOM TO BE RB1. WINDOW AND DOOR OPENINGS TO RECEIVE WOOD CASINGS. WINDOWS TO RECEIVE CULTURED MARBLE SILLS.
  - D. KITCHEN BACKSPLASH TO BE CW1.
  - E. CEILINGS TO BE PAINTED PT7.
  - F. CONTINUE FLOOR FINISH INTO KNEE SPACE OF REMOVABLE CABINETS. PAINT BACK WALL. INSTALL WALL BASE.
  - G. ALL EXTERIOR WINDOWS TO RECEIVE MINI-BLINDS WITH HIDDEN CORDS AS SPECIFIED IN THE PROJECT MANUAL.
  - H. KITCHEN CABINETS TO BE SMART CABINERY / SQUIRE PROFILE IN FINISH SILVERGRASS.
- KEYED REMARKS:
- 1. COAT ROBE AND SHELF SPAN FULL WIDTH OF CLOSET.
  - 2. WIRE SHELVING: TYPE A OR B TO SPAN FULL WIDTH OF CLOSET.
  - 3. UNIT KITCHEN COUNTERTOP TO BE PLAM (COLOR TBD).
  - 4. TYPE A KITCHEN TO HAVE A 6" HIGH x 3/4" THICK SQUARE EDGE BACKSPLASH LENGTH OF BASE CABINERY. RECEPTACLES TO BE MOUNTED HORIZONTALLY IN THE BACKSPLASH.
  - 5. BATH VANITY COUNTERTOP TO BE CULTURED MARBLE.
  - 6. FLOOR FINISH TO MATCH FLOOR FINISH IN ADJACENT ROOM.

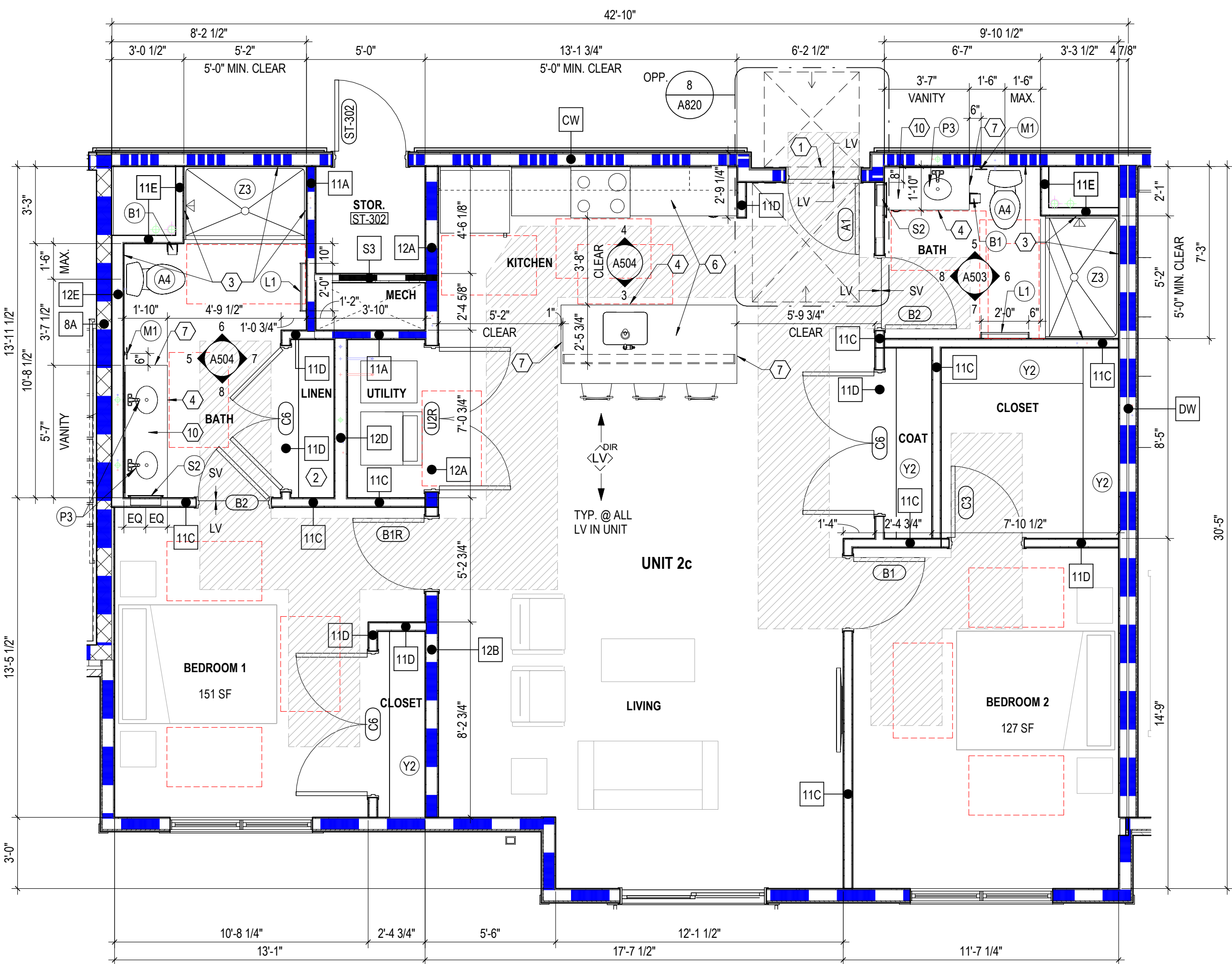
NOTE: INSTALL MOISTURE RESISTANT PAPERLESS GYPSUM BOARD ON ALL WALLS IN EACH BATHROOM AND TOILET ROOM. AT ALL OTHER WATER SOURCE LOCATIONS. PROVIDE MOISTURE RESISTANT PAPERLESS GYPSUM BOARD ON ALL VERTICAL AND HORIZONTAL SURFACES THAT ARE WITHIN FOUR FEET OF ANY WATER SOURCE WHERE THE DRYWALL CAN BE SPLASHED, INCLUDING BUT NOT LIMITED TO THE KITCHEN SINK, LAUNDRY ROOMS, UTILITY / MECH CLOSETS, ETC.

## TRUSS OPENING DIAGRAM AT UNITS

COORDINATE SIZE AND LOCATION OF OPENING WITH MECHANICAL.



2 RCP ENLARGED UNIT 2c (2-BED ANSI TYPE B)  
1/4" = 1'-0"



1 PLAN ENLARGED UNIT 2c (2-BED ANSI TYPE B)  
1/4" = 1'-0"

## CODED NOTES - PLAN/ ELEV.

- SEE TYPICAL PROJECT DETAILS SHEETS A810 AND A820 FOR ADDITIONAL INFORMATION, INCLUDING ALL MOUNTING HEIGHT REQUIREMENTS.
- LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT UNIT ENTRY. PROVIDE FORWARD APPROACH CLEARANCES AT ALL UNIT ENTRY DOORS.
- ADJUSTABLE HEIGHT LINEN SHELF. SEE GENERAL NOTES.
- IN ALL BATHS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS (ANSI TYPE A UNITS) OR FUTURE GRAB BARS (TYPICAL UNITS) AND TOILET AND SHOWER LOCATIONS.
- REMOVABLE CABINET FRONT AND BASE. MATCH ADJACENT CABINERY. FLOOR FINISH TO EXTEND BELOW CABINERY. WALLS BEHIND AND SURROUNDING THE CABINERY TO BE FINISHED.
- RANGE WITH FRONT-MOUNTED CONTROLS AT TYPE A UNIT KITCHENS. PROVIDE SKIRT AS NEEDED TO MOUNT COOKTOP AT 34 INCHES A.F.F. TO MATCH ADJACENT COUNTERTOP HEIGHT.
- KITCHEN PLAM COUNTER WITH COUNTERTOP METAL SUPPORTS. TOP OF COUNTERTOP AT 38 INCHES A.F.F. IN TYPE B UNIT KITCHENS AND 34 INCHES MAX A.F.F. AT TYPE A UNIT KITCHENS. IN TYPE A UNIT WORK AREAS, PROVIDE INTERMEDIATE SUPPORTS.
- FINISHED END PANEL, TYPICAL.
- WALL BASE. SEE FINISH SCHEDULE.
- LIGHT FIXTURES. SEE UNIT RCP PLAN. SEE ELECTRICAL DWGS.
- BATH: CULTURED MARBLE COUNTERTOPS WITH INTEGRAL BOWLS. TYPE A & B VANITY COUNTERS TO BE AT 34 INCHES MAX A.F.F. PROVIDE 6" HIGH BACKSPLASH AT TYPE A UNITS (OUTLETS MOUNTED HORIZONTALLY, IF ANY).
- SUBWAY TILE BACKSPLASH. REFER FINISH LEGEND.
- SHOWER CURTAIN ROD.

## LEGEND - UNIT PLAN

- 1 HOUR FIRE RATING - INCLUDING BUT NOT LIMITED TO UNIT DEMISING WALLS
- 1 HOUR FIRE RATING - CORRIDOR WALLS
- INTERIOR PARTITION
- SENSORY (HEARING / VISUALLY IMPAIRED) UNIT -** SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP DRAWINGS FOR ADDITIONAL INFO.
- ANSI TYPE A UNIT -** SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. UNITS TO ALSO INCLUDE SENSORY (HEARING / VISUALLY IMPAIRED) UNIT FEATURES. SEE MEP DRAWINGS FOR ADDITIONAL INFO.
- DIRECTION OF INSTALLATION OF LVT FLOORING. SEE FINISH SCHEDULE FOR ADDITIONAL INFO.
- DOOR TYPE
- REQUIRED 30"x48" CLEAR FLOOR SPACE - 48" SHALL BE CENTERED AT APPLIANCES AND SINKS
- UNOBSTRUCTED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS, MIN. 36" REQUIRED

## GENERAL NOTES - UNIT RCP

- PAIN DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE FOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
- LIGHT FIXTURES SHOWN TO INDICATE PROPOSED FIXTURES AND GENERAL DESIGN INTENT.
- FINISHED CEILING HEIGHTS ARE FROM TOP OF FINISH FLOOR, U.N.O.
- COORDINATE LOCATION OF FIXTURES WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION DRAWINGS. ANY CONFLICT BETWEEN TRADES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
- FACE OF BULKHEADS SHALL ALIGN WITH FACE OF ADJACENT WALLS TO WHICH BULKHEADS ARE PARALLEL, U.N.O. OR DIMENSIONED.
- PAINT DUCTWORK INSIDE AIR GRILLES FLAT COLOR.
- ALL GYPSUM BOARD SOFFITS AND CEILINGS TO BE PAINTED FLAT CEILING WHITE (U.N.O.).
- CEILING GRIDS ARE CENTERED ON ROOM U.N.O. OR DIMENSIONED.
- ALL CEILING DEVICES TO BE CENTERED ON TILE U.N.O.
- WHERE EXIT SIGNS OCCUR OVER A DOOR OR PAIR OF DOORS, CENTER SIGN ON DOOR OPENING.
- GYPSUM BOARD CEILINGS FRAMED TO THE UNDERSIDE OF WOOD TRUSSES SHALL BE INSTALLED TIGHT TO THE BOTTOM CHORD WITH A 1/2" INCH RESILIENT CHANNEL. CEILINGS BELOW 2X WOOD FRAMING SHALL MATCH THE HEIGHT OF THE CEILINGS BELOW THE WOOD TRUSSES UNLESS NOTED OTHERWISE. ALL CEILING ASSEMBLIES AND WALLS MUST MAINTAIN THE INTEGRITY OF THE FIRE RATED CEILING ASSEMBLIES.
- SEE ELECTRICAL DRAWINGS FOR THE REQUIRED ELECTRICAL DEVICES. FIRST AND SECOND FLOOR REFLECTED CEILING PLANS SHOW GENERAL LOCATION OF CANS IN THE PUBLIC CORRIDORS.
- CONTINUE RATED GYPSUM BOARD ABOVE ANY DROP CEILINGS AND SOFFITS. PROVIDE A RATED ACCESS PANEL AT ALL SMOKE DAMPER LOCATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT. PROVIDE ONE ACCESS PANEL PER FLOOR AT ALL SHAFT LOCATIONS. ACCESS PANEL TO BE ON THE PUBLIC CORRIDOR SIDE. ON OPEN / UNOCCUPIED SHAFIT ENCLOSURES, PROVIDE ONE RATED ACCESS PANEL PER FLOOR FOR FUTURE INSTALLATION OF MECHANICAL SYSTEMS.
- COORDINATE FINAL SOFFIT LOCATION WITH FINAL CABINET LAYOUT.

## CODED NOTES - UNIT RCP

- MOISTURE RESISTANT PAPERLESS GYPSUM BOARD SHALL BE USED FOR THE BATH CEILINGS ON THE 1ST AND 2ND FLOORS ONLY.

## LEGEND - UNIT RCP

- E1 EXPOSED STRUCTURE ABOVE
- G1 GYPSUM BOARD CEILING OR SOFFIT (RATED CEILING INSTALLED DIRECTLY TO STRUCTURE)
- G2 GYPSUM BOARD CEILING OR SOFFIT (ADDITIONAL LOWER CEILING)
- 2x2 SURFACE MOUNTED LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- SURFACE MOUNTED LIGHT FIXTURE (SHADING DENOTES EMERGENCY FIXTURE)
- SURFACE MOUNTED LIGHT FIXTURE (UNIT)
- PENDANT LIGHT FIXTURE
- SUSPENDED LINEAR LIGHT FIXTURE
- WALL MOUNTED VANITY LIGHT FIXTURE
- SUPPLY DIFFUSER
- LINEAR DIFFUSER
- EXHAUST/RETURN GRILLE
- ACCESS PANEL
- CEILING TAG WITH HEIGHT

NOTE: COORDINATE ARCHITECTURAL REFLECTED CEILING PLANS WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR NUMBER OF, AND LOCATIONS OF, AND TYPES OF FIXTURES AND GRILLES. NOT ALL ITEMS SHOWN ON LEGEND MAY BE PRESENT IN PROJECT.

## GEN. NOTES - UNIT PLANS

- DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- WALLS ARE 2X WOOD FRAMING U.N.O. SEE SHEET G003 FOR PARTITION INFO.
- EXTERIOR WALL CONDITIONS VARY. REFER TO OVERALL FLOOR PLAN SHEETS FOR EXTERIOR WALL AND WINDOW CONDITIONS.
- RESIDENTIAL UNITS: TYPE B DENOTES ANSI TYPE B AND TYPE A DENOTES ANSI TYPE A UNITS SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS REFERENCED ON THE CODE INFORMATION. THIS INCLUDES BUT IS NOT LIMITED TO ANSI A117.1-2009.
- ACCESSIBLE ROUTE WITHIN UNITS SHALL BE 36" MINIMUM. CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- PROVIDE WOOD BLOCKING ON ALL RESIDENTIAL TYPE A AND TYPE B UNITS IN BATHS AND AS INDICATED ON "TYPICAL PROJECT DETAILS" SHEETS. SEE A100 SERIES AND A500 SERIES SHEETS FOR TYPE A & B UNIT LOCATIONS AND LAYOUTS. ALL UNITS TO RECEIVE BLOCKING FOR GRAB BARS (TYPE A UNITS) AND FUTURE GRAB BARS (TYPE B UNITS). SEE "TYPICAL PROJECT DETAILS" SHEETS ON A100/01 FOR LENGTHS AND LOCATIONS OF GRAB BARS.
- PROVIDE WOOD BLOCKING NOT SHOWN OR SHOWN AS REQUIRED TO MOUNT MILKWORK, MEP DEVICES AND ALL FIXTURES.
- ALL DOOR OPENINGS INTO USABLE OCCUPIED ROOMS IN RESIDENTIAL AND PUBLIC AREAS SHALL BE MINIMUM 32 INCHES CLEAR OR GREATER.
- COORDINATE TRUSS LAYOUT AND DESIGN WITH MECHANICAL, ELECTRICAL, AND PLUMBING LAYOUT PRIOR TO FABRICATION. TRUSS SHOP DRAWINGS SHALL INDICATE PLUMBING LINES AND HVAC DUCTS. PROVIDE COORDINATION DRAWING TO ARCHITECT. FRAMING CONTRACTOR SHALL COORDINATE TRUSS FRAMING OFFSETS AS REQUIRED TO ACCOMMODATE SANITARY LINES AND OTHER MEP EQUIPMENT / FIXTURES.
- INSTALL ACOUSTIC BATT INSULATION AT PARTITIONS WITH PLUMBING STACKS, DEMISING WALLS AND FLOOR / CEILING ASSEMBLIES.
- NOT USED.
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS MUST BE INSULATED TO PROTECT AGAINST CONTACT, INCLUDING COLD WATER SUPPLIES. PROVIDE SPRAY FOAM INSULATION AT DEMISING AND EXTERIOR WALLS AT LOCATIONS AROUND PLUMBING INSTALLATIONS. PROVIDE A VALANCE AT AREAS WITH EXPOSED SINK DRAINS. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR REQUIREMENTS.
- HORIZONTAL OFFSETS IN PLUMBING DRAIN PIPES: PROVIDE ACOUSTIC PIPE INSULATION. REFER TO PLUMBING DRAWINGS.
- ALL RESIDENTIAL UNITS TO RECEIVE STANDARD SHOWER (TYPE B UNITS AND NON-ACCESSIBLE BATH IN TYPE A UNITS) OR ACCESSIBLE ROLL-IN SHOWER (ACCESSIBLE BATH IN TYPE A UNITS). BLOCKING FOR INSTALLATION OF GRAB BARS AND OTHER SHOWER FIXTURES TO BE FACED TO THE EXTERIOR. PREFABRICATED UNITS. WALL ROUGH FRAMING DIMENSION REQUIREMENTS MUST BE COORDINATED WITH SELECTED SHOWER UNIT. NOTE THAT THESE DIMENSIONS TEND TO VARY PER MANUFACTURER. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR LAYOUT OF SHOWER BLOCKING AND FIXTURES. SEE PLUMBING DRAWINGS FOR EXACT DIMENSIONS REQUIRED AND FIXTURE INFO.
- LAUNDRY ROOM DRYER VENTING LOCATIONS SHALL BE COORDINATED WITH ARCHITECT. ROUTING SHALL NOT EXCEED 35 FEET WITH ONLY ONE BEND. LABEL LENGTH OF ANY DRYER VENTING DUCT ON THE LAUNDRY ROOMS PER REQUIREMENT BY THE CITY OF COLUMBUS.
- PROVIDE LOOP PULLS ON ALL KITCHEN CASEWORK.
- RANGES IN TYPE A UNITS ARE DROP IN TYPE. SEE SPECIFICATIONS. PROVIDE CABINET BASE TO SUPPORT THE APPLIANCE AS REQUIRED TO ALIGN RANGE TOP WITH TOP OF COUNTERTOP.
- ALL MEP OPERABLE CONTROLS, FIXTURES, OUTLETS AND ALL OTHER RESIDENTIAL, TOILET OR UNIT ACCESSORIES SHALL NOT BE MOUNTED LOWER THAN 18 INCHES AFF AND HIGHER THAN 48 INCHES. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR ADDITIONAL MOUNTING REQUIREMENTS.
- ALL RESIDENTIAL UNIT MICROWAVES (TYPE B UNITS) AND RANGE HOODS (TYPE A UNITS) TO BE DUCTED AND VENTED TO THE EXTERIOR. SEE ELECTRICAL INFORMATION. INSTALL PER ENERGY STAR AND LEED REQUIREMENTS.
- PROVIDE COUNTER TYPE MICROWAVE IN ALL TYPE A UNIT KITCHENS.
- ALL UNIT APPLIANCES ARE INCLUDED. SEE SPECIFICATIONS. UNIT KITCHEN APPLIANCES TO BE STAINLESS STEEL AND ENERGY STAR-RATED.
- ALL UNIT PLUMBING FIXTURES TO BE VENTED TO THE EXTERIOR. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- FOR KITCHEN ELECTRIC OUTLET RECEPTACLES, THE MAXIMUM ALLOWABLE HEIGHT TO THE CENTERING OF AN OUTLET IS 45 INCHES AFF WHEN REACHING OVER AN OBSTRUCTION 36 INCHES HIGH MAXIMUM AND 25-1/2 INCHES DEEP MAXIMUM. OUTLETS MUST BE A MINIMUM OF 36 INCHES FROM AN INSIDE CORNER OR 12 INCHES FROM END WALL, DIM 5.5, 5.8.
- THERMOSTATS, SWITCHES, ELECTRIC OUTLETS, ELECTRICAL PANELBOARDS AND OTHER OPERABLE PARTS MUST BE LOCATED WITHIN AN ACCESSIBLE REACH RANGE FROM 15 INCHES TO 48 INCHES AFF FOR AN UNOBSTRUCTED REACH, DIM 5.5, ANSI 1003.8, 1004.3, 303.3, 305.
- ALL ELECTRICAL PANELS ON ALL RESIDENTIAL UNITS SHALL BE INSTALLED SO THE OPERABLE COMPONENTS ARE NOT HIGHER THAN 48 INCHES A.F.F. OR LOWER THAN 18 INCHES A.F.F.
- AT TYPE A UNITS, THE LOCATION OF CONTROLS FOR THE OVEN AND RANGE MUST NOT REQUIRE REACHING ACROSS THE BURNERS. ANSI 1003.12.5.4.4, 1003.12.5.4.4. SEE THE SPECIFICATIONS FOR APPLIANCE REQUIREMENTS.
- KITCHEN SINKS AT TYPE A UNITS SHALL INCLUDE REAR DRAINED SINKS TO ACCOMMODATE DISPOSALS. SINK BOWL SHALL NOT BE DEEPER THAN 6 1/2 INCHES.
- PROVIDE LEVER CONTROLS FOR ALL KITCHEN AND BATH FAUCETS.
- AT TYPE A UNITS, THE FLUSH CONTROL FOR THE WATER CLOSET WILL BE LOCATED ON THE OPEN SIDE (AWAY FROM THE SIDE WALL).
- WHERE REQUIRED, INSTALL ANY MEP DEVICES / FIXTURES SO THE INTEGRITY OF RATED WALL IS MAINTAINED. CONTINUE TYPE X GYPSUM BOARD ASSEMBLY BEHIND MEP DEVICE / FIXTURE.
- EXTEND FINISH FLOOR MATERIAL UNDER KITCHEN APPLIANCES, VANITY IN ALL BATHS AND UNDERNEATH REMOVABLE UNIVERSAL BASE CABINETS. ALL CABINET SURFACES VISIBLE INCLUDING AREAS EXPOSED AFTER REMOVING REMOVABLE BASE CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK. EXPOSED SIDES OF CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK.
- SIDES OF RANGE OR OPEN WORK AREAS BELOW BASE CABINETS MUST BE COVERED BY FINISHED END PANELS TO MATCH ADJACENT CASEWORK. EXPOSED SIDES OF WALL AND BASE CABINETS SHALL HAVE FINISH PANELS ON ALL EXPOSED TO VIEW.
- SEE "TYPICAL PROJECT DETAILS" SHEETS A810 & A820 AND SHEET A900 FOR EXTENT OF FINISHES AT ALL UNIT ENTRANCES.
- UNIT FURNITURE IN CONTRACT. SEE FRAM DRAWINGS FOR ADDITIONAL INFO.
- PROVIDE ONE MIRROR AND ONE MEDICINE CABINET FOR EACH UNIT BATH. MIRROR WIDTH AS SHOWN ON BATH ELEVATIONS. TYPICAL. SEE "TYPICAL PROJECT DETAILS" SHEETS FOR MOUNTING HEIGHT REQUIREMENTS AND DIMENSIONS REQUIRED FOR PLUMBING AND OTHER FIXTURES REQUIRED.
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- PROVIDE ONE LOOK VIEWER AT THE TYPE B UNIT ENTRY DOOR AND TWO DOOR VIEWERS AT THE TYPE A UNIT ENTRY DOOR.
- WIRE SHELVING SHALL BE PROVIDED FOR ENTIRE WIDTH OF THE CLOSET AS FOLLOWS: BEDROOM & COAT CLOSET (1 SHELF AND ROD FIXED), LINEN CLOSET (5 SHELF, ADJUSTABLE), UTILITY (1 SHELF, FIXED). SEE "TYPICAL PROJECT DETAILS" SHEETS FOR MOUNTING HEIGHT REQUIREMENTS.
- ALL RESIDENTIAL UNITS TO RECEIVE PLAM KITCHEN COUNTERTOPS WITH SUBWAY TILE BACKSPLASH. BATHS TO RECEIVE CULTURED MARBLE COUNTERTOPS WITH INTEGRAL BOWLS.
- IN TYPE A UNITS, ALL COUNTERTOPS TO BE SET AT 34 INCHES MAXIMUM HEIGHT TO THE TOP OF KITCHEN OR BATH / TOILET SINK RIM. ON TYPE B UNITS, ALL VANITY COUNTERTOPS TO BE SET AT 34 INCHES MAXIMUM HEIGHT TO THE TOP OF BATH SINK RIM.
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- UNITS MAY BE OPPOSITE HAND OF THOSE SHOWN ON ENLARGED UNIT PLANS AND RCPs. SEE OVERALL FLOOR PLANS FOR LOCATIONS AND ORIENTATION OF UNITS.

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
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FAX: (614) 280-8881

## DRAWING TITLE: ENLARGED UNIT PLANS - 2BED (TYPE B)

JAY W. BOONE  
REGISTERED PROFESSIONAL ENGINEER  
NO. 10740  
STATE OF OHIO

06/08/2023

DRAWN BY: Author    CHECKED BY: Checker

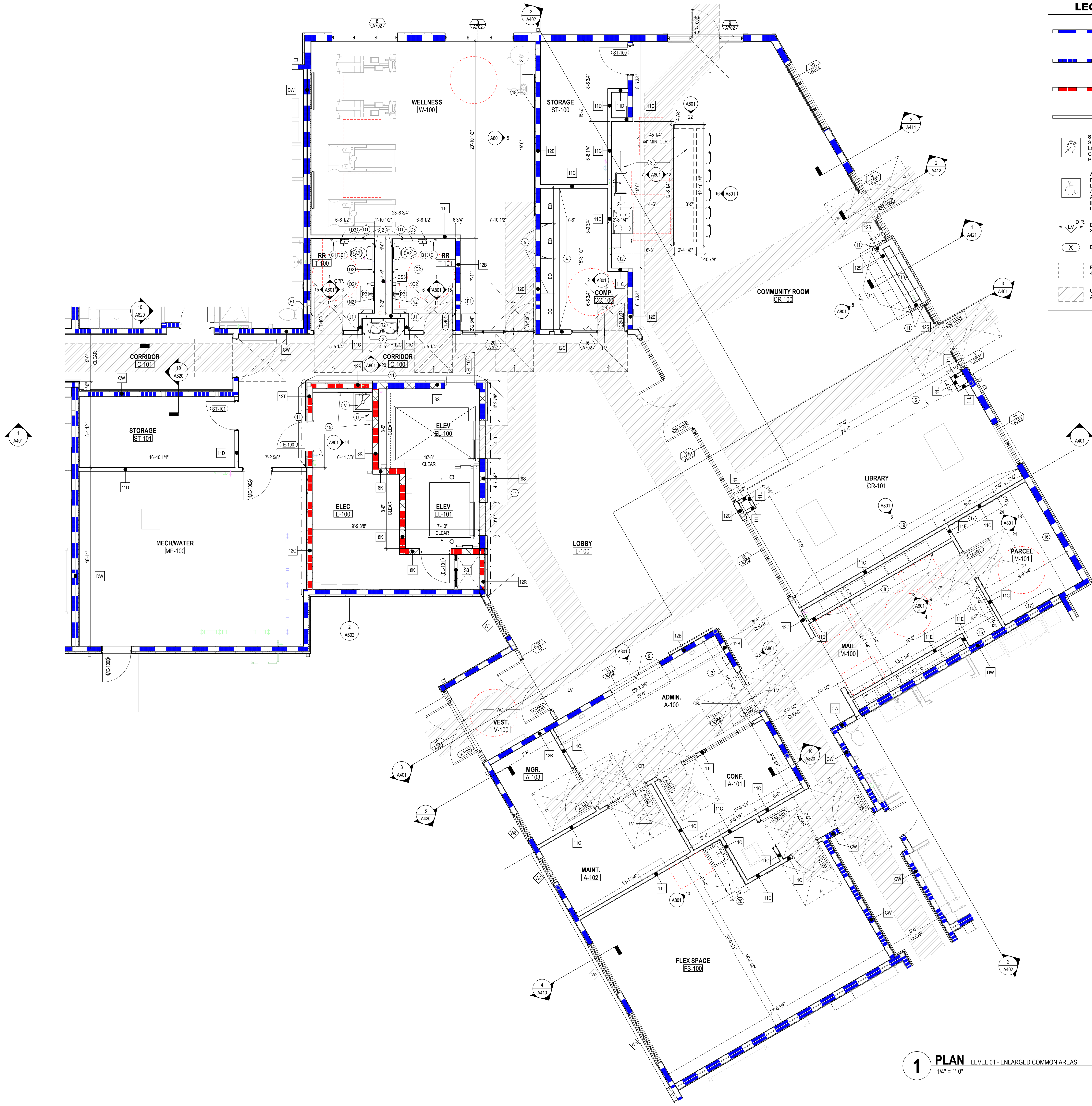
#22172.01

**A505**

PERMIT & BID SET

JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023





1 PLAN LEVEL 01 - ENLARGED COMMON AREAS  
1/4" = 1'-0"

### LEGEND - FLOOR PLAN

- 1 HOUR FIRE RATING - INCLUDING BUT NOT LIMITED TO EXTERIOR WALLS, UNIT DEMISING WALLS, STAIR & ELEVATOR WALLS, SHAFT WALLS.
- 1 HOUR FIRE RATING - CORRIDOR WALLS
- 2 HOUR FIRE RATING
- INTERIOR PARTITION
- SENSORY (HEARING / VISUALLY IMPAIRED) UNIT - SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP DRAWINGS FOR ADDITIONAL INFO.
- ANSI TYPE A UNIT - SEE OVERALL FLOOR PLANS FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. UNITS TO ALSO INCLUDE SENSORY (HEARING / VISUALLY IMPAIRED) UNIT FEATURES. SEE MEP DRAWINGS FOR ADDITIONAL INFO.
- DIRECTION OF INSTALLATION OF LVT FLOORING. SEE FINISH SCHEDULE FOR ADDITIONAL INFO.
- DOOR TYPE
- REQUIRED 30"x48" CLEAR FLOOR SPACE - 48" SHALL BE CENTERED AT APPLIANCES AND SINKS
- UNOBSTRUCTED CLEARANCE FOR PATH OF ACCESSIBLE MEANS OF EGRESS, MIN. 36" REQUIRED

### FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO FINISH FACE OF WALL (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F. - UNLESS NOTED OTHERWISE.
- LIGHTED AND LOW THRESHOLD (MAX. 1/4" BEVELED OR FLUSH) AT BUILDING ENTRY DOORS. PROVIDE ADA FORWARD APPROACH CLEARANCES AT ALL BUILDING ENTRY DOORS.
- ACCESSIBLE ROUTE WIDTH SHALL BE 36" MINIMUM, CONTINUOUS AND UNOBSTRUCTED, CONNECTING ACCESSIBLE ELEMENTS AND SPACES.
- ALL OCCUPIED ROOMS SHALL HAVE A 32" MINIMUM CLEARANCE AT DOORS.
- ALL UPPER LEVEL UNITS IN BUILDING ARE SERVED BY AN ELEVATOR.
- ALL UNITS ARE TYPICAL (ANSI TYPE B). U.N.O. SEE CHARGED UNIT FLOOR PLANS FOR UNIT TYPE AND ADDITIONAL INFORMATION.
- SOUND INSULATION IN ALL DEMISING WALLS AND FLOOR/CEILING ASSEMBLIES.
- MOISTURE-RESISTANT GYPSUM BOARD MUST BE USED ON ALL VERTICAL AND HORIZONTAL SURFACES THAT ARE WITHIN FOUR FEET OF ANY WATER SOURCES WHERE THE DRYWALL CAN BE SPLASHED, INCLUDING BUT NOT LIMITED TO KITCHEN SINK, TOILET CEILING & WALLS, MECHANICAL Closets, EXTERIOR STORAGE Closets, ETC.
- LOOP PULLS ON ALL KITCHEN CASEWORK.
- IN ALL TOILET ROOMS, REINFORCE WALLS WITH BLOCKING FOR INSTALLATION OF GRAB BARS.
- PROVIDE ANTI-SOILED FAUCETS WITH LEVER CONTROLS FOR ALL KITCHEN AND TOILET FAUCETS. REAR-DRAINED SINK AT PUBLIC KITCHEN.
- PROVIDE ENERGY STAR-RATED STAINLESS STEEL APPLIANCES AND WATERSENSE-RATED FIXTURES.

### CODED NOTE LEGEND

- MEMBRANE ROOFING SYSTEM.
- CERAMIC TILE TYPICAL. PROVIDE AND INSTALL SCHLUTER DILEX-HKU COVE-SHAPED FLOOR/WALL TRANSITION STRIP. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- TOP OF COUNTERTOPS AND SINK RIM TO BE AT 34 INCHES MAXIMUM AFF. PROVIDE AND INSTALL GRANITE COUNTER WITH COUNTERTOP METAL SUPPORTS IN PUBLIC KITCHENS AND PUBLIC COUNTER AREAS. PROVIDE AND INSTALL WALL HUNG PORCELAIN SINK WITH METAL SUPPORTS IN PUBLIC TOILETS. IN ALL PUBLIC AREAS WORK SPACES, PROVIDE INTERMEDIATE SUPPORTS AND AT ALL PUBLIC SINKS PROVIDE VALANCE OR PLUMBING PROTECTION WRAP.
- TOP OF COMPUTER ROOM TABLE TO BE AT 30 INCHES MAXIMUM AFF. PROVIDE AND INSTALL P-LAM COUNTER WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED. COORDINATE LOCATIONS OF GROMMETS WHERE NECESSARY FOR COMPUTER CORDS WITH OWNER.
- DESK DIVIDER. TBD.
- PROJECTION OF FLOOR ABOVE (DASHED)
- FINISHED END PANEL, TYPICAL.
- METAL MAILBOXES AND PARCEL BOXES AS SHOWN IN FLOOR PLANS. DESIGN BASED ON FLORENCE CORPORATION MAILBOXES OR EQUAL. BOTTOM OF UNIT SHALL NOT BE MOUNTED LOWER THAN 15 INCHES AFF. AND TOP OF THE HIGHEST KEY HOLE SHALL NOT BE MOUNTED HIGHER THAN 48 INCHES AFF. SEE DETAIL SA820 FOR MORE INFORMATION.
- GLASS TRANSACTION RECEPTION COUNTER WINDOW. TOP OF COUNTERTOP TO BE AT 30 INCHES MAXIMUM AFF. PROVIDE AND INSTALL GRANITE COUNTER WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED. SEE WINDOW ELEVATION A702 & INTERIOR DETAILS SHEET A722 FOR MORE INFO.
- FIREPLACE INSERT INSTALLED PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS. SEE MECH. DWGS FOR INFO. SEE DETAIL ON A421.
- INTERIOR STONE VENEER SYSTEM. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- OWNER PROVIDED COFFEE MAKER.
- THROUGH-WALL MAIL/RENT DROP BOX. SEE SPECIFICATIONS.
- WALL MOUNTED BULLETIN BOARD.
- FIBERGLASS REINFORCED PANELING, TYPICAL. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- TOP OF MAIL/ PARCEL ROOM COUNTER TO BE AT 34 INCHES MAXIMUM AFF. PROVIDE AND INSTALL P-LAM COUNTER WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED.
- ADJUSTABLE P-LAM SHELVING AND WALL-MOUNTED METAL BRACKETS. SEE SPECIFICATIONS.
- WALL MOUNTED MIRRORS, (5) 3' WIDE X 5' HIGH, MOUNTED @ 1'-6" AFF.
- LIBRARY CASEWORK. REFER TO INTERIOR DETAILS.
- TOP OF FLEX SPACE COUNTER TO BE AT 34 INCHES MAXIMUM AFF. PROVIDE AND INSTALL P-LAM COUNTER AND 4" BACKSPLASH (FRONT & SIDE) WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED.

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

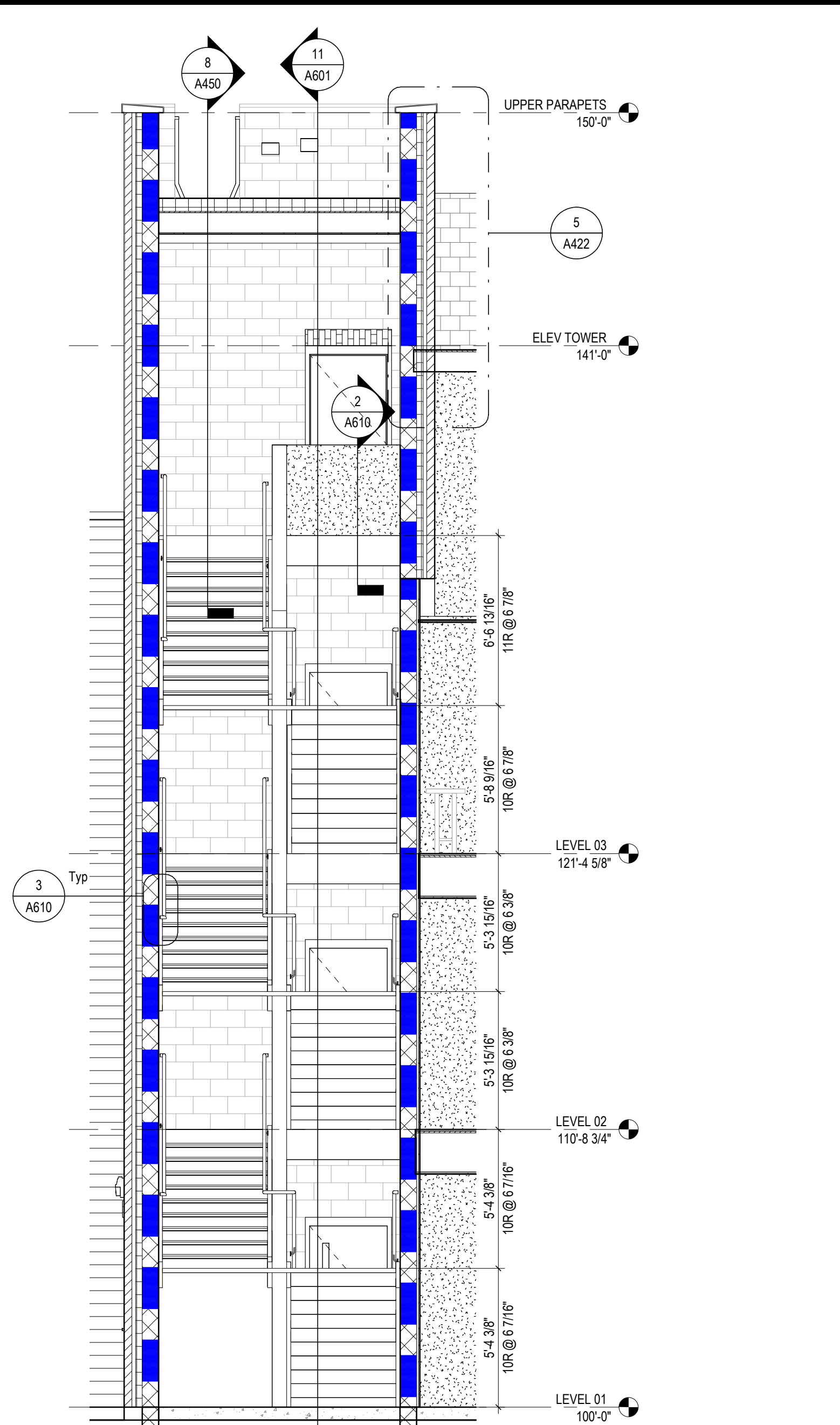
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**ENLARGED PLANS - LEVEL 01  
COMMON AREAS**

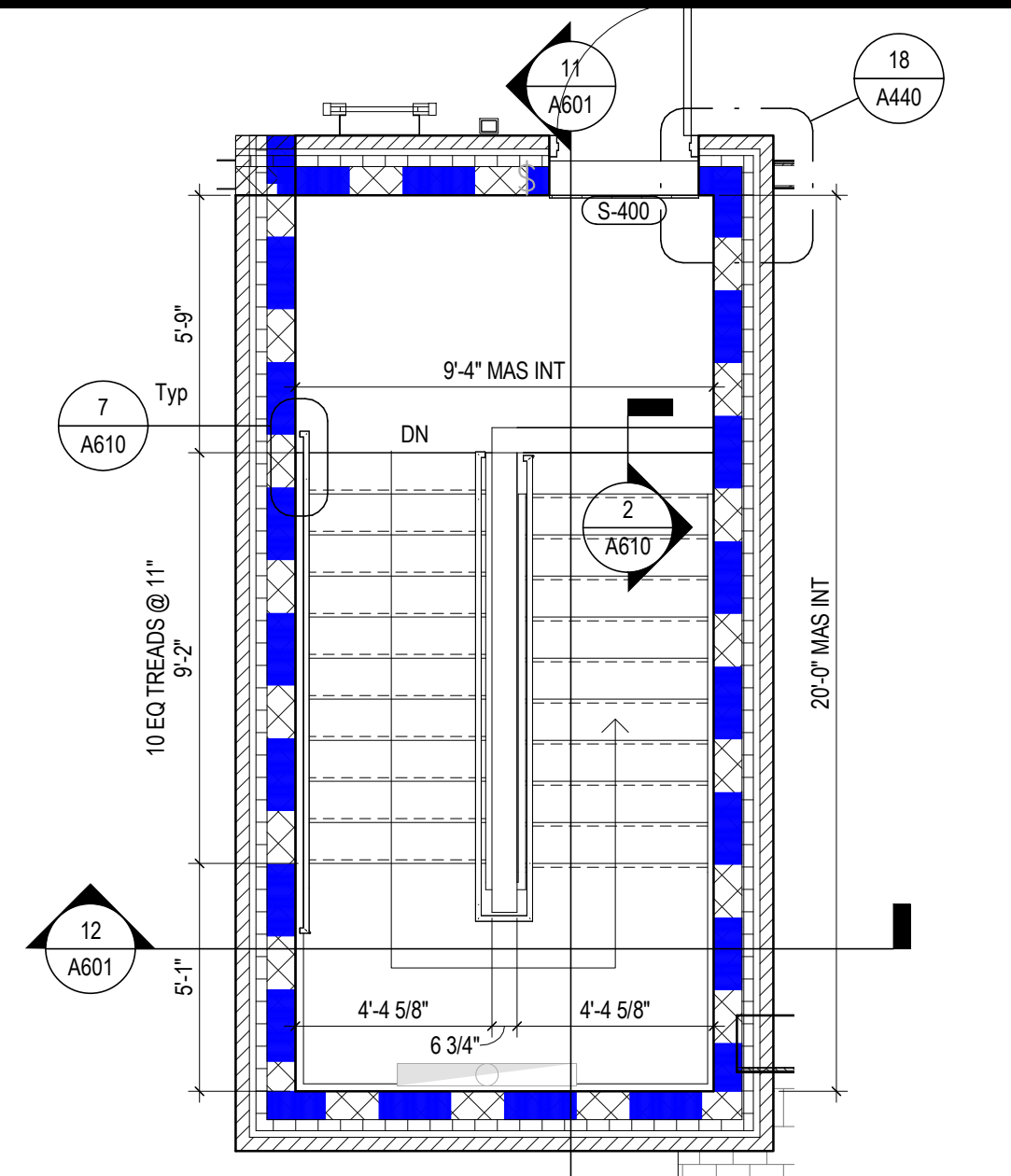
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: XXXX  
CHECKED BY: XXXX  
#221212.01  
**A506**  
PERMIT & BID SET

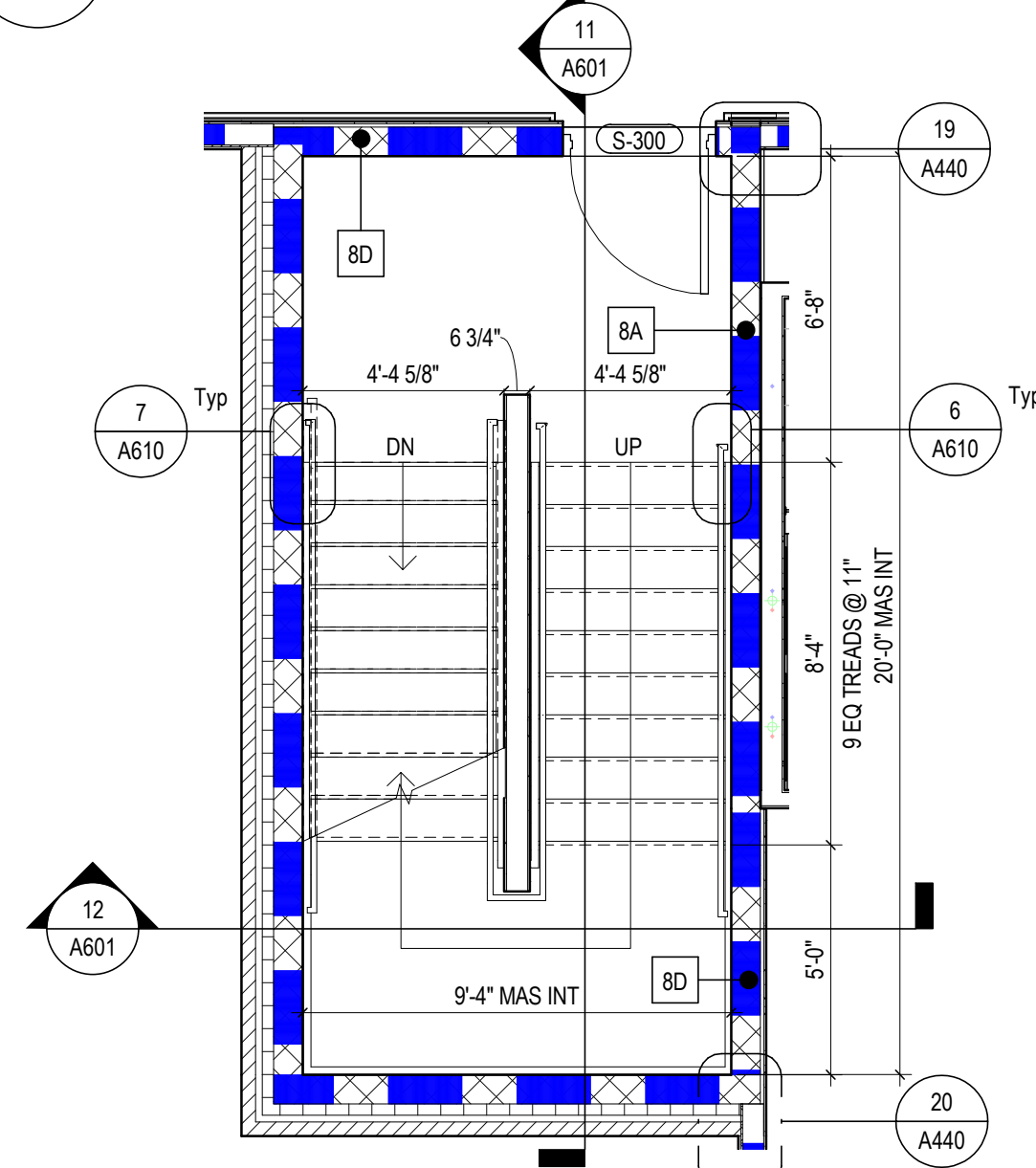




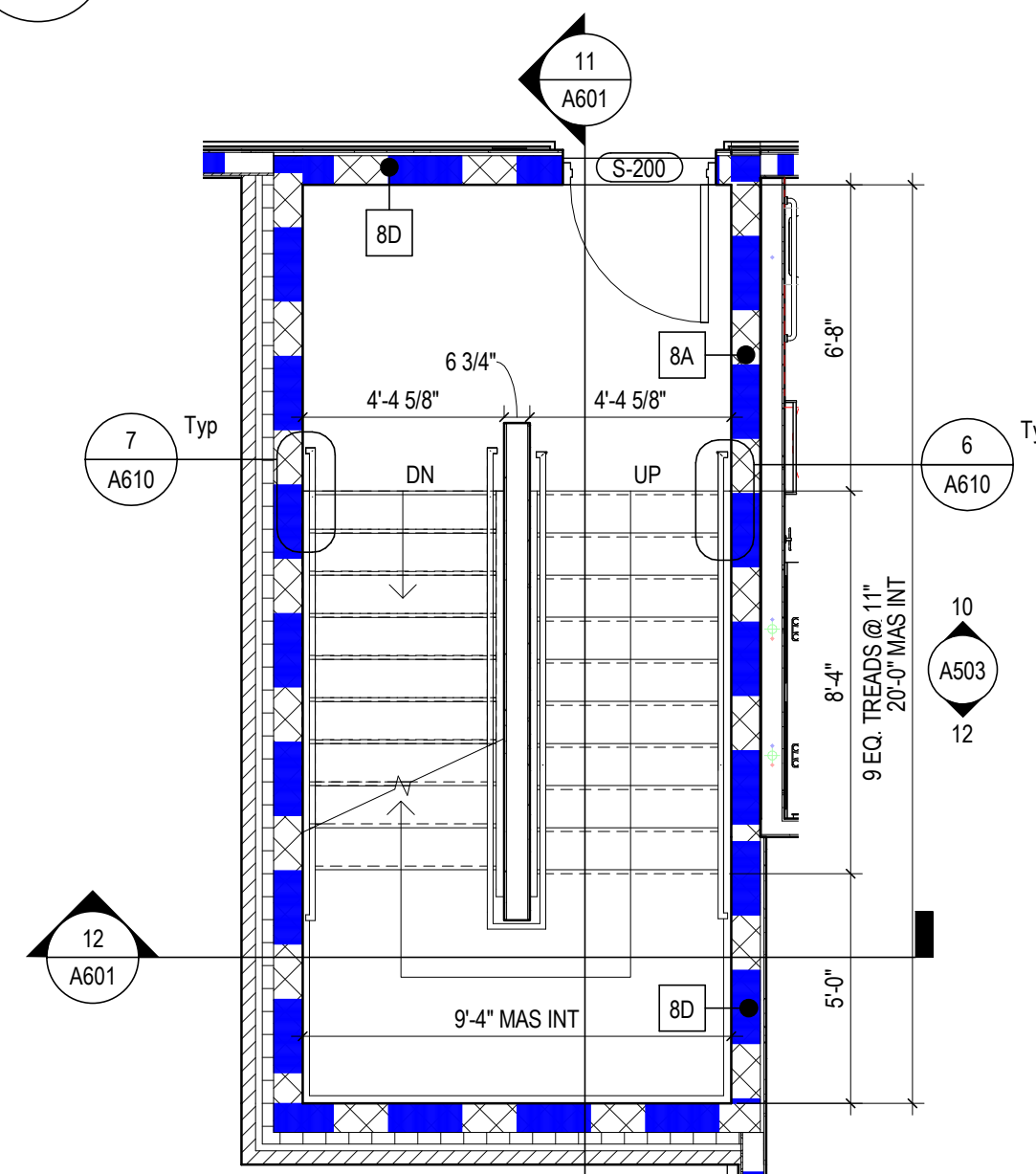
**12 SECTION** WEST STAIRWELL - N/S SECTION  
1/4" = 1'-0" REF: 7 / A601



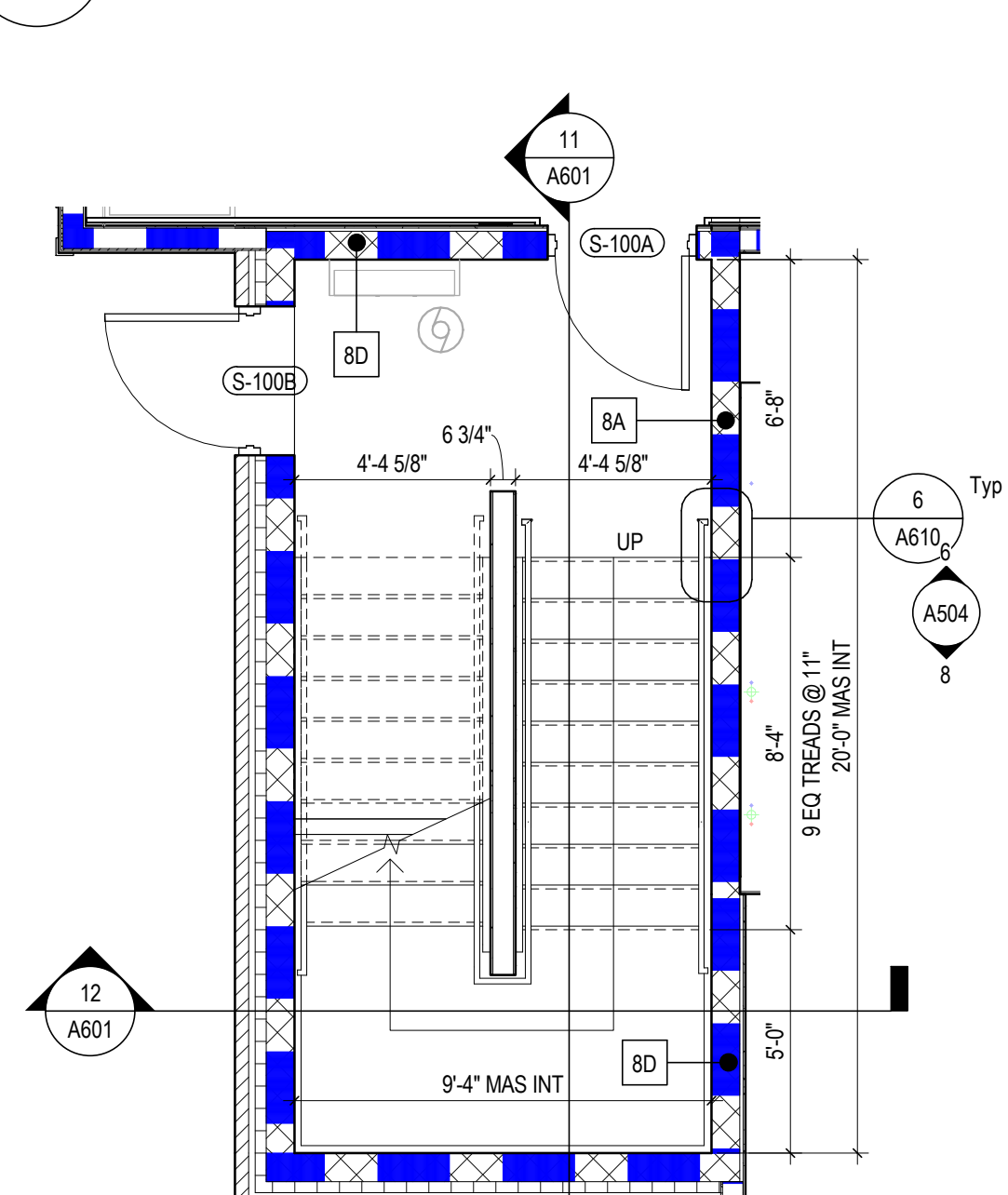
**10 ENLARGED PLAN** ROOF - WEST STAIRWELL  
1/4" = 1'-0"



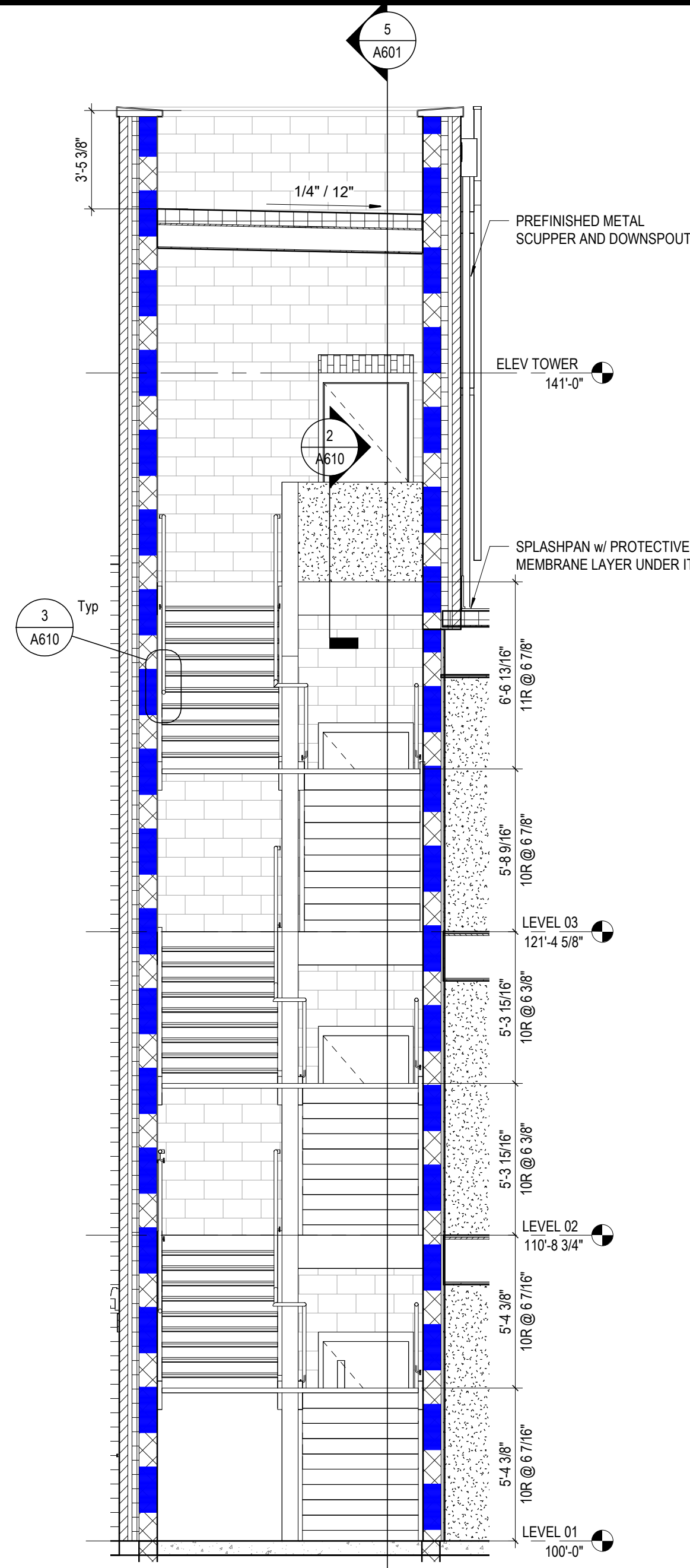
**9 ENLARGED PLAN** LEVEL 03 - WEST STAIRWELL  
1/4" = 1'-0" REF: 1 / A103A



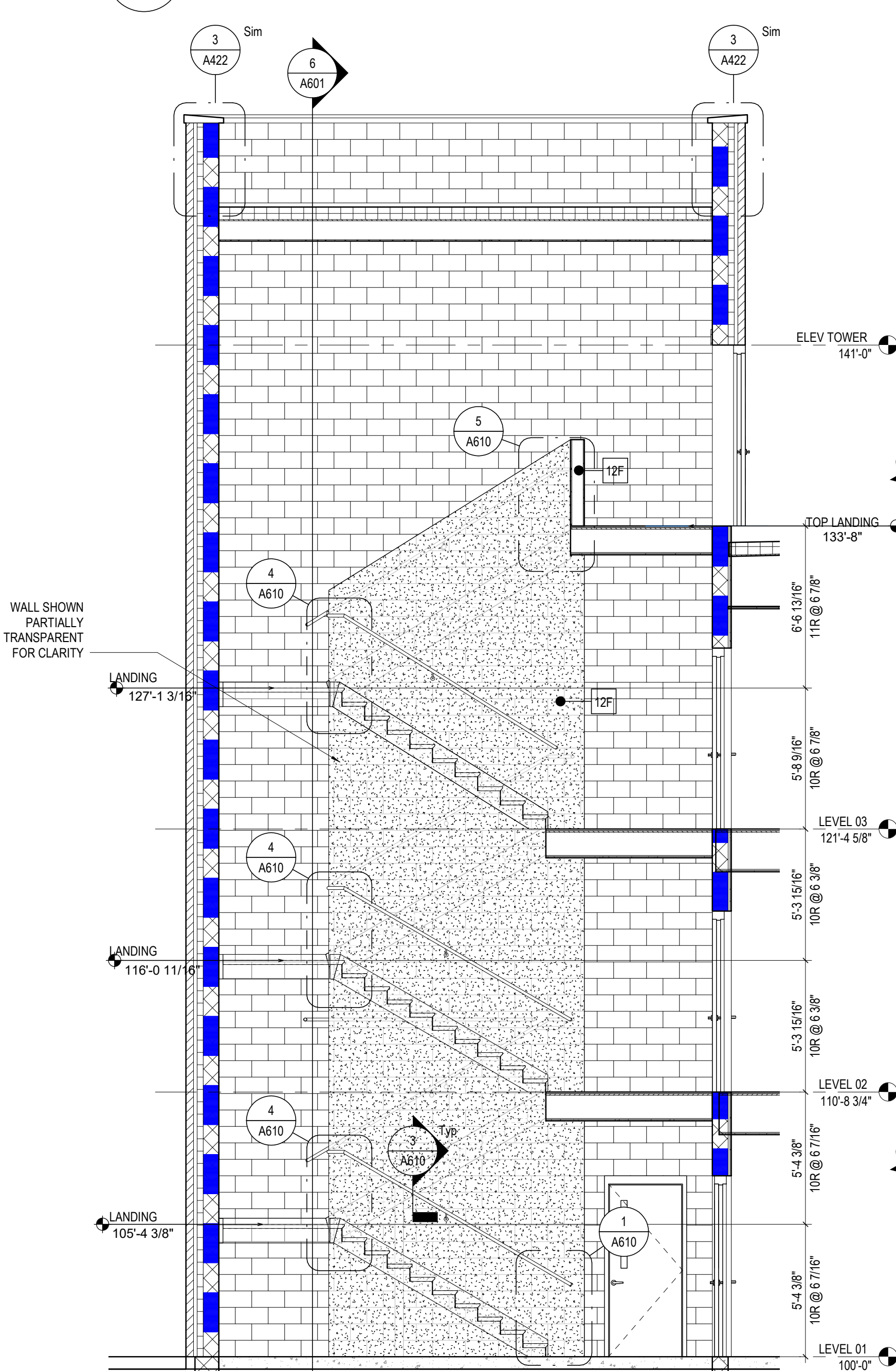
**8 ENLARGED PLAN** LEVEL 02 - WEST STAIRWELL  
1/4" = 1'-0" REF: 1 / A102A



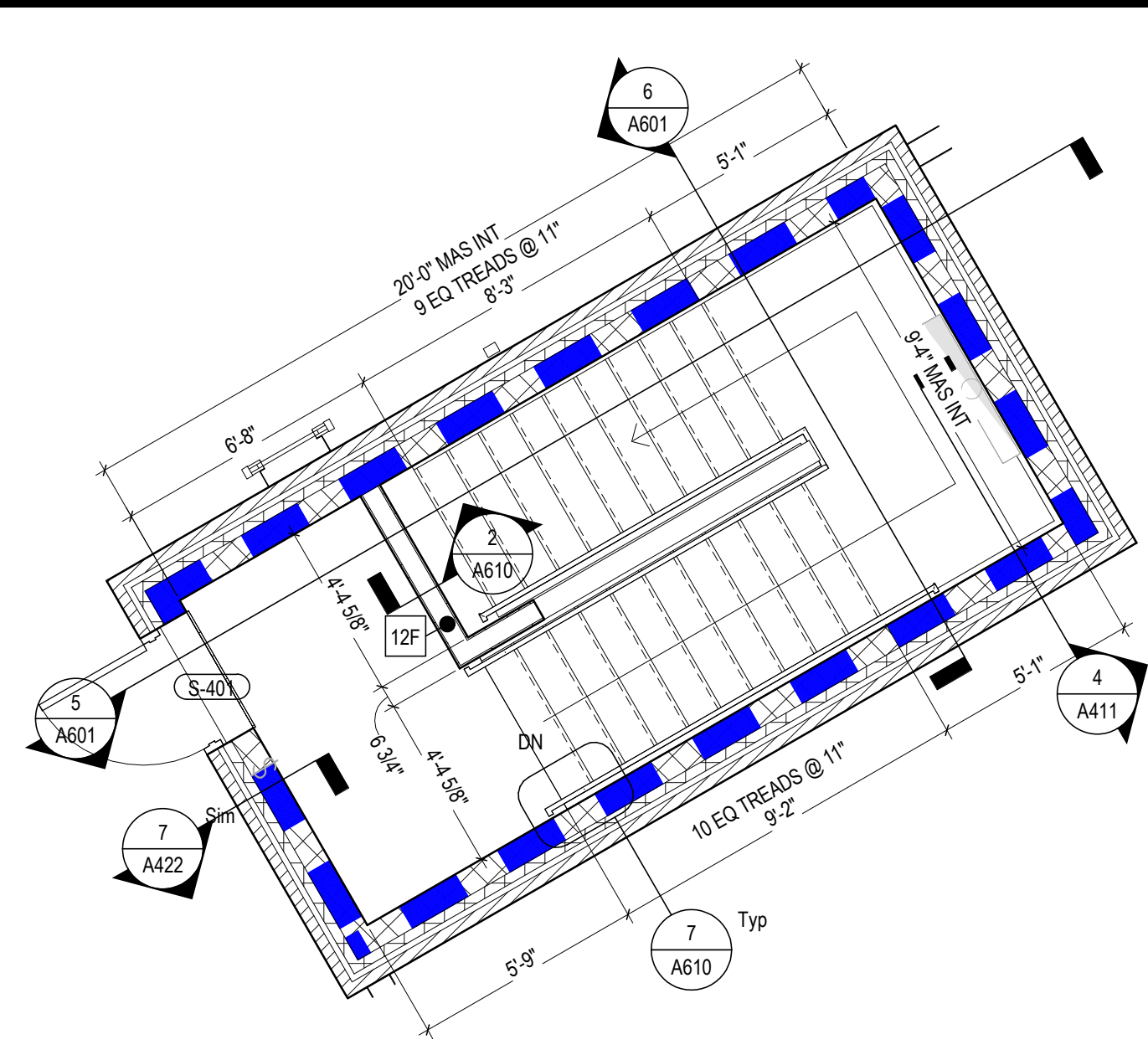
**7 ENLARGED PLAN** LEVEL 01 - WEST STAIRWELL  
1/4" = 1'-0" REF: 1 / A101A



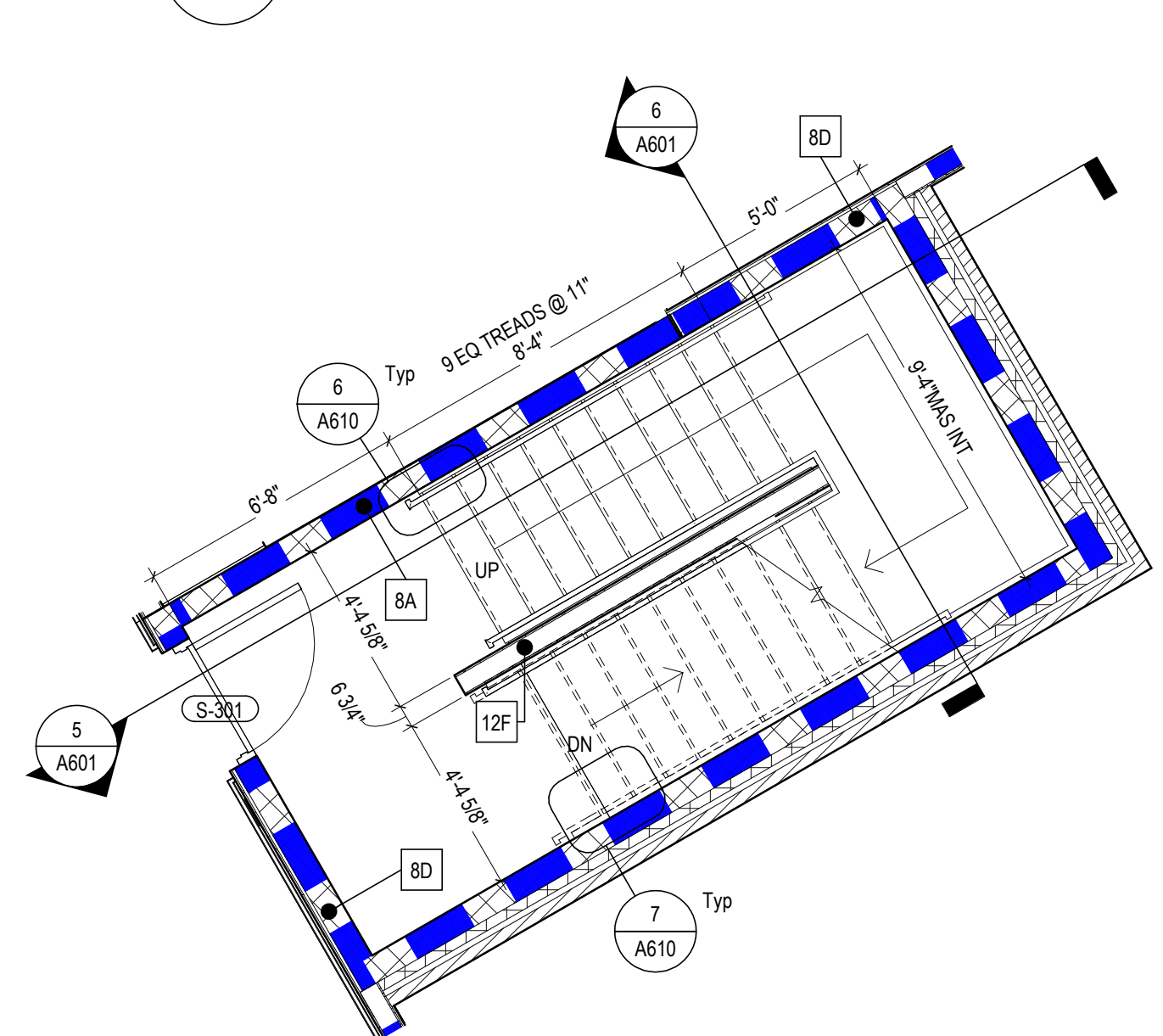
**6 SECTION** EAST STAIRWELL - 2  
1/4" = 1'-0" REF: 1 / A601



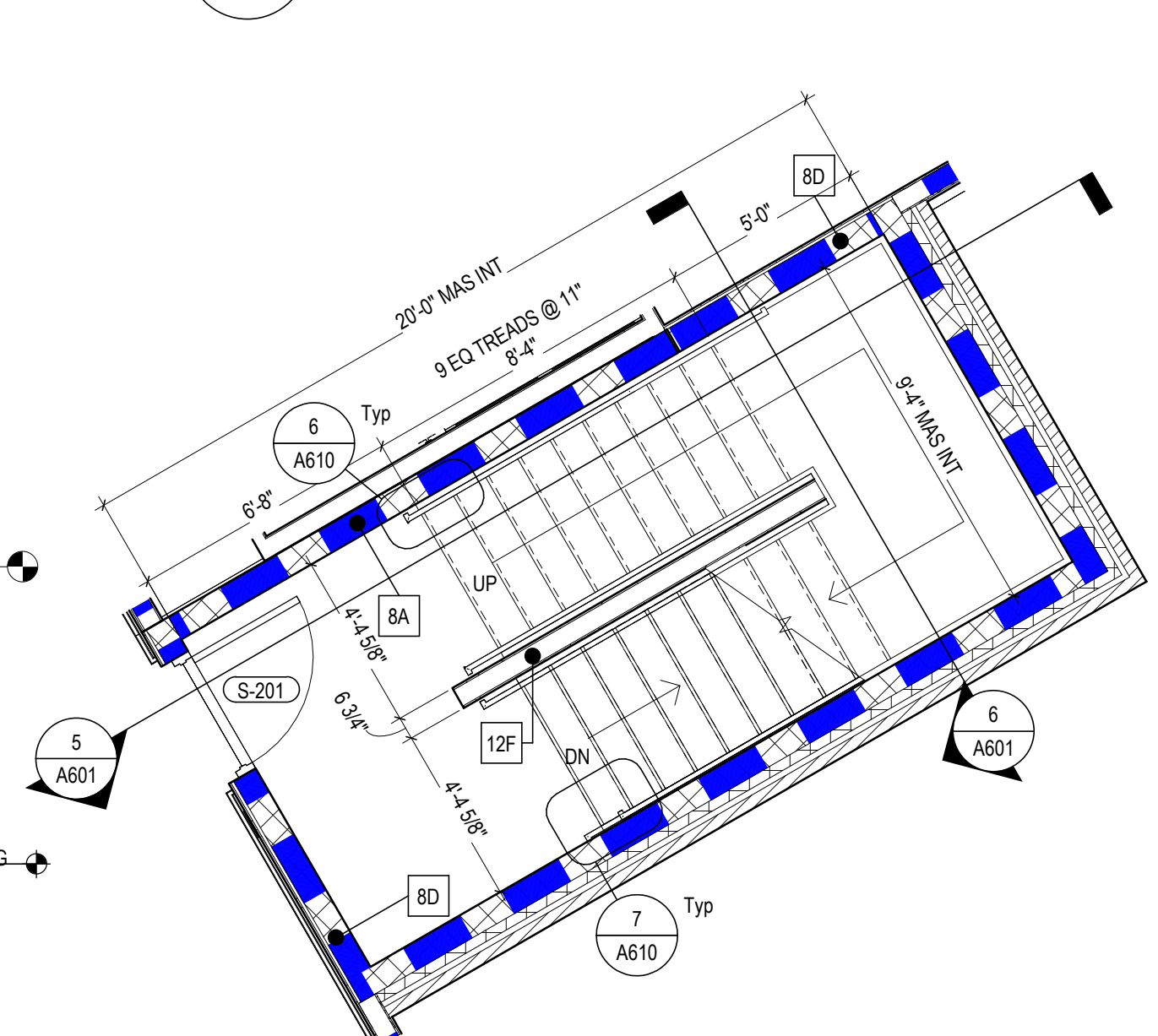
**5 SECTION** EAST STAIRWELL - 1  
1/4" = 1'-0" REF: 1 / A601



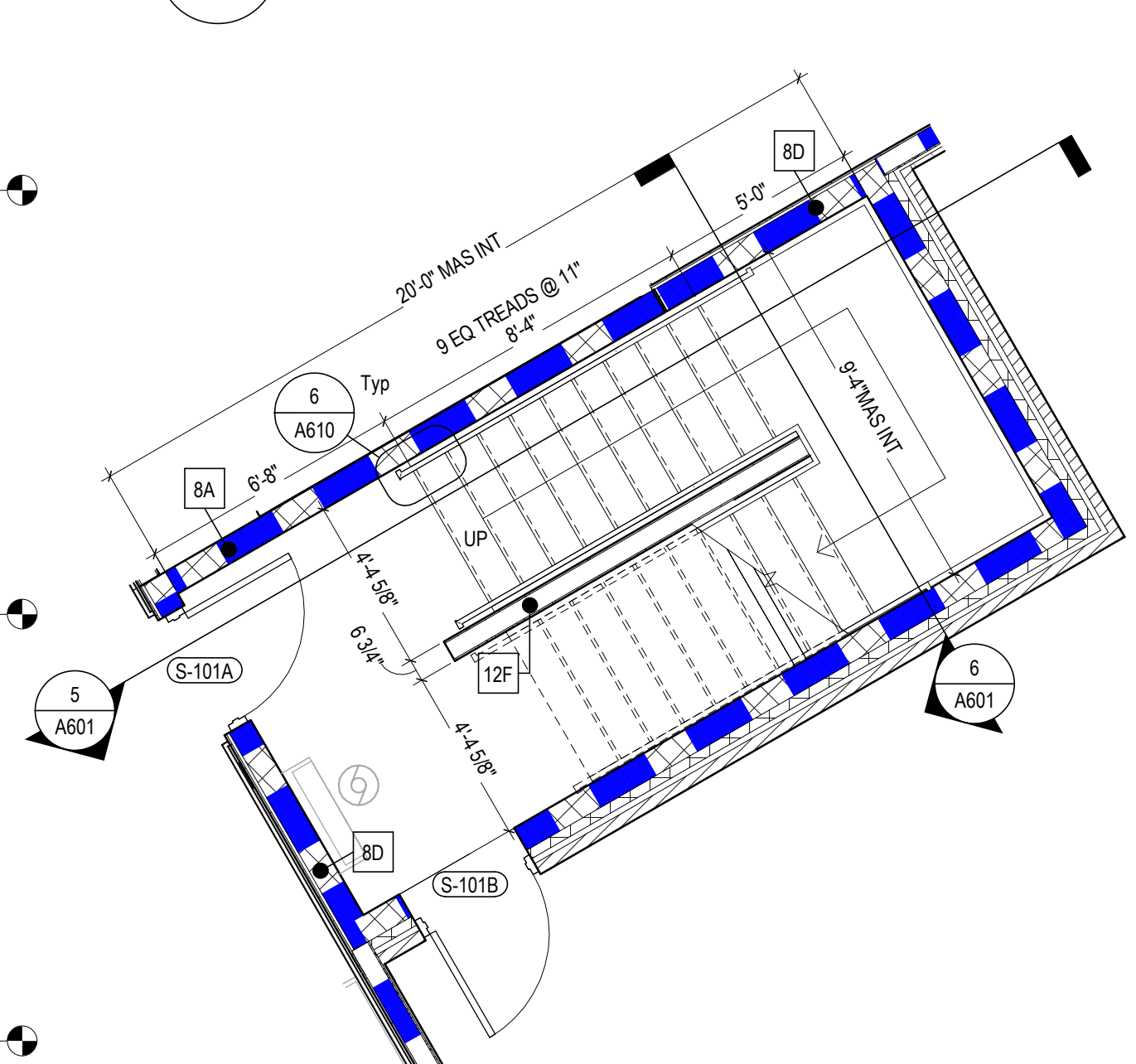
**4 ENLARGED PLAN** ROOF - EAST STAIRWELL  
1/4" = 1'-0"



**3 ENLARGED PLAN** LEVEL 03 - EAST STAIRWELL  
1/4" = 1'-0" REF: 1 / A103A



**2 ENLARGED PLAN** LEVEL 02 - EAST STAIRWELL  
1/4" = 1'-0" REF: 1 / A102A



**1 ENLARGED PLAN** LEVEL 01 - EAST STAIRWELL  
1/4" = 1'-0" REF: 1 / A101A

- STAIRS GENERAL NOTES**
- FRAMING AND SUPPORT FOR LANDINGS AND STAIRS TO BE DESIGNED BY STAIR FABRICATOR IN COMPLIANCE WITH THE LOADING REQUIREMENTS SHOWN ON THE STRUCTURAL SHEETS AND LOCAL CODES.
  - REFER TO STRUCTURAL FOR ALL STAIRWAY SHAFT FRAMING LOCATIONS AND ACTUAL SIZES OF MEMBERS.
  - ALL INTERIOR STAIR METAL COMPONENTS TO BE SHOP PRIME - REFER TO FINISH SCHEDULE FOR FINISH PAINTING.
  - STAIR PLANS AND SECTIONS SHOW STAIR STRINGER DIMENSIONED 2" ACTUAL STRINGER SIZE TO BE DETERMINED BY STAIR PROVIDER.
  - PROVIDE INTERIOR STAIRWAY SIGNAGE DESIGNATING THE FOLLOWING LEVEL TERMINUS OF TOP AND BOTTOM OF ENCLOSURE. STAIR IDENTIFICATION, STORY OF AND DIRECTION OF EXIT DISCHARGE, ROOF ACCESS AVAILABILITY. LOCATE SIGNAGE 5'-0" ABOVE FLOOR LANDING IN A POSITION READILY VISIBLE WHEN DOOR IS OPENED OR CLOSED.
  - EXTEND ALL INTERIOR STAIR SHAFT PARTITIONS TO ROOF DECK ABOVE AND MAINTAIN THE DESIGNATED HOUR FIRE RATINGS.
  - PROVIDE HANDRAIL AT BOTH SIDES OF STAIRS AND RETURN HANDRAIL ENDS WALL (WHERE ADJACENT).

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

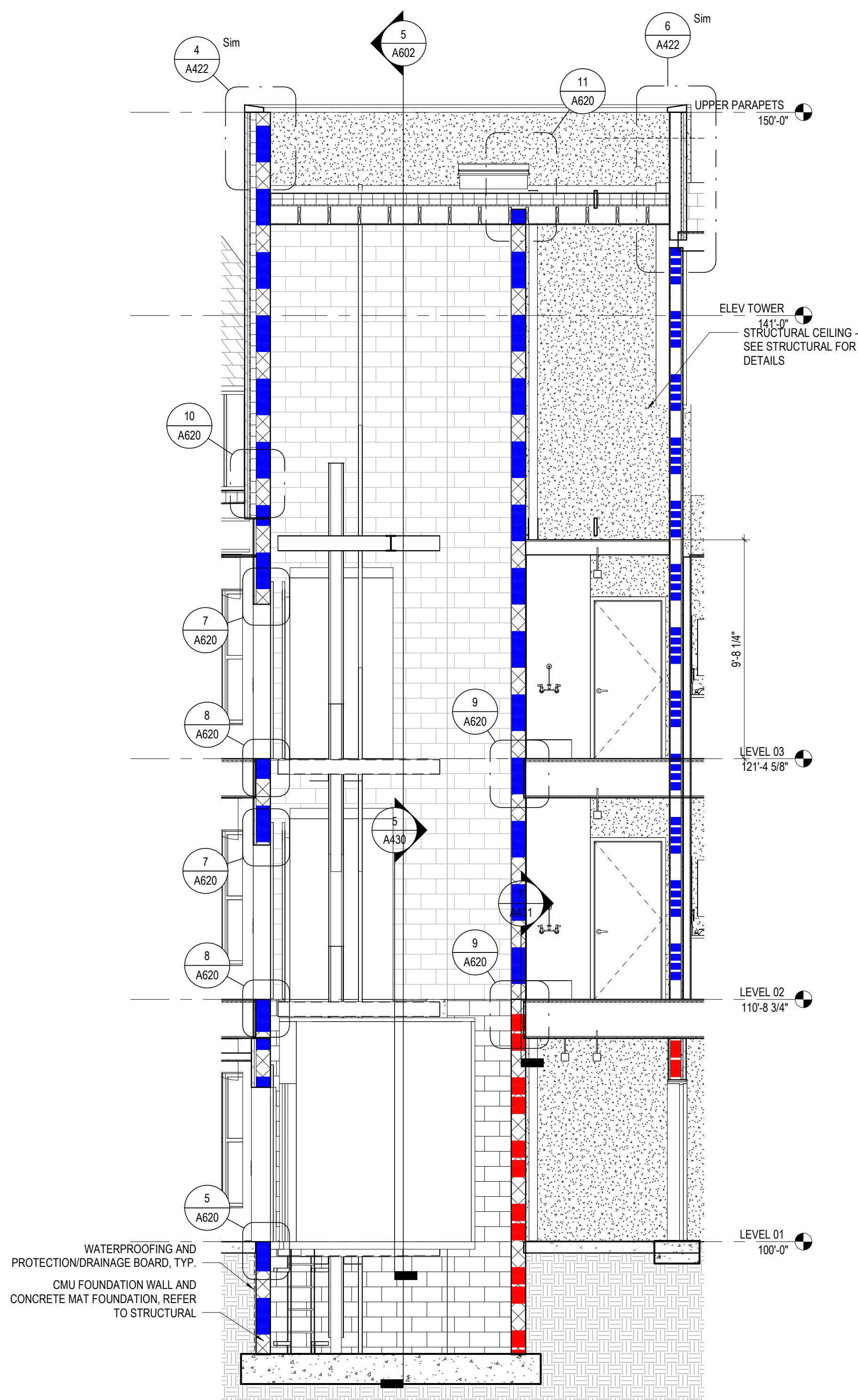
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**VERTICAL CIRCULATION - STAIRS**

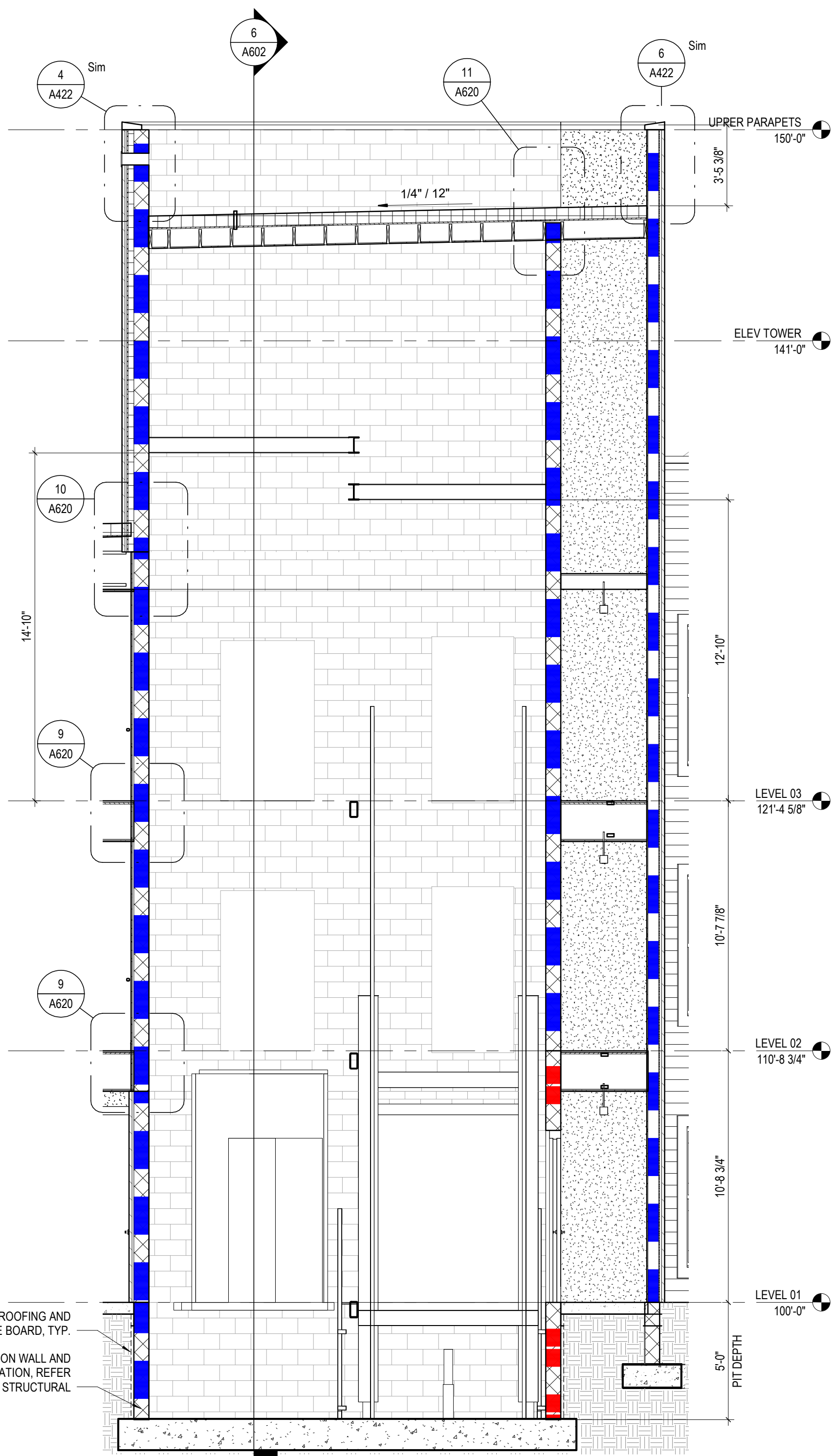
STATE OF OHIO  
JAY W. BOONE  
REGISTERED ARCHITECT  
10740

06/08/2023  
DRAWN BY: CB  
CHECKED BY: XXX  
#22172.01  
**A601**  
PERMIT & BID SET

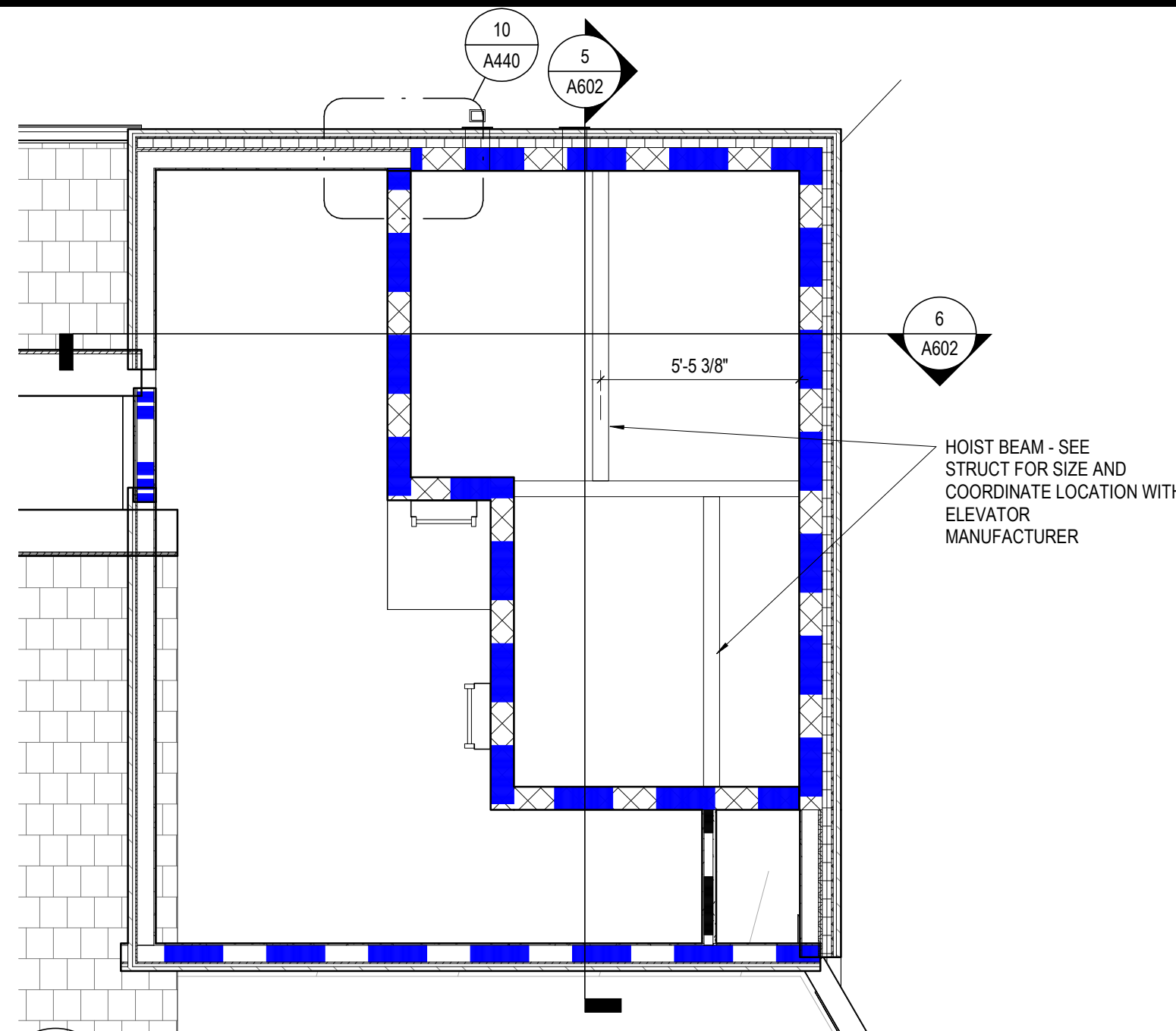




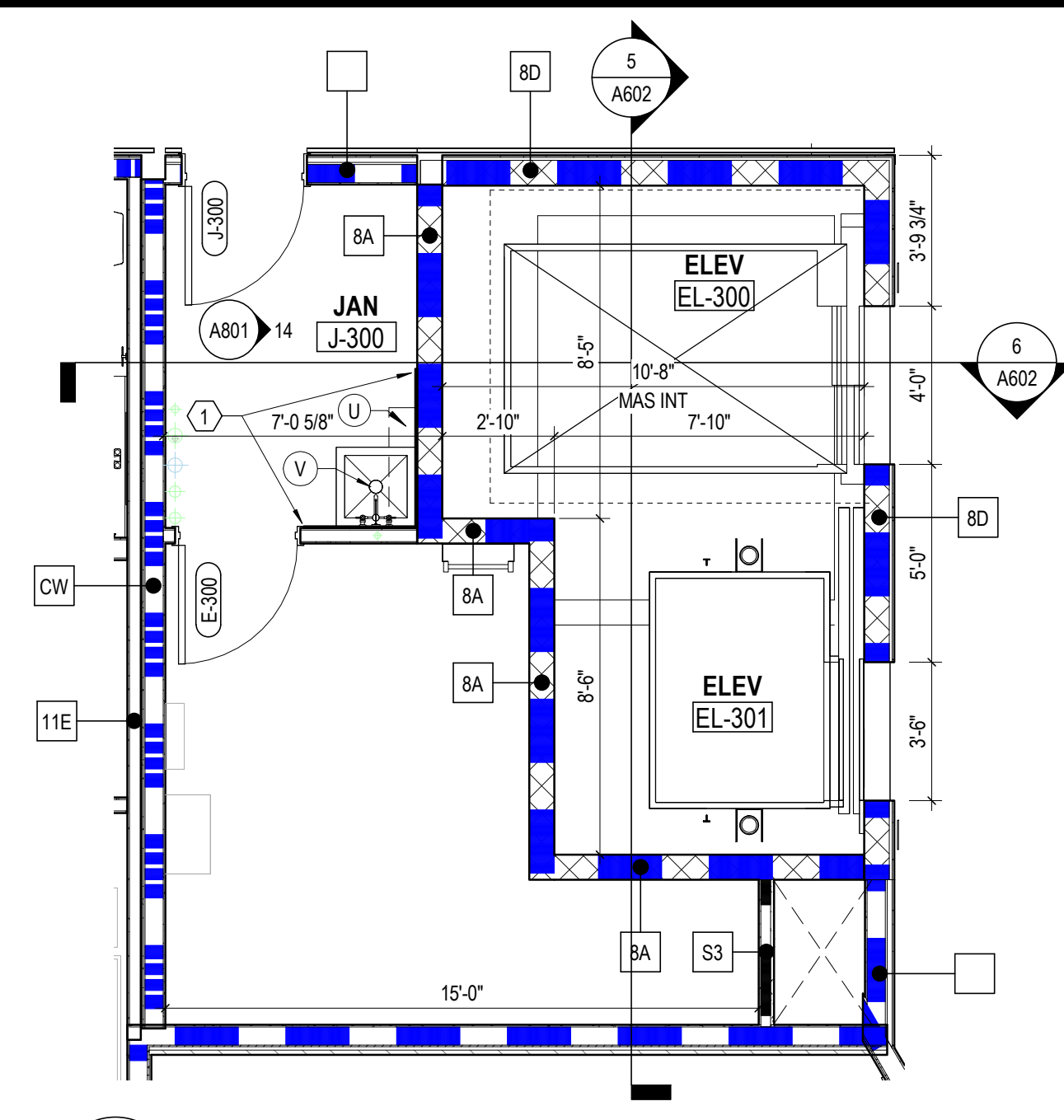
**6 SECTION** ELEVATOR - N/S SECTION  
1/4" = 1'-0"  
REF: 2 / A602



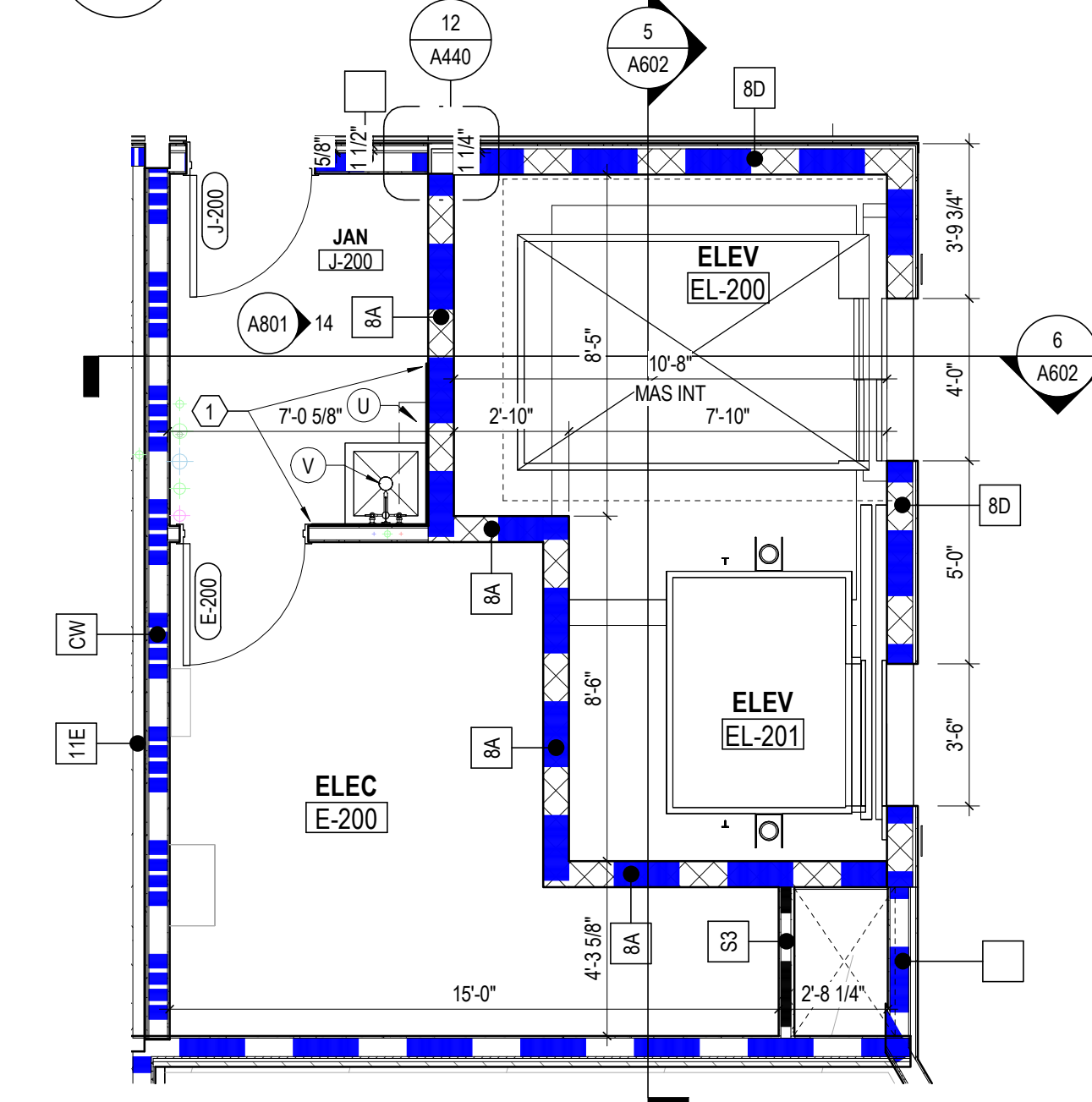
**5 SECTION** ELEVATOR - E/W SECTION  
1/4" = 1'-0"  
REF: 2 / A602



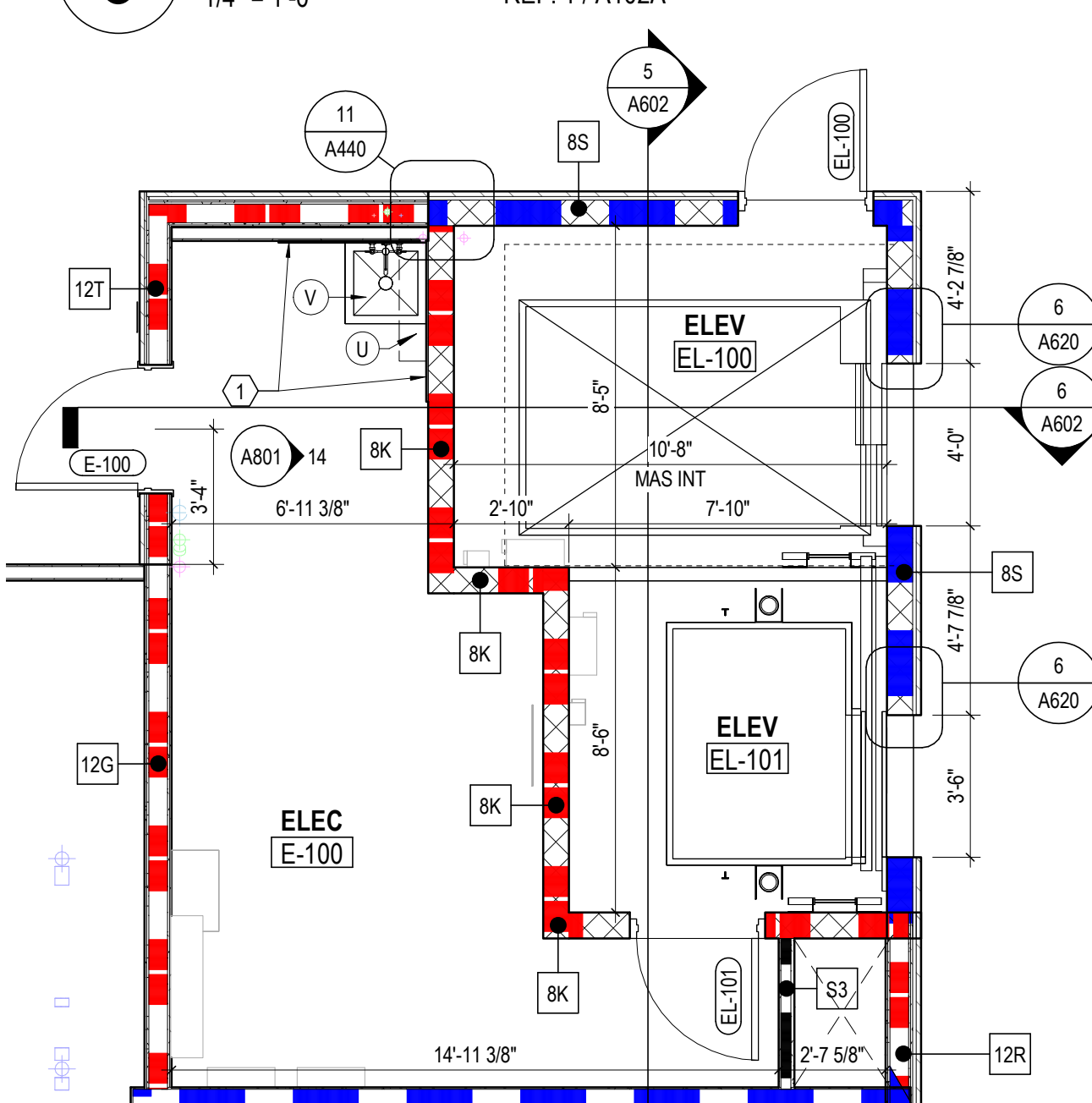
**7 ENLARGED PLAN** ROOF PLAN - ELEVATOR  
1/4" = 1'-0"  
REF: 1 / A3.1



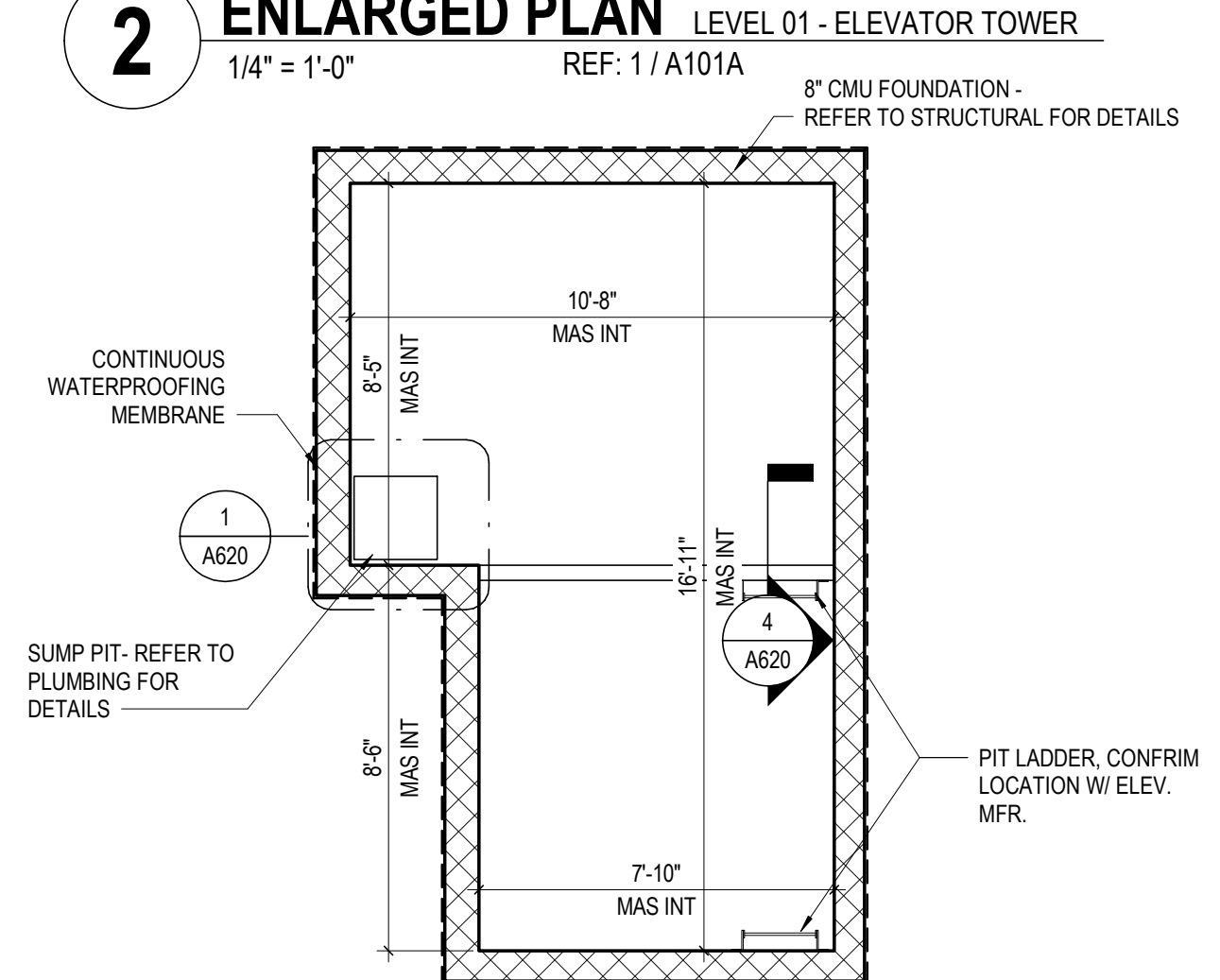
**4 ENLARGED PLAN** LEVEL 03 - ELEVATOR TOWER  
1/4" = 1'-0"  
REF: 1 / A103A



**3 ENLARGED PLAN** LEVEL 02 - ELEVATOR TOWER  
1/4" = 1'-0"  
REF: 1 / A102A



**2 ENLARGED PLAN** LEVEL 01 - ELEVATOR TOWER  
1/4" = 1'-0"  
REF: 1 / A101A



**1 ENLARGED PLAN** ELEVATOR PIT Copy 1  
1/4" = 1'-0"

## ELEVATOR GENERAL NOTES

- COORDINATE ELEVATOR OPENING LOCATIONS AND SIZE WITH SPECIFIC ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION OF ELEVATOR SHAFTS.
- FIELD VERIFY ELEVATOR FINISH FLOOR ELEVATIONS AND FIELD CONDITIONS PRIOR TO FABRICATION / INSTALLATION.
- REFER TO STRUCTURAL FOR ALL STEEL LOCATIONS AND ACTUAL SIZES.
- ALL UNPAINTED METAL FRAMING OR COMPONENTS THAT ARE EXPOSED OR ADJACENT TO EXTERIOR CONDITIONS TO BE GALVANIZED.
- REFER TO PLUMBING SHEETS FOR ELEVATOR SUMP LOCATION. COORDINATE WITH ARCHITECTURAL SUMP DETAILS ON ELEVATOR DETAIL SHEETS. COORDINATE REQUIREMENTS WITH ELEVATOR MANUFACTURER'S FINAL SHOP DRAWINGS.
- PROVIDE A TWO-WAY COMMUNICATION SYSTEM AT EACH ELEVATOR LANDING. TYP. COORDINATE FINAL LOCATION OF DEVICE WITH ARCHITECT IN THE FIELD. REFER TO MEP.
- ELEVATOR DOORS AND FRAMES: COORDINATE ROUGH OPENING AND ALL DIMENSIONS WITH FINAL MANUFACTURER'S REQUIREMENTS AND STRUCTURAL DRAWINGS.
- SEE CODE PLANS FOR ACCESSIBLE MEANS OF EGRESS REQUIREMENTS.
- VERIFY ELEVATOR PIT DEPTH WITH SELECTED ELEVATOR SUPPLIER. ELEVATOR PIT TO BE CONTINUOUSLY WATERPROOFED AT ALL SIDES BELOW GRADE.

## ELEVATOR CODED NOTES

- FIBERGLASS REINFORCED PANELING, TYPICAL. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.

**CONFIRM ALL ELEVATOR  
HOISTWAY & PIT  
REQUIREMENTS WITH  
ELEVATOR PROVIDER**

**ELEVATOR BASIS OF DESIGN:  
OTIS HYDROFIT 3512 & 4512  
3500# PASSENGER  
4500# HOSPITAL  
REFER TO SPECS**

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**VERTICAL CIRCULATION -  
ELEVATOR**

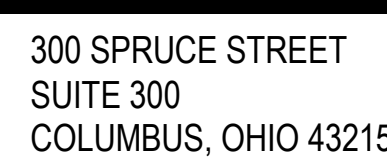
	06/08/2023
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	#22172.01
	<b>A602</b>
JAY W. BOONE, LIC. #10740 EXP. DATE: 12/31/2023	PERMIT & BID SET





- | STAIRS GENERAL NOTES |   |
|----------------------|---|
| A.                   | FRAMING AND SUPPORT FOR LANDINGS AND STAIRS TO BE DESIGNED BY STAIR FABRICATOR IN COMPLIANCE WITH THE FOLLOWING REQUIREMENTS SHOWN ON THE STRUCTURAL SHEETS AND LOCAL CODES.  |
| B.                   | REFER TO STRUCTURAL FOR ALL STAIRWAY SHAFT FRAMING LOCATIONS AND ACTUAL SIZES OF MEMBERS.   |
| C.                   | ALL INTERIOR STAIR METAL COMPONENTS TO BE SHOP PRIME - REFER TO FINISH SCHEDULE FOR FINISH PAINTING   |
| D.                   | STAIR PLANS AND SECTIONS SHOW STAIR STRINGER DIMENSIONED 2" ACTUAL STRINGER SIZE TO BE DETERMINED BY STAIR PROVIDER.  |
| E.                   | PROVIDE INTERIOR STAIRWAY SIGING DESIGNATING THE FOLLOWING LEVEL TERMINUS OF TOP AND BOTTOM OF ENCLOSURE: STAIR IDENTIFICATION: STAIR TYPE AND DIRECTION OF EXIT DISCHARGE: ROOF ACCESS AVAILABILITY: LOCAL CODES AND ABOVE FOR LANDING AREA TO PLANS READY: VISIBLE WHEN DOOR IS OPENED OR CLOSED. |
| F.                   | EXTEND ALL INTERIOR STAIR SHAFT PARTITIONS TO ROOF DECK ABOVE AND MAINTAIN THE DESIGNATED HOUR FIRE RATING.   |
| G.                   | PROVIDE HANDRAIL AT BOTH SIDES OF STAIRS AND RETURN HANDRAIL ENDS WALL (WHERE ADJACENT)   |

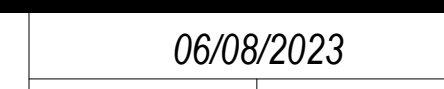
#	DATE	CHANGE DESCRIPTION



PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE

## STAIR DETAILS



#22172.0

AC10

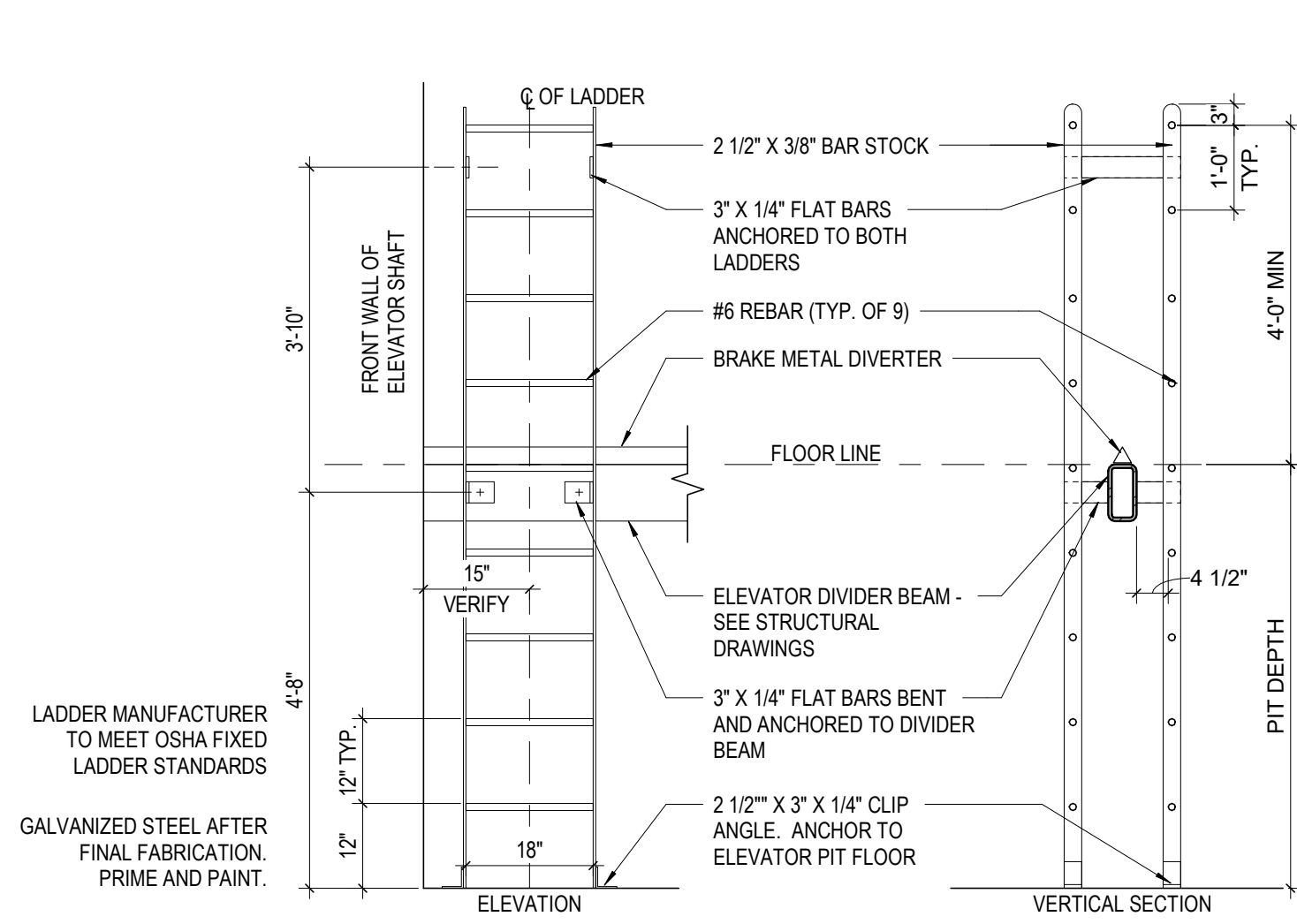
## A610

PERMIT &amp; BID SE

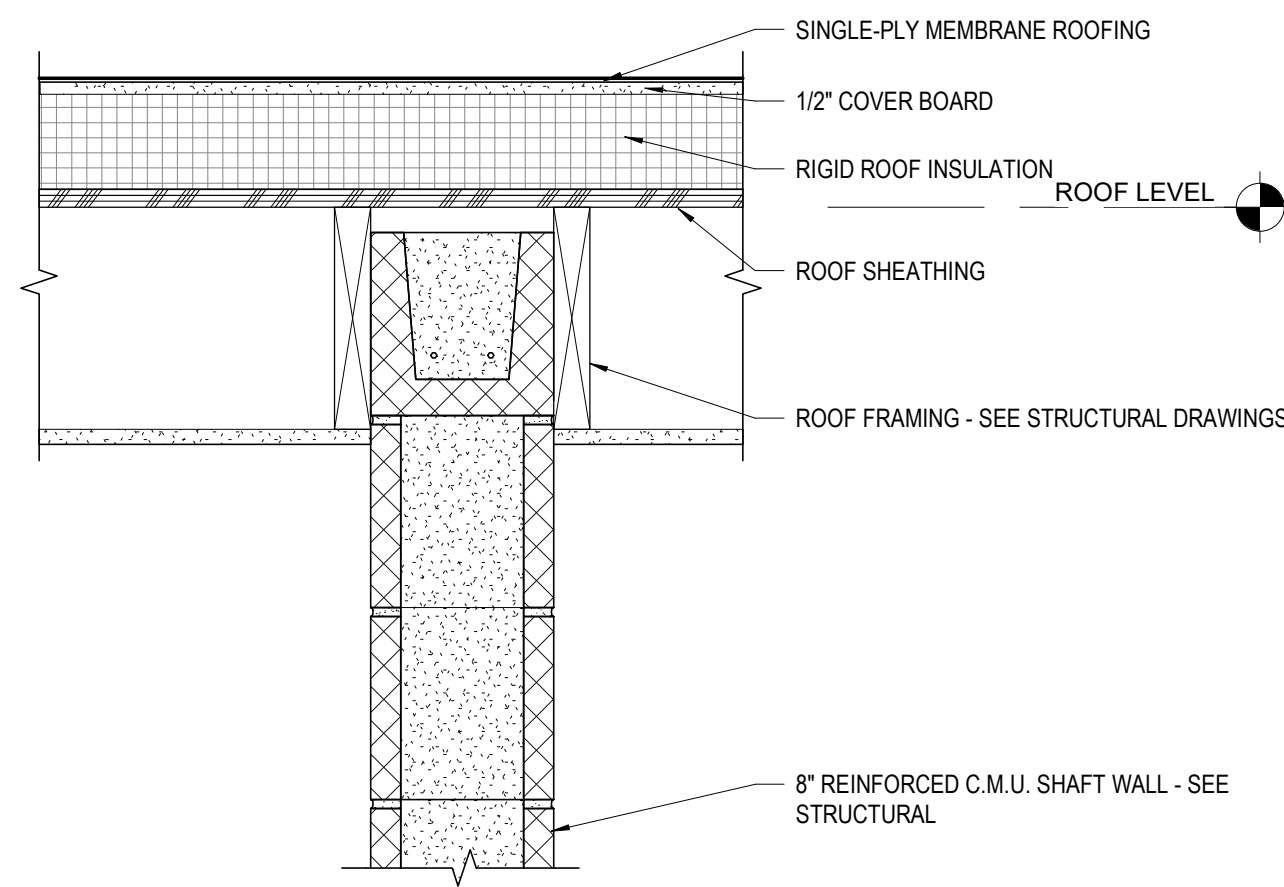




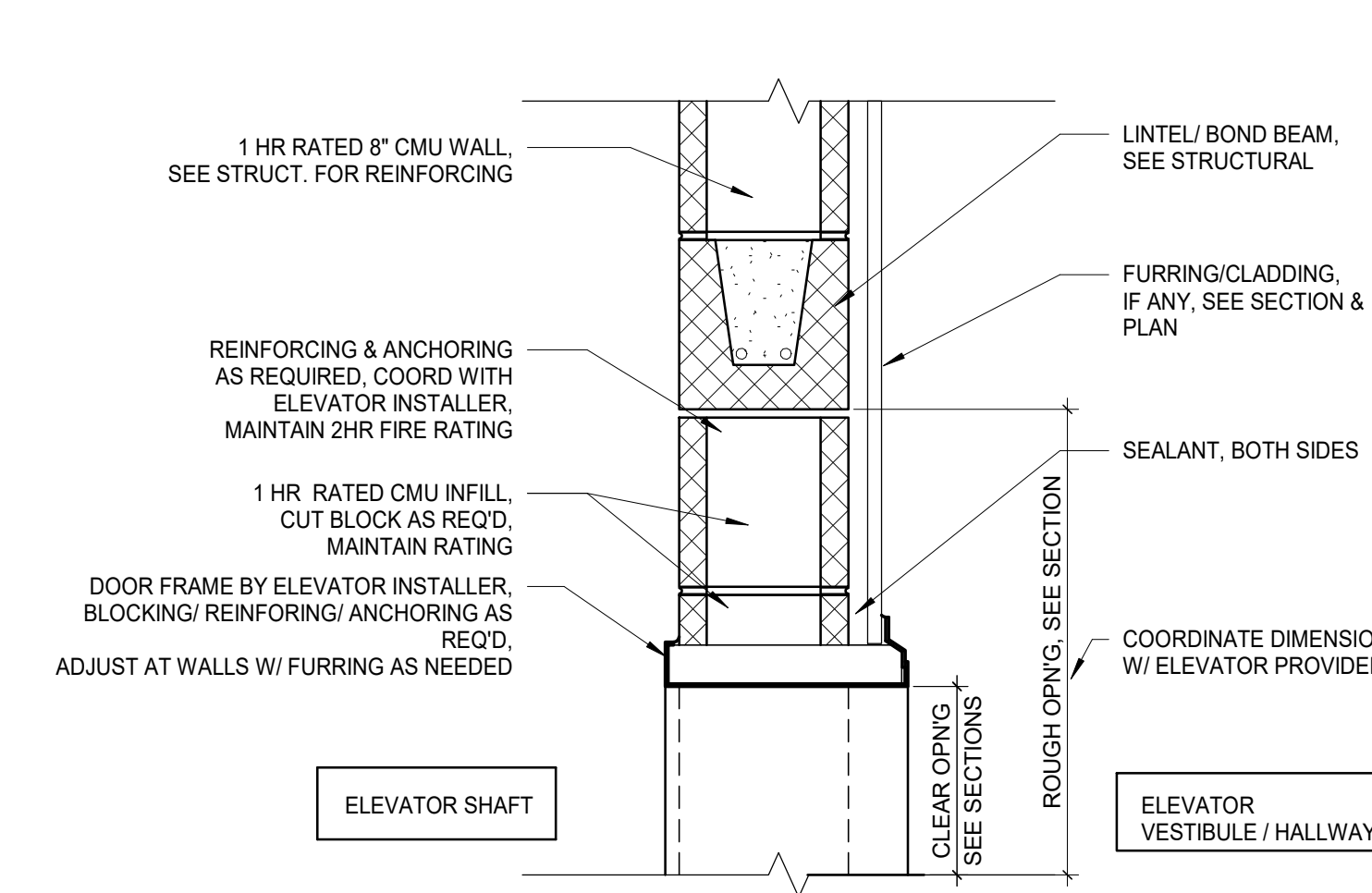
**8** **DETAIL** ELEVATOR DOOR SILL - UPPER LEVELS  
1 1/2" = 1'-0" REF: 6 / A602



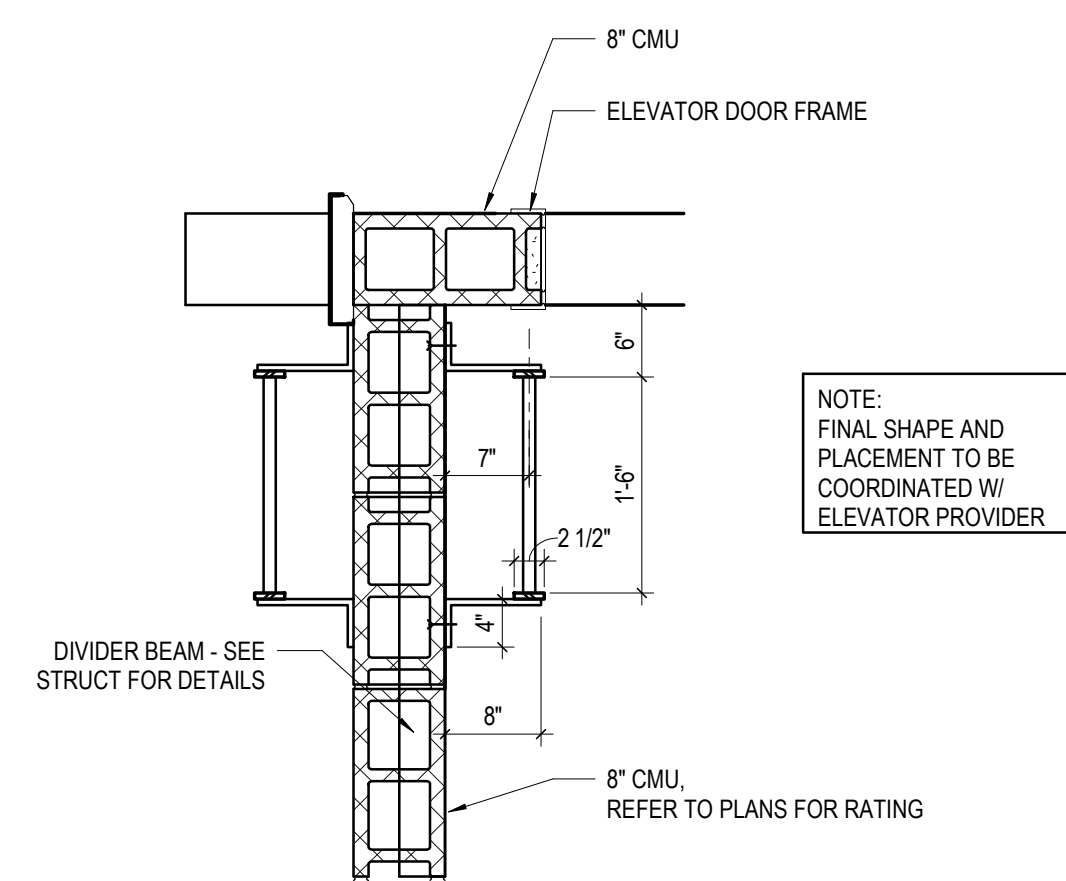
**4** **DETAIL** PIT LADDER AT DIVIDER BEAM  
1/2" = 1'-0" REF: 1 / A602



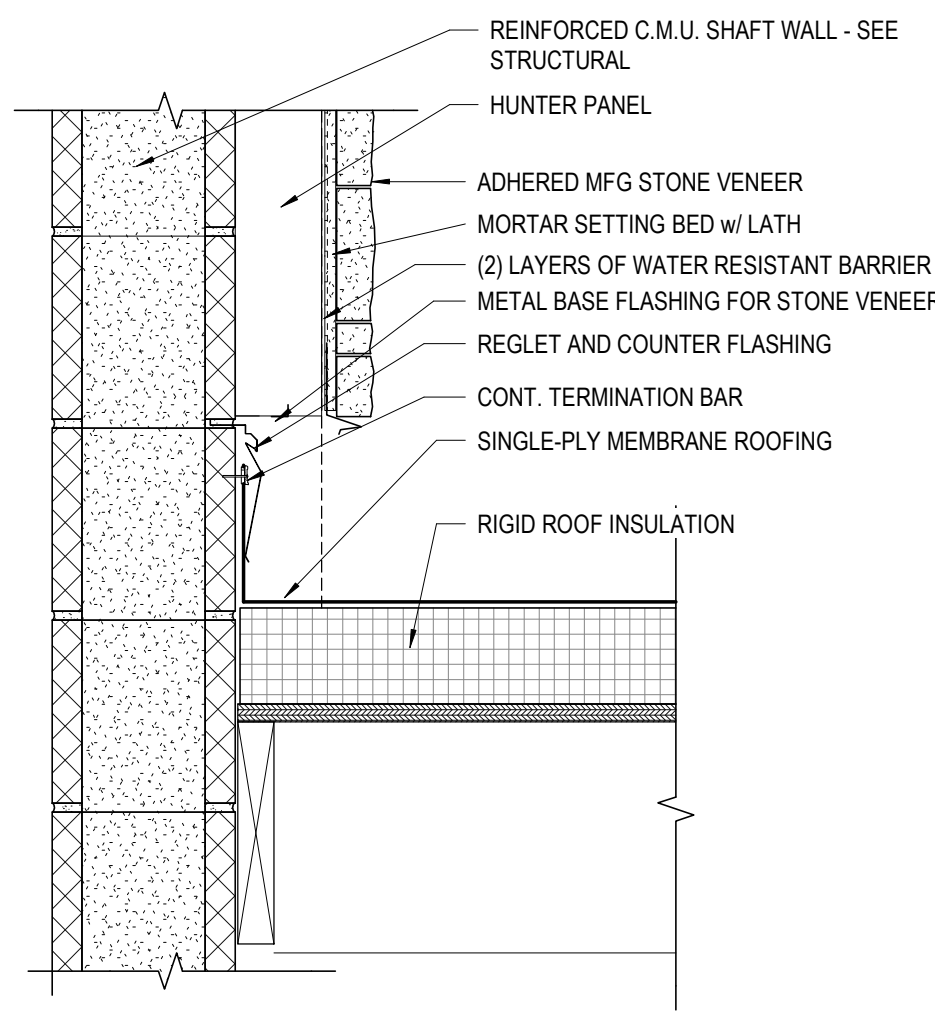
**11** **DETAIL** ELEVATOR SHAFT AT ROOF ABOVE  
1 1/2" = 1'-0" REF: 5 / A602



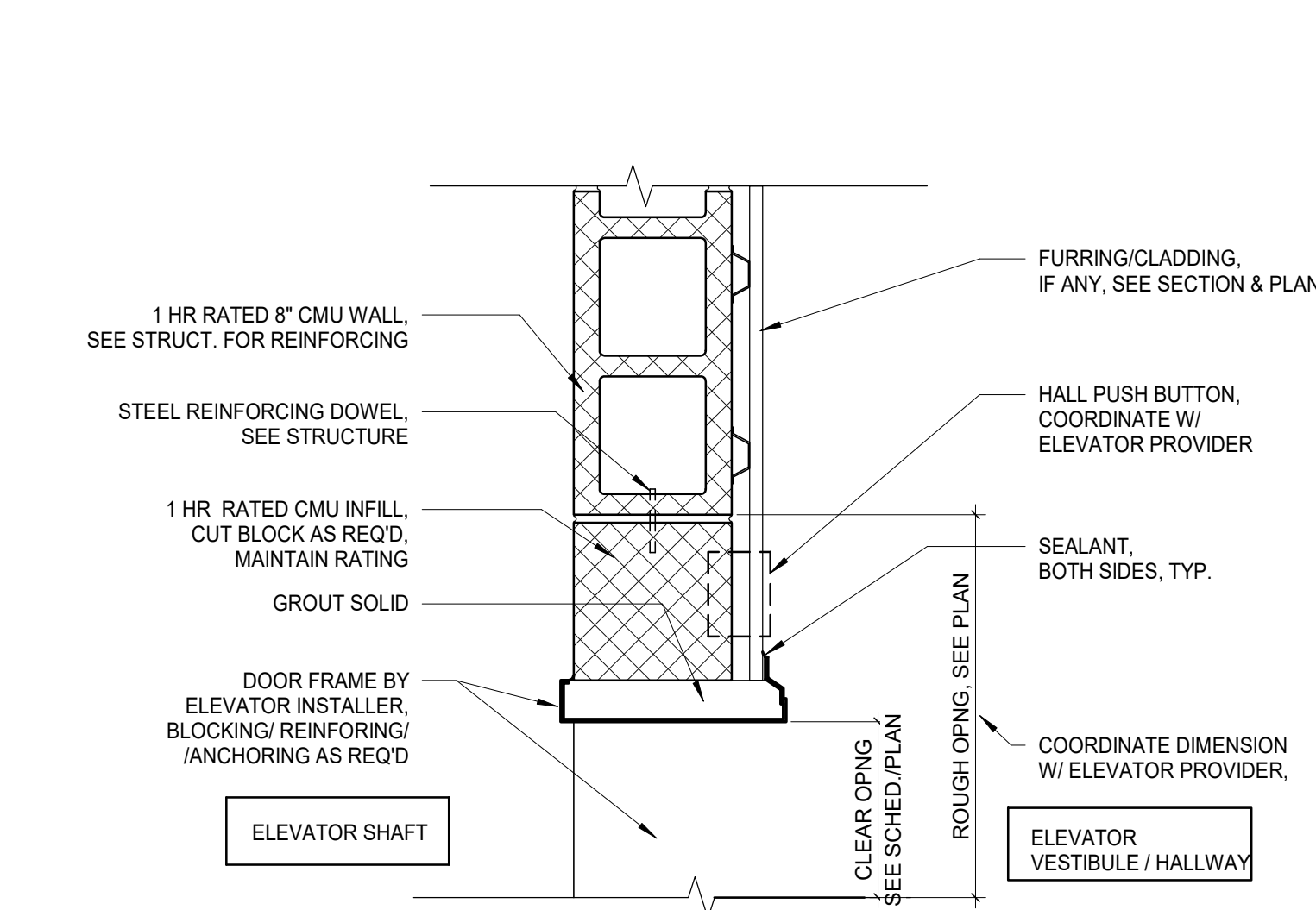
**7** **DETAIL** ELEVATOR DOOR HEAD  
1 1/2" = 1'-0" REF: 6 / A602



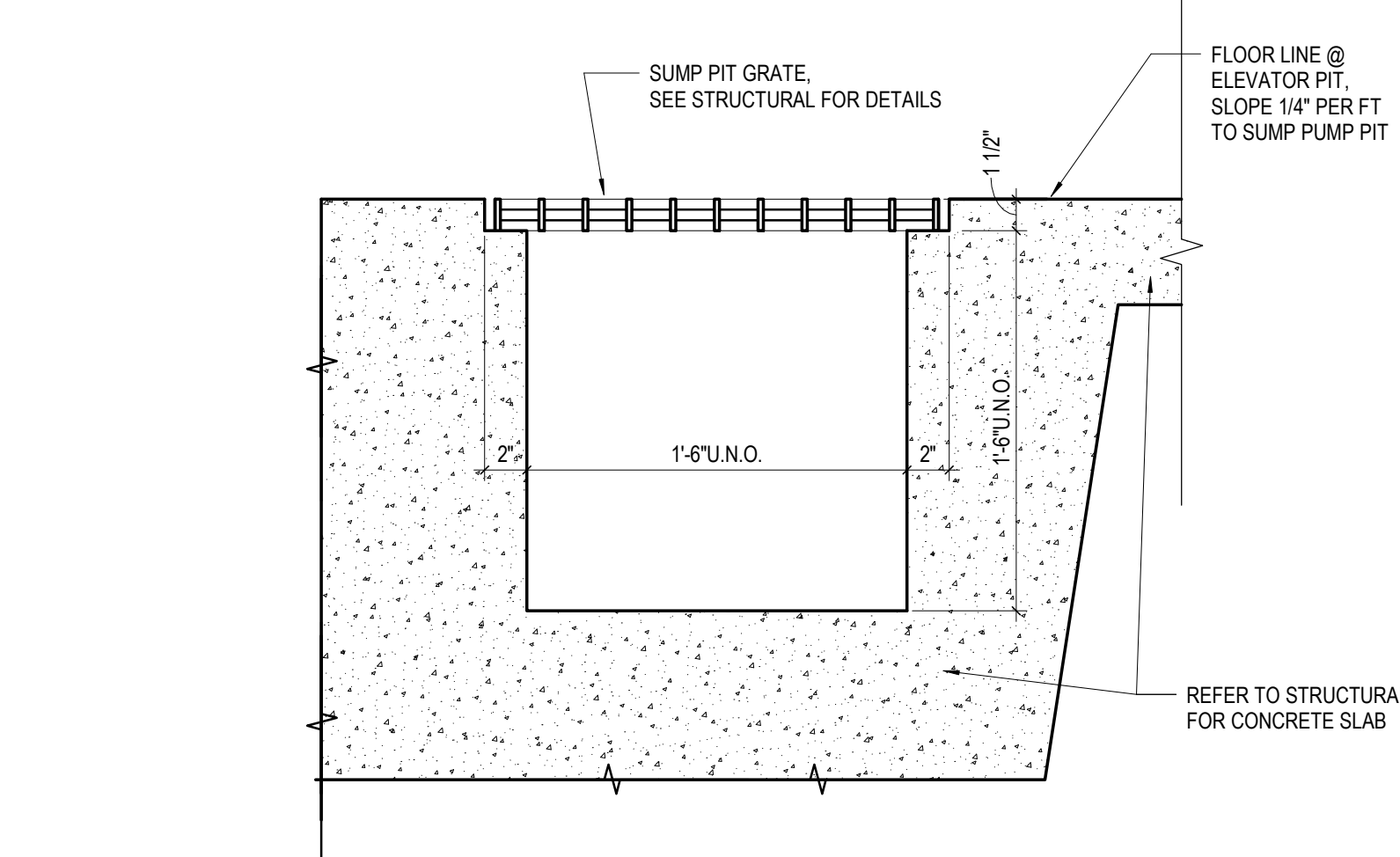
**3** **DETAIL** ELEV. PIT LADDER - PLAN  
3/4" = 1'-0"



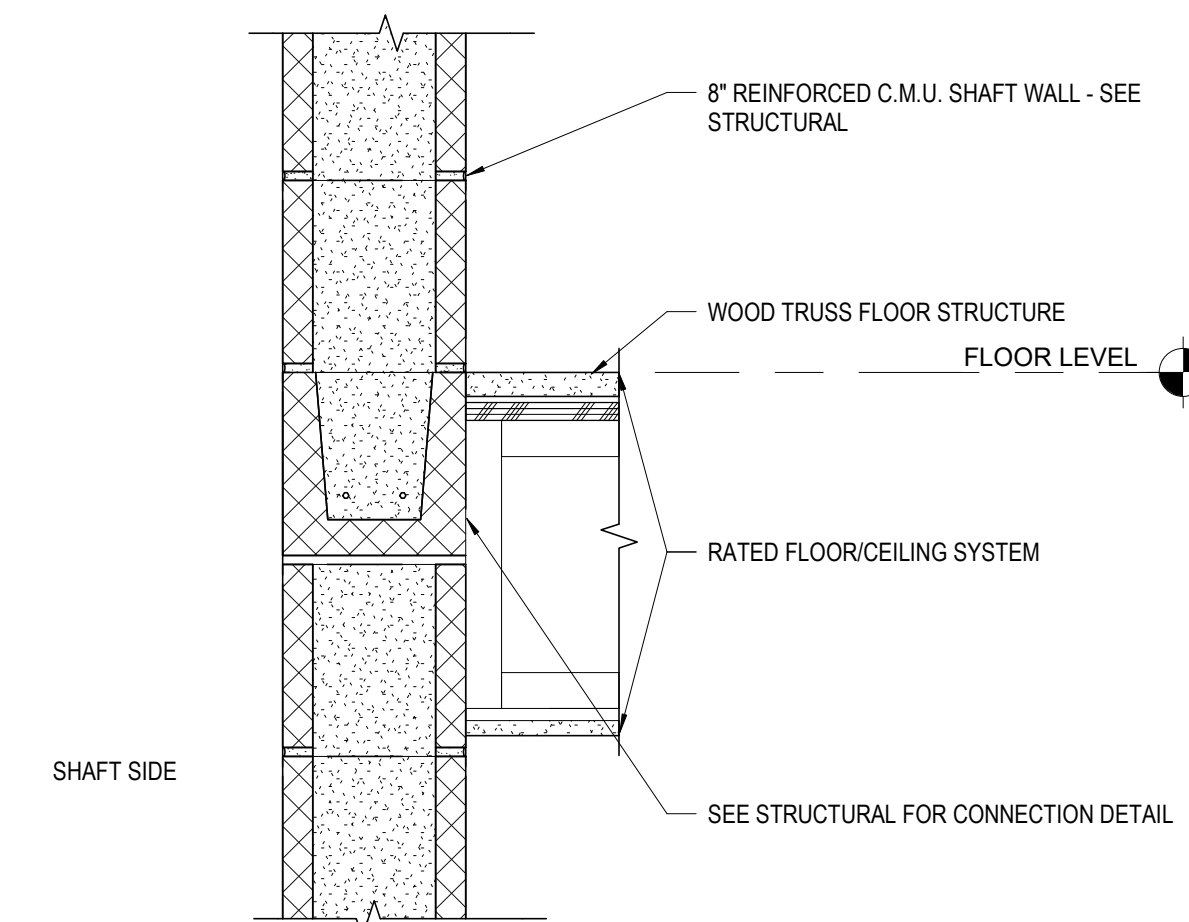
**10** **DETAIL** ELEVATOR SHAFT WALL AT LOW ROOF  
1 1/2" = 1'-0" REF: 5 / A602



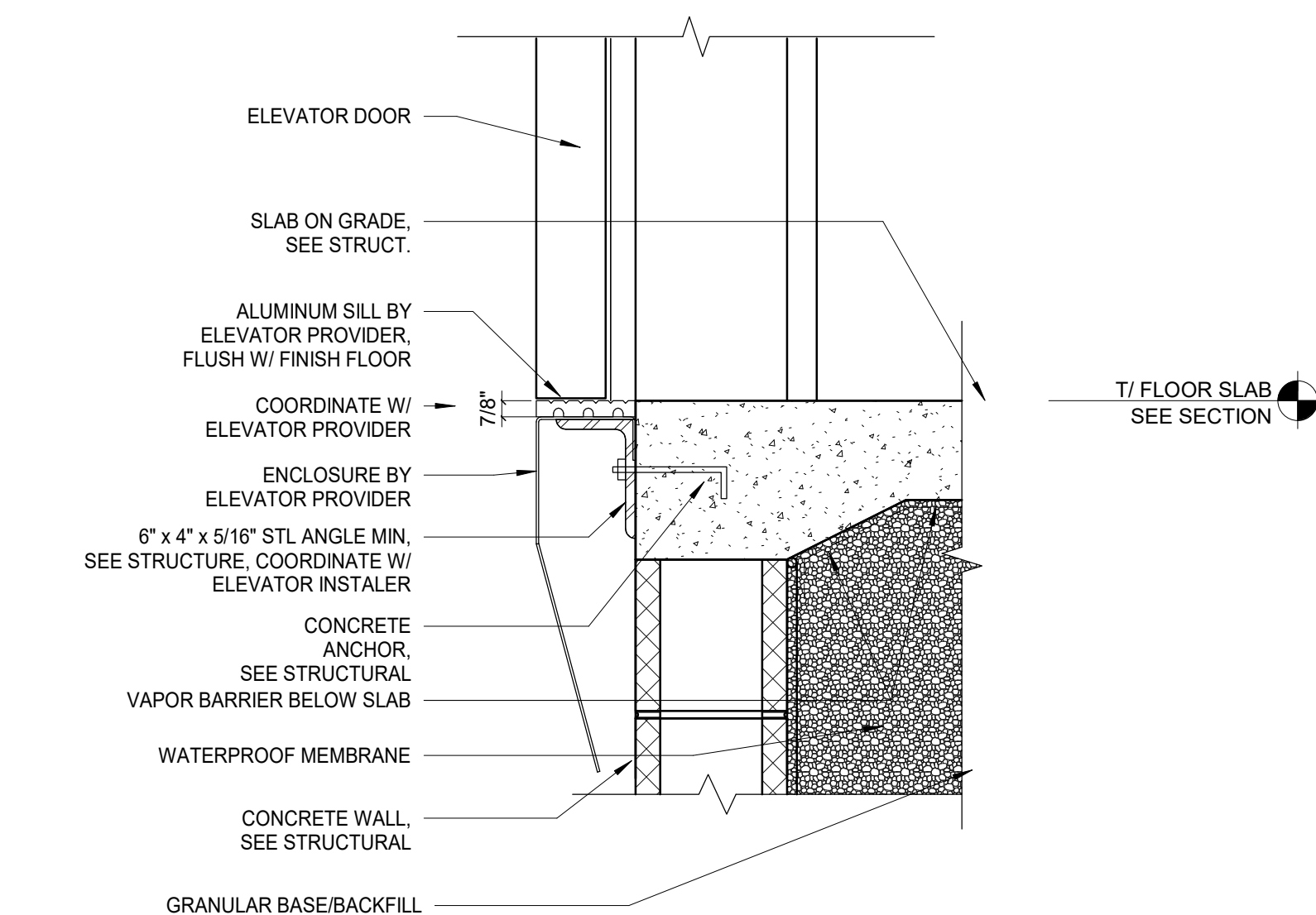
**6** **DETAIL** ELEVATOR DOOR JAMB  
1 1/2" = 1'-0" REF: 2 / A602



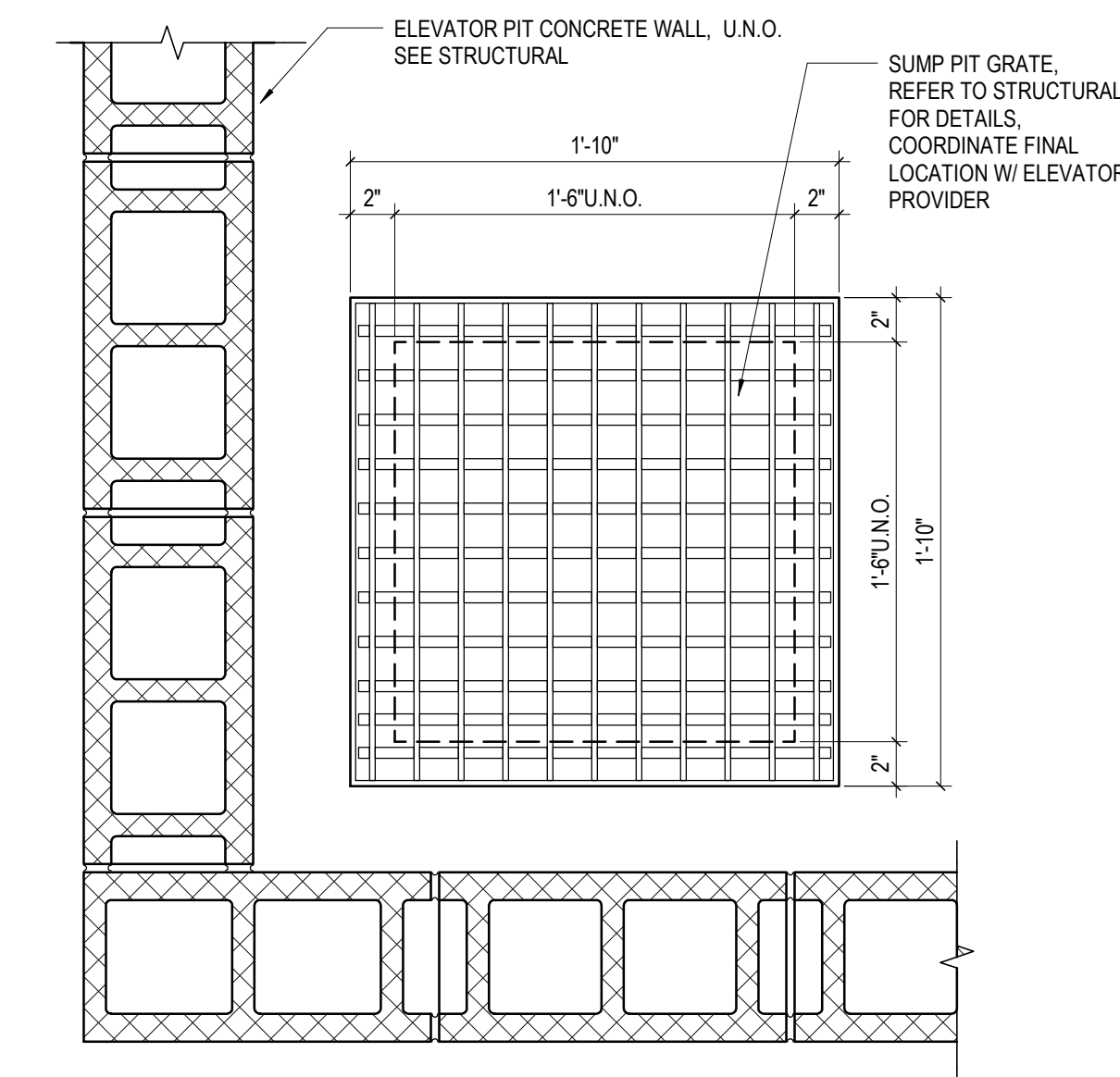
**2** **SECTION** ELEVATOR SUMP PUMP PIT - SECTION  
1 1/2" = 1'-0"



**9** **DETAIL** ELEVATOR SHAFT AT FLOOR, TYP.  
1 1/2" = 1'-0" REF: 5 / A602



**5** **DETAIL** ELEVATOR DOOR SILL - LEVEL 01  
1 1/2" = 1'-0" REF: 6 / A602



**1** **PLAN** ELEVATOR SUMP PIT - PLAN  
1 1/2" = 1'-0"


**ELEVATOR GENERAL NOTES**

- COORDINATE ELEVATOR OPENING LOCATIONS AND SIZE WITH SPECIFIC ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION OF ELEVATOR SHAFTS.
- FIELD VERIFY ELEVATOR FINISH FLOOR ELEVATIONS AND FIELD CONDITIONS PRIOR TO FABRICATION / INSTALLATION.
- REFER TO STRUCTURAL FOR ALL STEEL LOCATIONS AND ACTUAL SIZES.
- ALL UNPAINTED METAL FRAMING OR COMPONENTS THAT ARE EXPOSED OR ADJACENT TO EXTERIOR CONDITIONS TO BE GALVANIZED.
- REFER TO PLUMBING SHEETS FOR ELEVATOR SUMP LOCATION. COORDINATE WITH ARCHITECTURAL SUMP DETAILS ON ELEVATOR DETAIL SHEETS(S). COORDINATE REQUIREMENTS WITH ELEVATOR MANUFACTURER'S FINAL SHOP DRAWINGS.
- PROVIDE A TWO-WAY COMMUNICATION SYSTEM AT EACH ELEVATOR LANDING. TYP. COORDINATE FINAL LOCATION OF DEVICE WITH ARCHITECT IN THE FIELD. REFER TO MEP.
- ELEVATOR DOORS AND FRAMES: COORDINATE ROUGH OPENING AND ALL DIMENSIONS WITH FINAL MANUFACTURER'S REQUIREMENTS AND STRUCTURAL DRAWINGS.
- SEE CODE PLANS FOR ACCESSIBLE MEANS OF EGRESS REQUIREMENTS.
- VERIFY ELEVATOR PIT DEPTH WITH SELECTED ELEVATOR SUPPLIER. ELEVATOR PIT TO BE CONTINUOUSLY WATERPROOFED AT ALL SIDES BELOW GRADE.

**ELEVATOR CODED NOTES**

- FIBERGLASS REINFORCED PANELING, TYPICAL. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.

#	DATE	CHANGE DESCRIPTION



COLUMBUS METROPOLITAN HOUSING AUTHORITY  
COMMUNITY. COMMITMENT. COLLABORATION.

**COBBLESTONE MANOR**  
1550 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

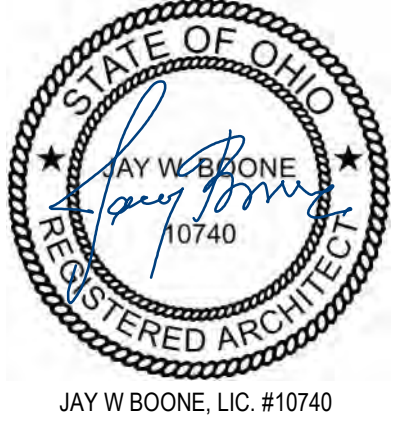


MOODY-NOLAN

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

**ELEVATOR DETAILS**

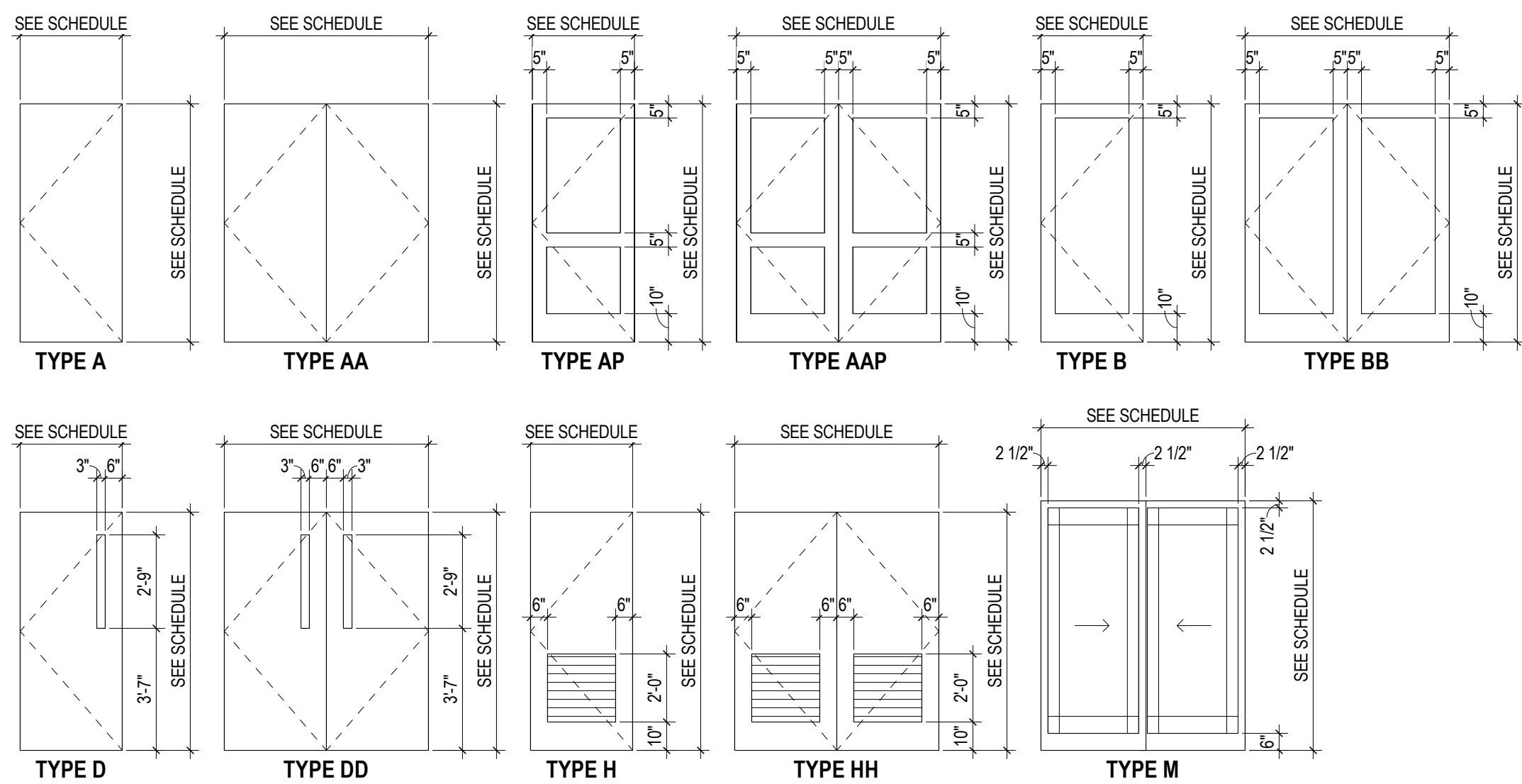


JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2022

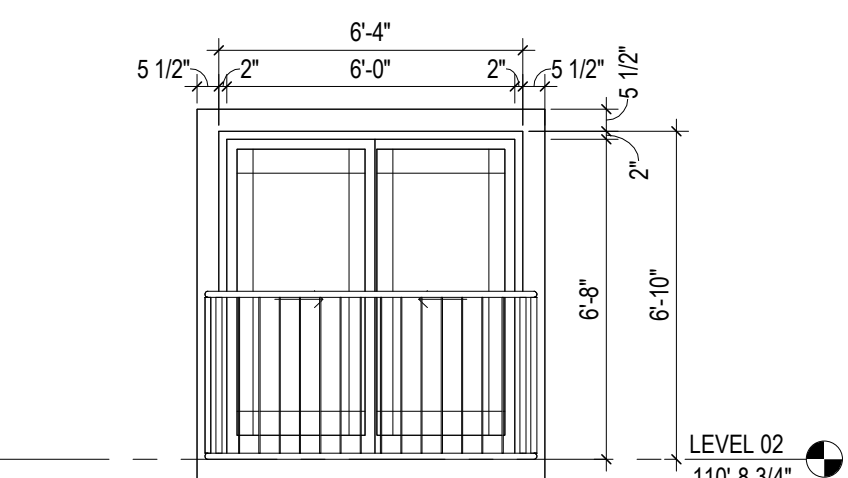
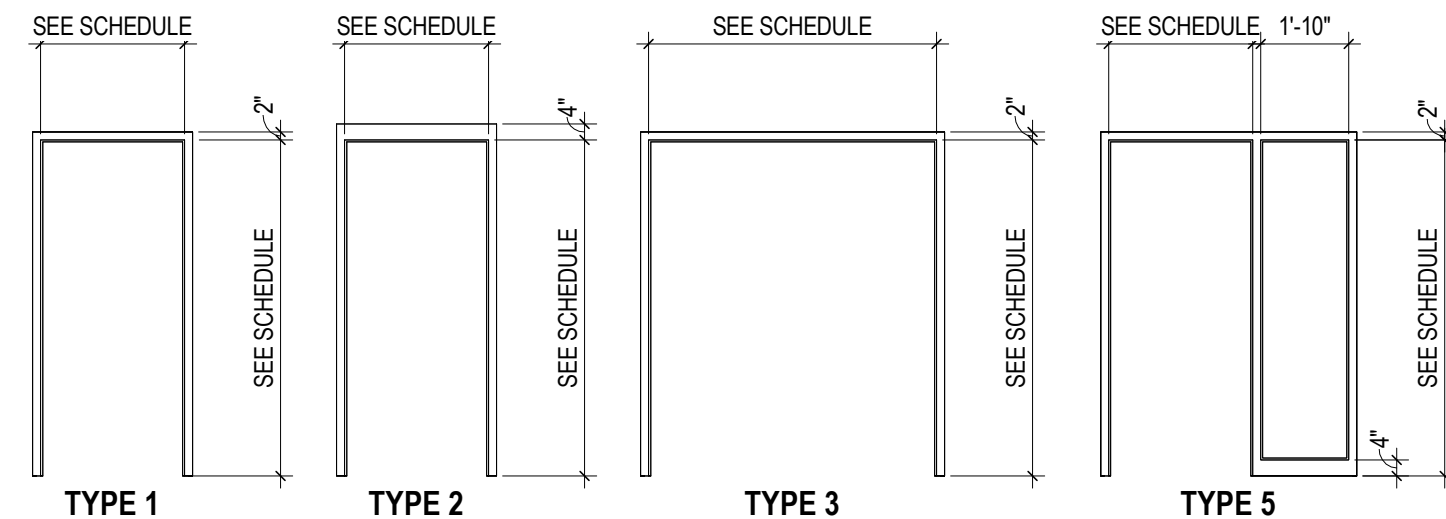
06/08/2023  
DRAWN BY: XXXX CHECKED BY: XXXX  
#22172.01  
**A620**  
PERMIT & BID SET



## DOOR PANEL TYPE LEGEND



## DOOR FRAME TYPE LEGEND

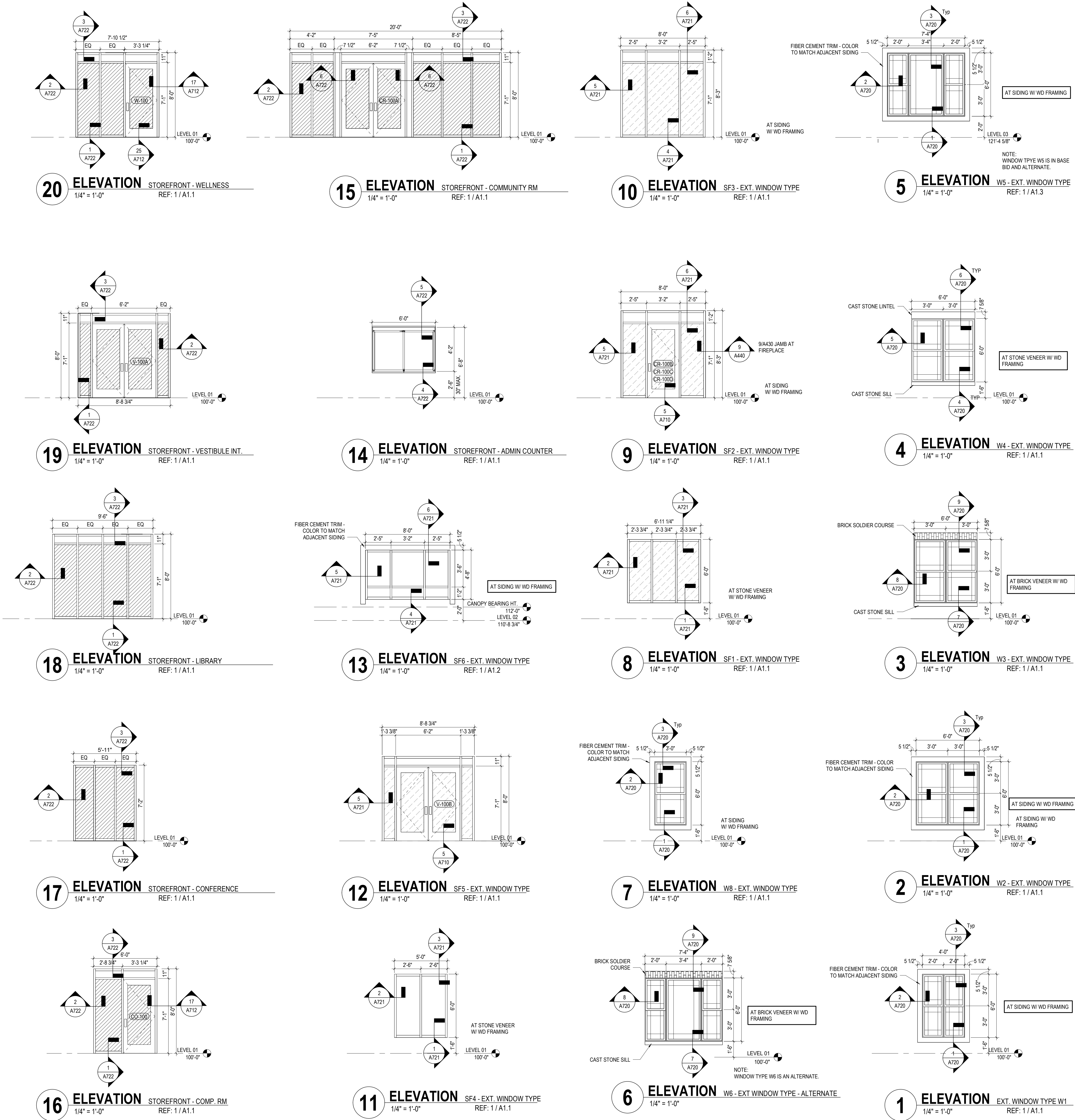


**1 ELEVATION** SLIDING DOOR  
1/4" = 1'-0" REF: 1 / A1.2

## DOOR SCHEDULE

NUMBER	ROOM NAME	DOOR		WIDTH	HEIGHT	MATERIAL	ELEV	FRAME		FIRE RATING	HOW SET	DETAIL S - SHEET A710, A711 AND A712			REMARKS
								HEAD	JAMB			SILL			
LEVEL 01															
A-100	ADMIN.		3'-0"	7'-0"	WD	A	HM	5			02	14A712	13A712	24A712	
A-101	CONF.		3'-0"	7'-0"	WD	A	HM	5			29	2A712	1A712	24A712	
A-102	ADMIN.		3'-0"	7'-0"	WD	A	HM	5			13	2A712	1A712	24A712	
A-103	MGR.		3'-0"	7'-0"	WD	A	HM	5			23	2A712	1A712	24A712	
C-101A	CORRIDOR		4'-0"	7'-0"	WD	D	HM	1	20 MINUTES		05	10A712	9A712	24A712	
C-101B	CORRIDOR		3'-0"	7'-0"	HM	D	HM	1			01	3A711	2A711	9A710	
C-102A	CORRIDOR		4'-0"	7'-0"	WD	D	HM	1	20 MINUTES		05	10A712	9A712	24A712	
C-102B	CORRIDOR		3'-0"	7'-0"	HM	D	HM	1			01	3A711	2A711	9A710	
CO-100	COMP.		3'-0"	7'-0"	WD/GL	B	AL	16A702			12	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
CR-100A	COMMUNITY ROOM		6'-0"	7'-0"	WD/GL	BB	AL	15A702			18	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
CR-100B	COMMUNITY ROOM		7'-0"	7'-0"	AL/GL	B	AL	9A702			25	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
CR-100C	COMMUNITY ROOM		3'-0"	7'-0"	AL/GL	B	AL	9A702			25	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
CR-100D	COMMUNITY ROOM		3'-0"	7'-0"	AL/GL	B	AL	9A702			25	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
E-100	ELEC		3'-0"	7'-0"	WD	A	HM	1	90 MINUTES		33	22A712	21A712	24A712	
EL-100	ELEV		3'-0"	7'-0"	WD	A	HM	2	60 MINUTES		11	20A712	19A712	26A712	
EL-101	ELEV		3'-0"	7'-0"	WD	A	HM	2	90 MINUTES		26	4A712	3A712	26A712	
FS-100	FLEX SPACE		3'-0"	7'-0"	WD	D	HM	1			03	2A712	1A712	24A712	
M-101	PARCEL		3'-0"	7'-0"	WD	A	HM	1			04	2A712	1A712	24A712	
ME-100A	MECHWATER		3'-0"	7'-0"	HM	A	HM	1			21	2A712	1A712	26A712	
ME-100B	MECHWATER		3'-0"	7'-0"	WD	A	HM	1			14	10A711	9A711	9A710	
ME-101	MECH		3'-0"	7'-0"	HM	A	HM	1			13	2A712	1A712	26A712	
S-100A	STAIR		3'-0"	7'-0"	WD	D	HM	2	60 MINUTES		09	4A712	3A712	24A712	
S-100B	STAIR		3'-0"	7'-0"	HM	D	HM	2			30	6A711	5A711	9A710	
S-101A	STAIR		3'-0"	7'-0"	WD	D	HM	2	60 MINUTES		09	4A712	3A712	24A712	
S-101B	STAIR		3'-0"	7'-0"	HM	D	HM	2			30	6A711	5A711	9A710	
ST-100	STORAGE		3'-0"	7'-0"	HM	A	HM	1			22	2A712	1A712	24A712	
ST-101	STORAGE		3'-0"	7'-0"	HM	A	HM	1			22	2A712	1A712	24A712	
ST-102	STOR.		3'-0"	7'-0"	HM	A	HM	1	20 MINUTES		27	10A712	9A712	24A712	
ST-103	STOR.		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		27	10A712	9A712	24A712	
T-100	RR		3'-0"	7'-0"	WD	A	HM	1			28	2A712	1A712	24A712	
T-101	RR		3'-0"	7'-0"	WD	A	HM	1			28	2A712	1A712	24A712	
TR-100A	TRASH		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		21	10A712	9A712	24A712	
TR-100B	TRASH		6'-0"	7'-0"	HM	AA	HM	3			06	3A711	2A711	9A710	
TR-101A	TRASH		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		31	10A712	9A712	24A712	
TR-101B	TRASH		3'-6"	7'-0"	HM	A	HM	1			31	3A711	2A711	9A710	
TR-101C	TRASH		3'-6"	7'-0"	HM	A	HM	1			31	3A711	2A711	9A710	
U-102	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	1A710	
U-103	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-104	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	1A710	
U-105	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-106	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-107	UNIT 1a-AS		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-108	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	1A710	
U-109	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-110	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-111	UNIT 2b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-112	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	1A710	
U-114	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-118	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-119	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-120	UNIT 1a-AS		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-121	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-122	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-123	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-124	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-125	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-126	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-127	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
U-128	UNIT 2b-S		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	1A710	
U-129	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	1A710	
V-100A	VEST.		6'-0"	7'-0"	AL/GL	BB	AL	19A702			10	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
V-100B	VEST.		6'-0"	7'-0"	AL/GL	BB	AL	12A702			08	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
W-100	WELLNESS		3'-0"	7'-0"	WD/GL	B	AL	20A702			12	--	--	--	SEE STOREFRONT ELEVATIONS FOR DETAILS ON A702.
LEVEL 02															
E-200	ELEC		3'-0"	7'-0"	WD	A	HM	1			21	10A712	9A712	24A712	
J-200	JAN		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		21	10A712	9A712	24A712	
LR-200	LAUNDRY RM		3'-0"	7'-0"	WD	A	HM	1	60 MINUTES		03	10A712	9A712	24A712	
ME-200	MECH		3'-0"	7'-0"	WD	A	HM	1			13	2A712	1A712	24A712	
S-200	STAIR		3'-0"	7'-0"	WD	A	HM	2	45 MINUTES		07	4A712	3A712	24A712	
S-201	STAIR		3'-0"	7'-0"	WD	A	HM	2	45 MINUTES		07	4A712	3A712	24A712	
ST-201	STOR.		3'-0"	7'-0"	WD	A	HM	1			21	2A712	1A712	24A712	
ST-202	STOR.		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		27	10A712	9A712	24A712	
ST-203	STOR.		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		27	10A712	9A712	24A712	
ST-204	TRASH		3'-0"	7'-0"	WD	A	HM	1			21	2A712	1A712	24A712	
TR-200	TRASH		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		20	10A712	9A712	24A712	
TR-201	TRASH		3'-0"	7'-0"	WD	A	HM	1	20 MINUTES		20	10A712	9A712	24A712	
U-200	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	2A710	
U-201	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	2A710	
U-202	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	10A710	
U-203	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	10A710	
U-204	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	10A710	
U-205	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	2A710	
U-206	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	6A710	
U-207	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	10A710	
U-208	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	10A710	
U-209	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	4A710	3A710	2A710	
U-210	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	6A710	
U-211	UNIT 2a-AS		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	10A710	
U-212	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	12A710	11A710	10A710	
U-214	UNIT 1b		6'-0"	6'-8"	FG/GL	M	FG	MNF			SL-01	8A710	7A710	6A710	
U-216	LIBRARY		6'-0"	6'-8"	FG/GL	M									





**CURTAINWALL GENERAL NOTES**

1. TBD

**KEYNOTE LEGEND**

KEY VALUE	KEYNOTE TEXT

**EXTERIOR GLAZING TYPES**

NOTE: WINDOW TYPE W5 IS IN BASE BID AND ALTERNATE.

	GL-1 EXTERIOR INSULATED GLAZING
	GL-2 EXTERIOR INSULATED GLAZING (CLEAR TEMPERED)

**INTERIOR GLAZING TYPES**

	IG-1 INTERIOR INSULATED GLAZING
	IG-2 INTERIOR GLAZING (CLEAR TEMPERED)

**SAFETY GLAZING**

Based on 2006 IBC

All glazing, including plastic glazing shall meet all applicable codes and regulations. As a **MINIMUM** all glazing at the following locations shall be safety glazing.

DOORS - Glazing in doors (swinging, sliding, storm, or other, except curved glazing at revolving doors).

SIDELIGHTS - Glazing in sidelights adjacent to a door.

ADJACENT TO DOORS - All glazing within 24" of a closed door if the glazing is within 60" of the floor measured vertically.

WALKING SURFACE - Glazing greater than 9 square feet in area if the bottom of the glazing is less than 18" AFF, and the top of the glazing is more than 38" AFF, and there is a walking surface within 36" of the glazing measured horizontally.

MIRRORS - Glazing at mirrors without continuous backing.

ELEVATORS - All glazing at the elevator shafts and elevator cabs shall be laminated safety glazing.

#	DATE	CHANGE DESCRIPTION

COLUMBUS METROPOLITAN HOUSING AUTHORITY  
COMMUNITY DEVELOPMENT COLLABORATION

**COBBLESTONE MANOR**

1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

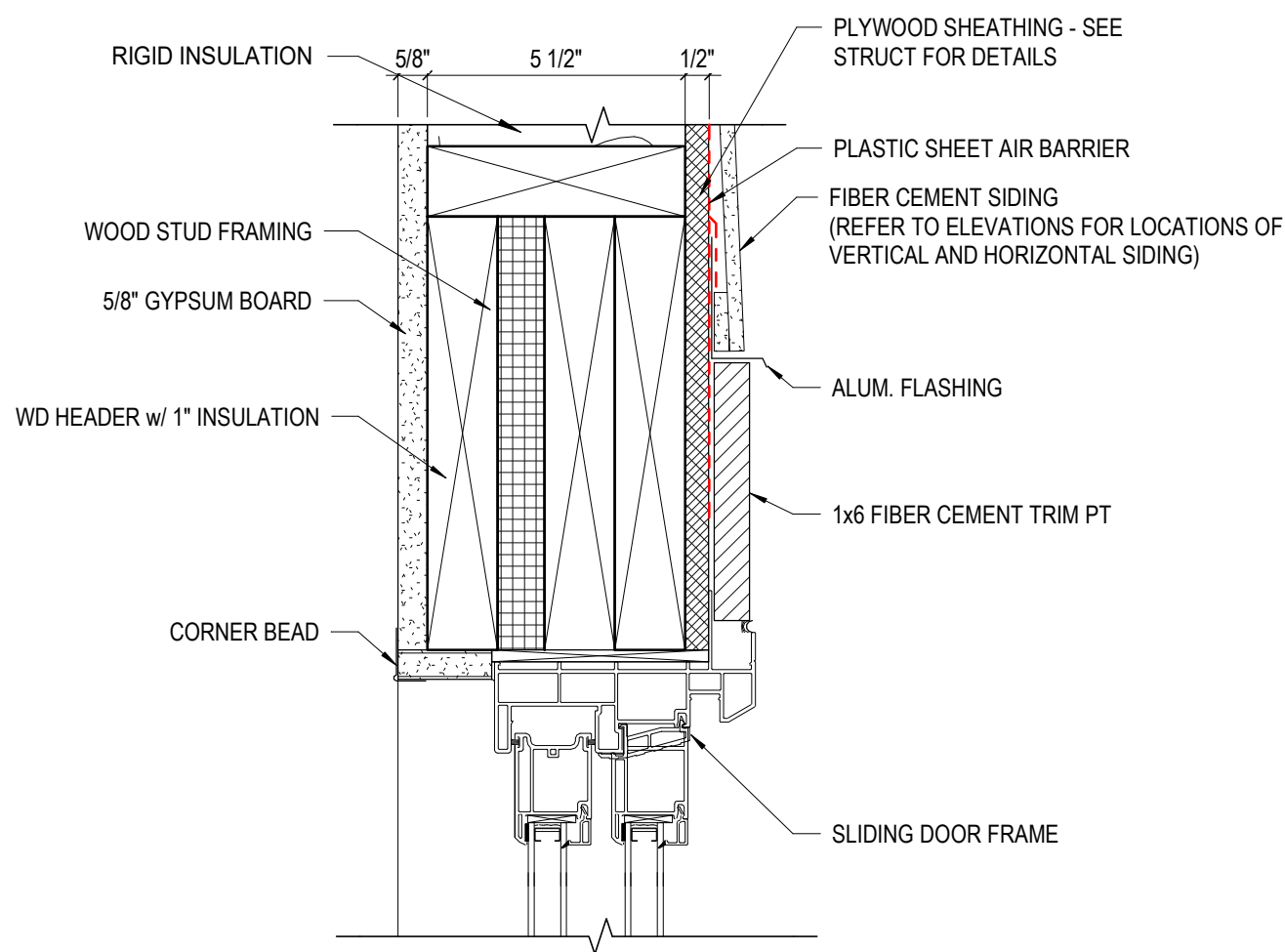
MOODY-NOLAN

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

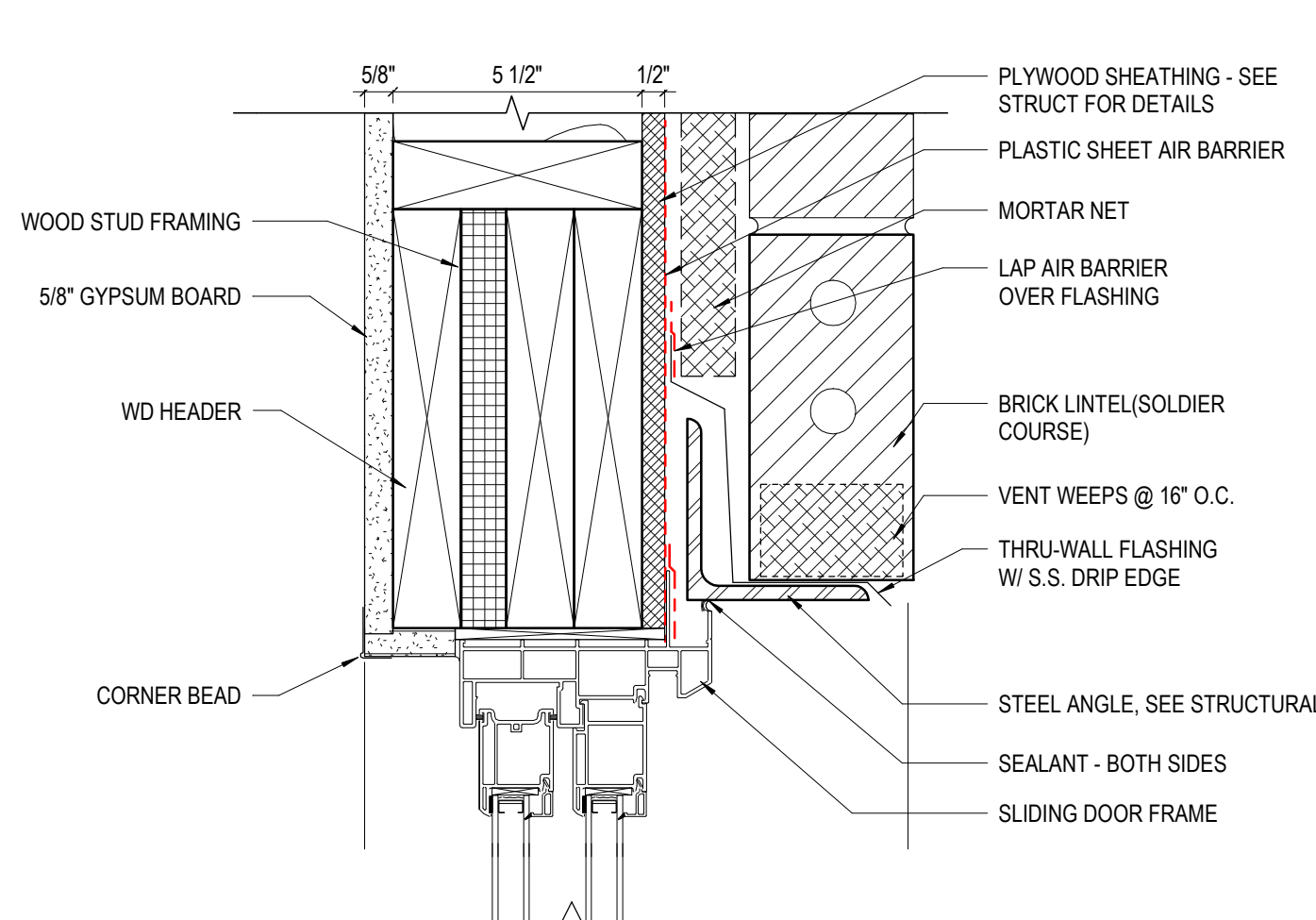
**DRAWING TITLE:**  
**STOREFRONT & WINDOW ELEVATIONS**

06/08/2023	
DRAWN BY: XXX	CHECKED BY: XXX
#22172.01	
<b>A702</b>	
PERMIT & BID SET	

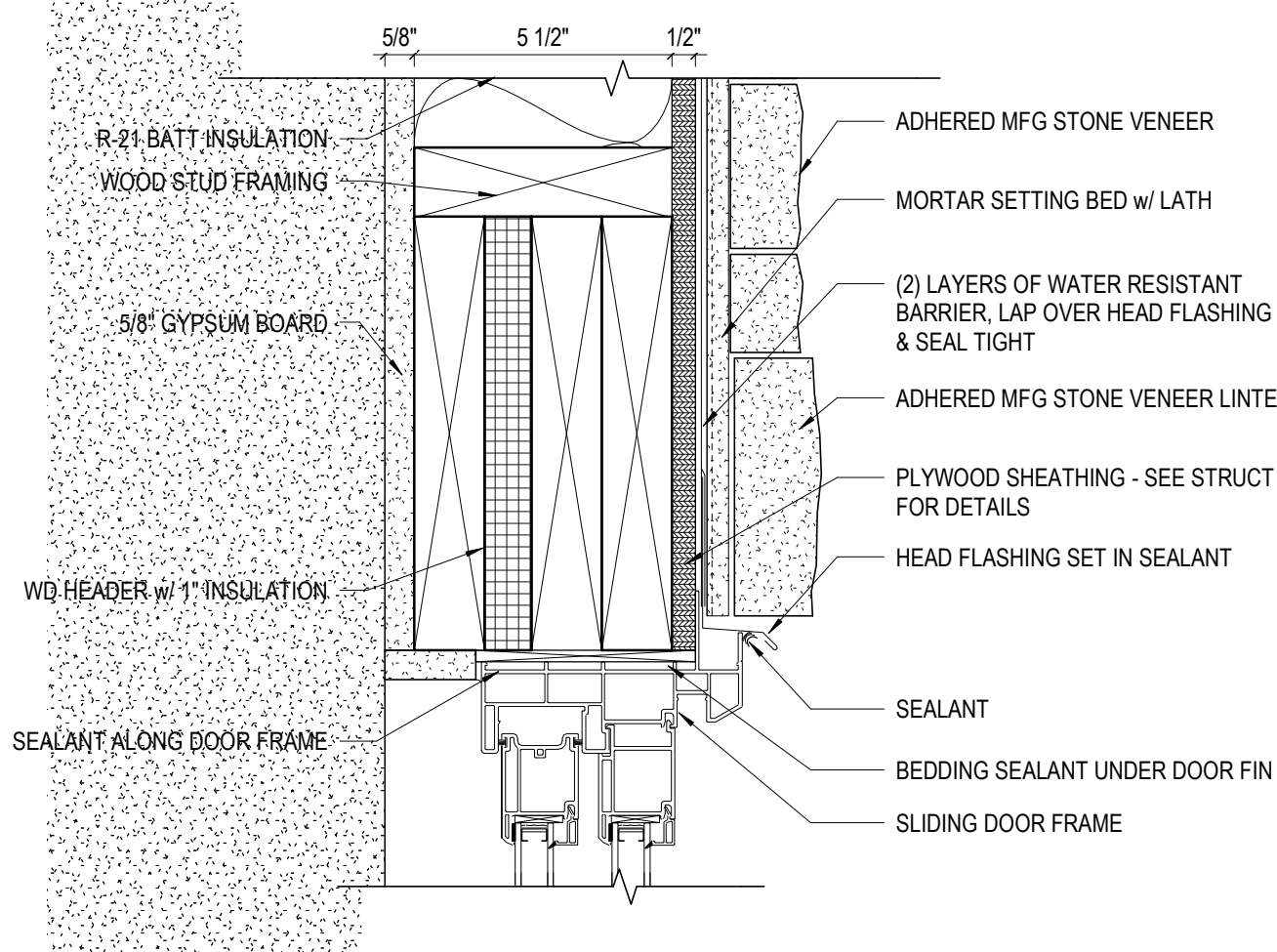




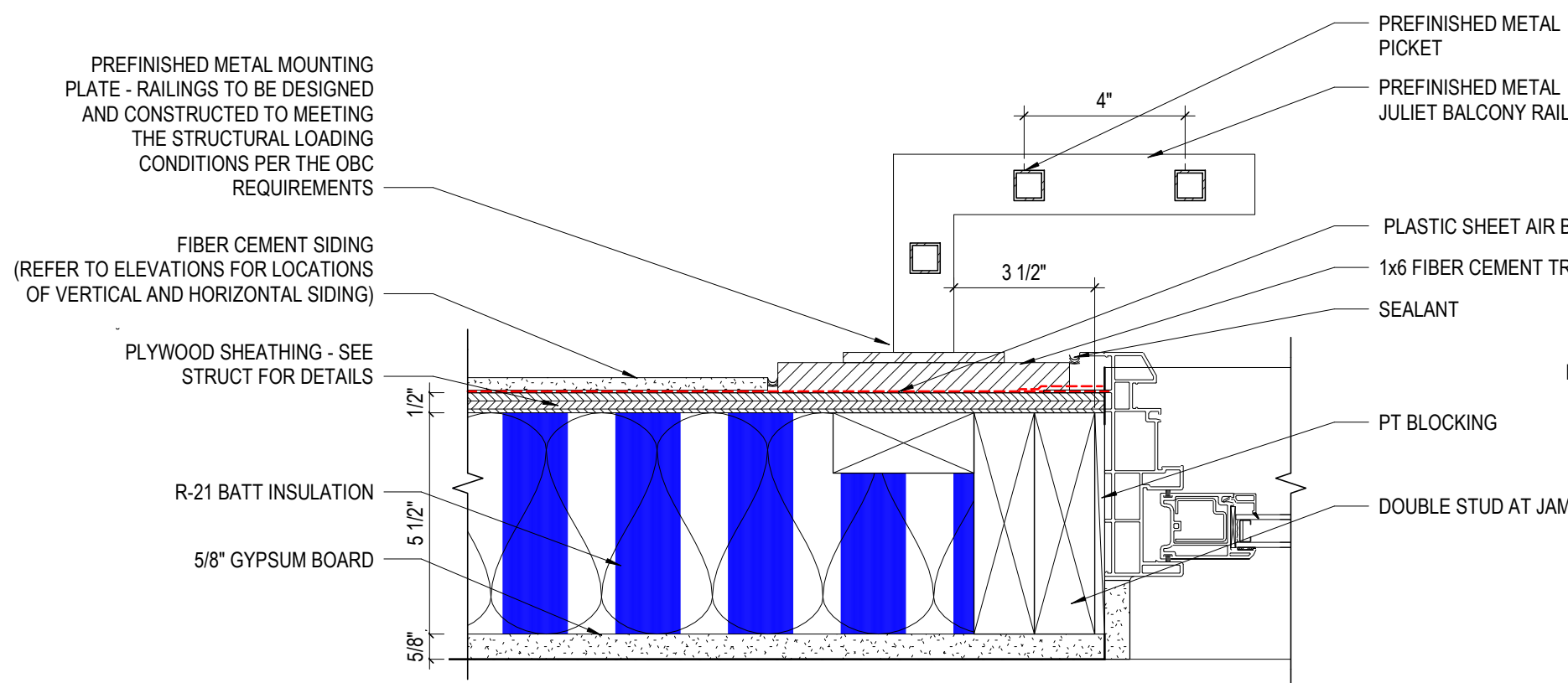
**12 DETAIL** SLIDING DOOR HEAD - SIDING  
3" = 1'-0"



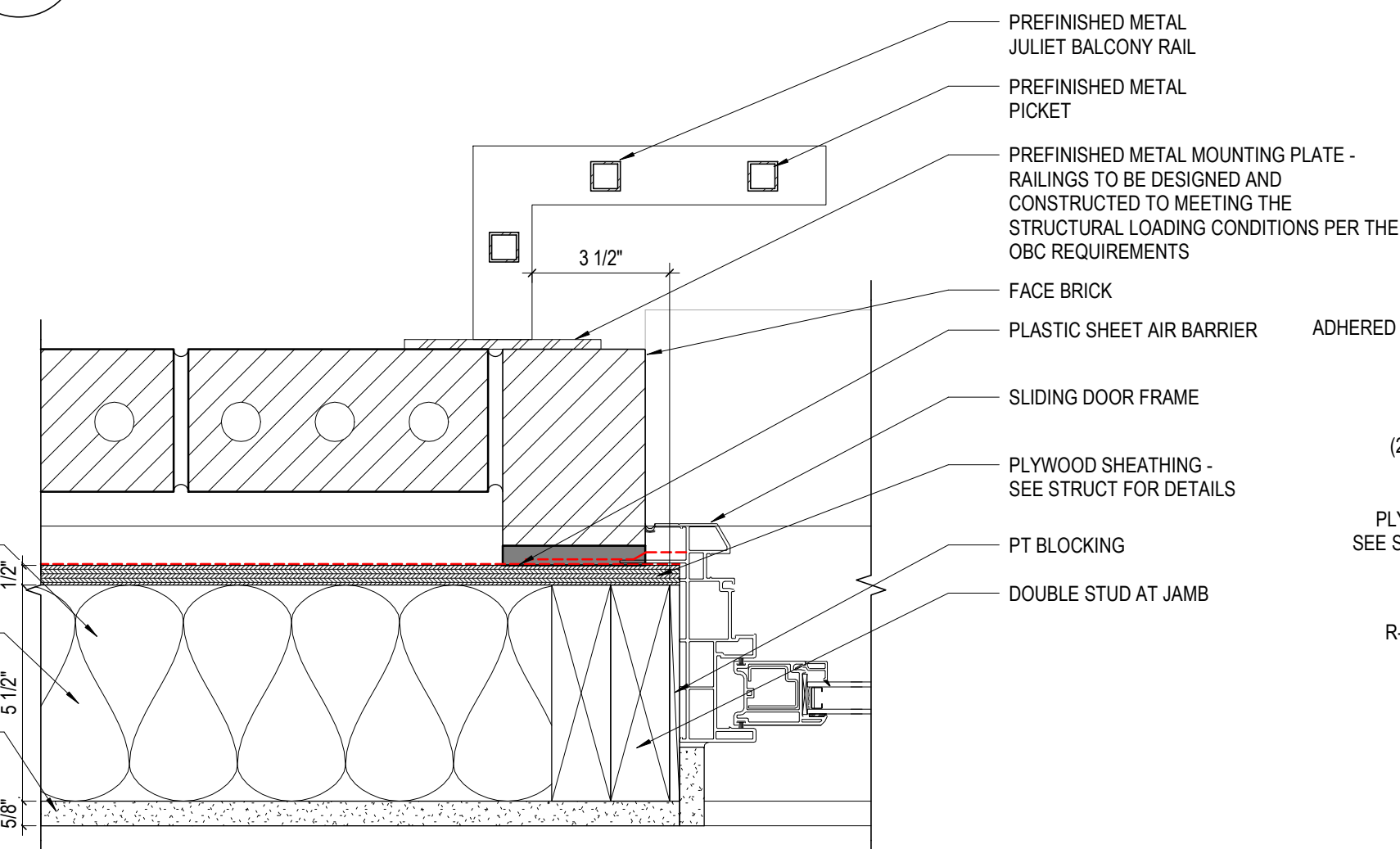
**8 DETAIL** SLIDING DOOR HEAD AT BRICK VENEER  
3" = 1'-0" REF: 1 / A411



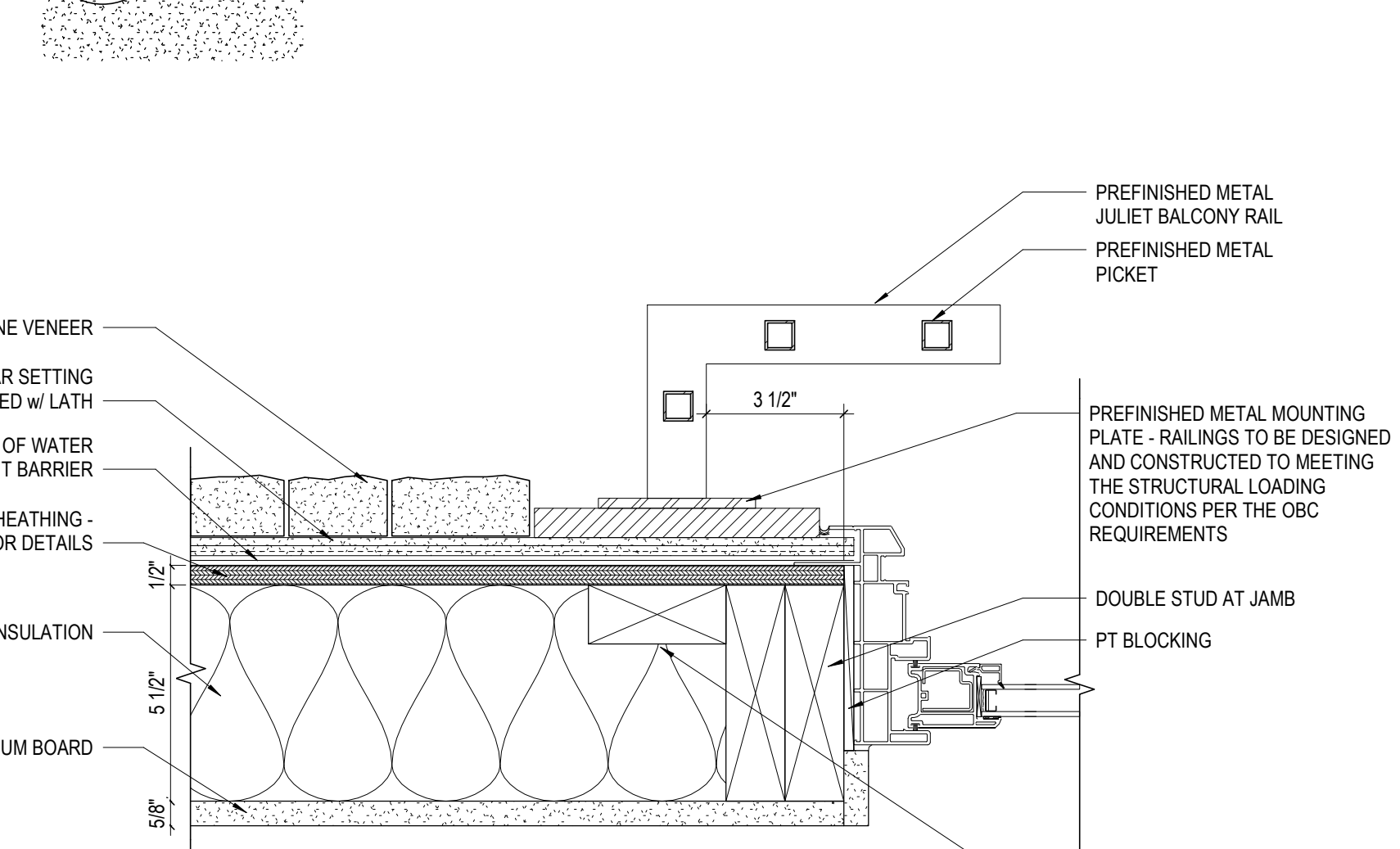
**4 DETAIL** SLIDING DOOR HEAD - STONE VENEER  
3" = 1'-0" REF: 3 / A410



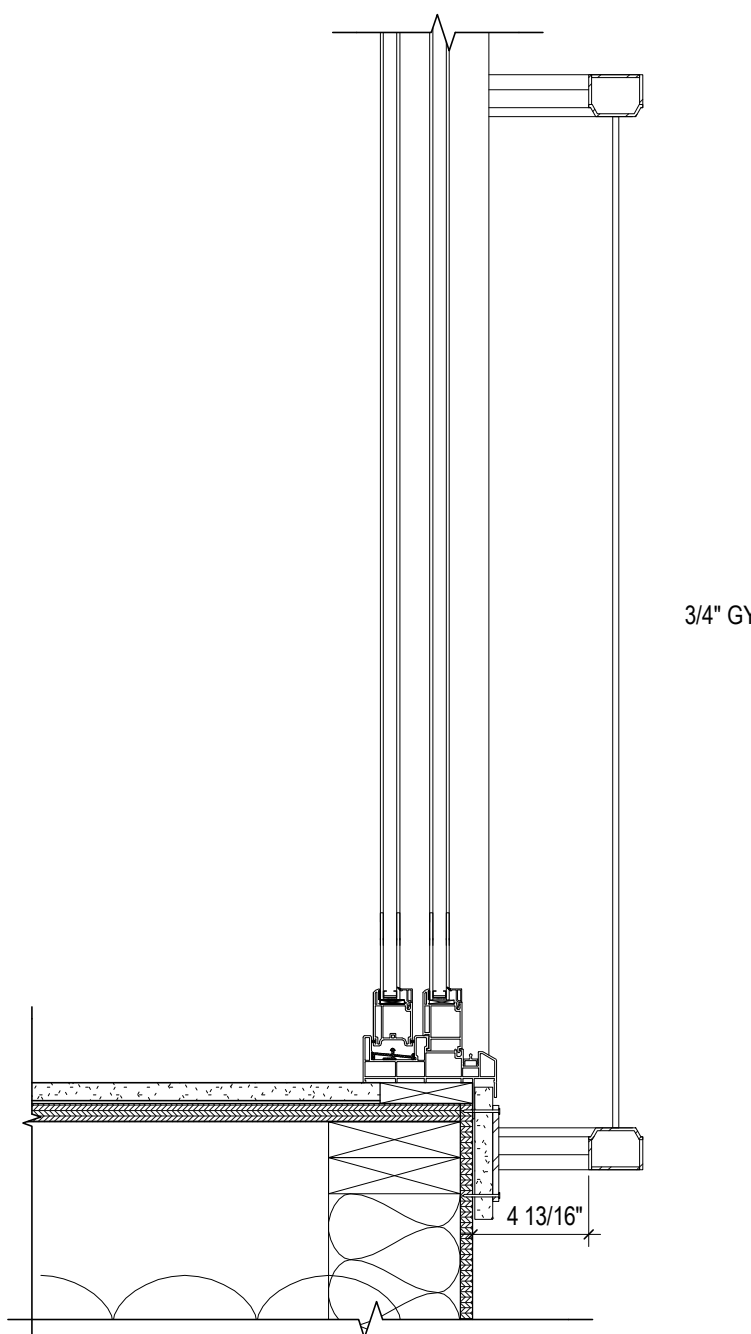
**11 DETAIL** SLIDING DOOR JAMB - SIDING  
3" = 1'-0" REF: 1 / A102A



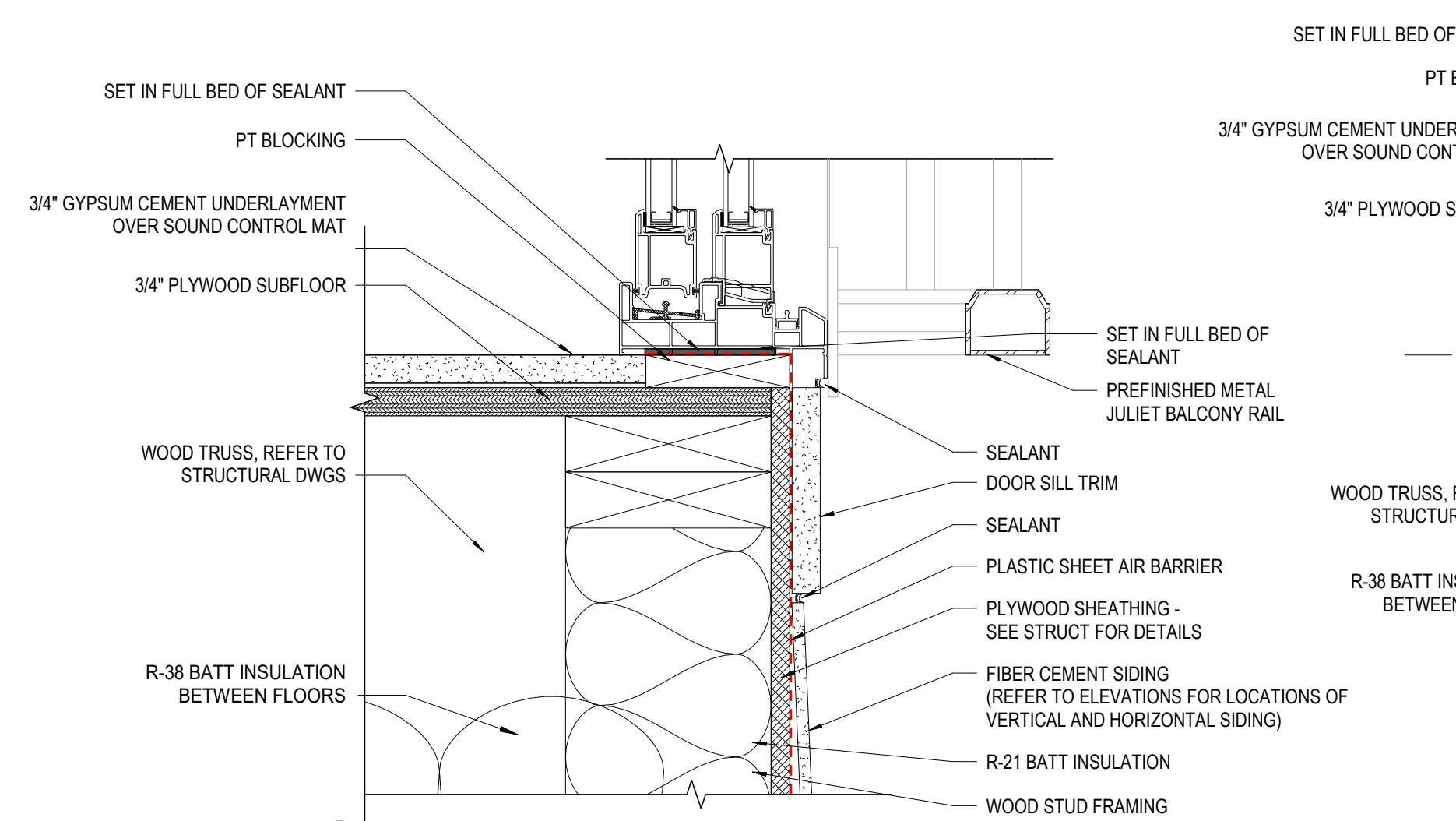
**7 DETAIL** SLIDING DOOR JAMB - BRICK VENEER  
3" = 1'-0" REF: 1 / A101A



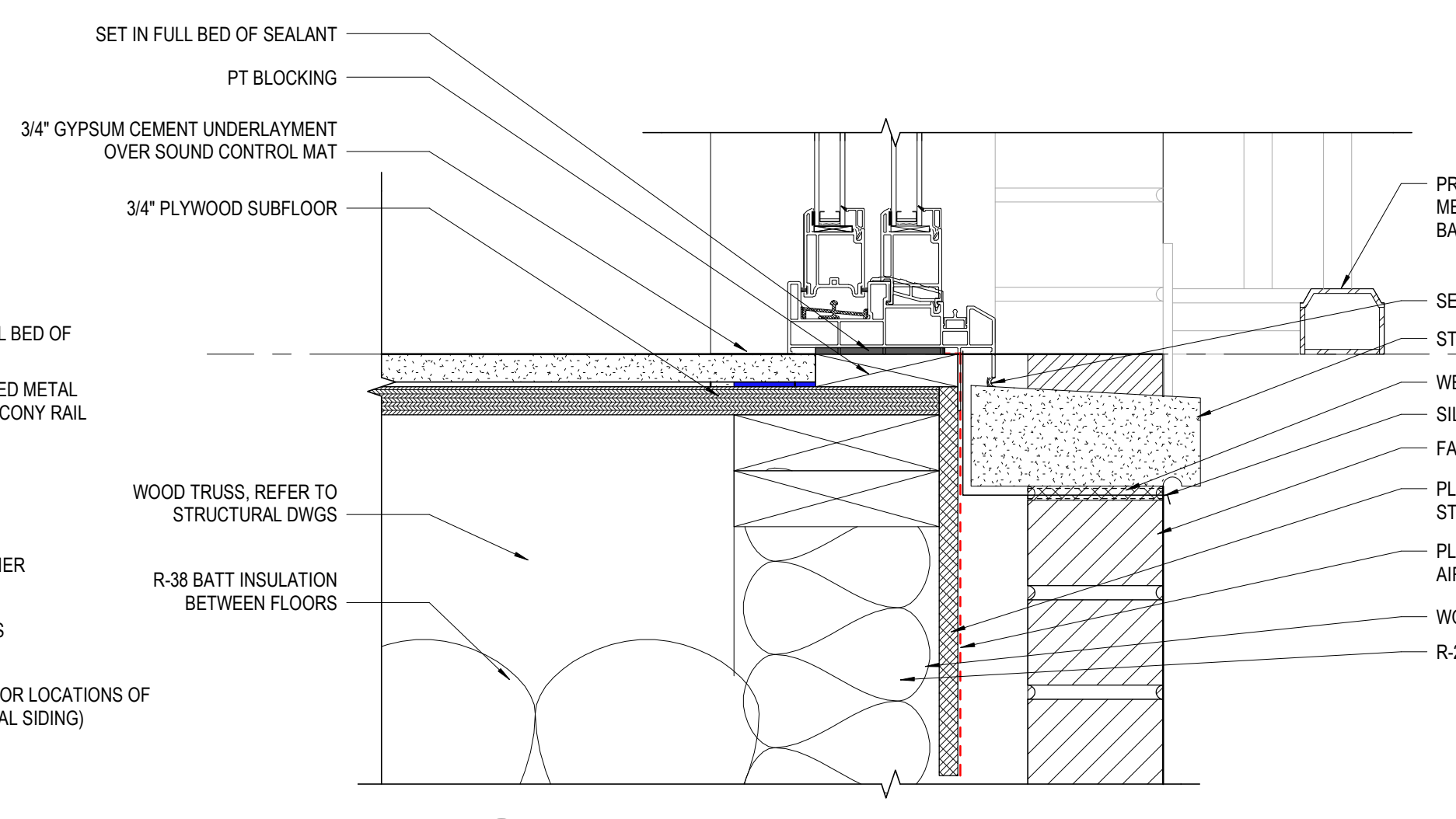
**3 DETAIL** SLIDING DOOR JAMB - STONE VENEER  
3" = 1'-0" REF: 1 / A101A



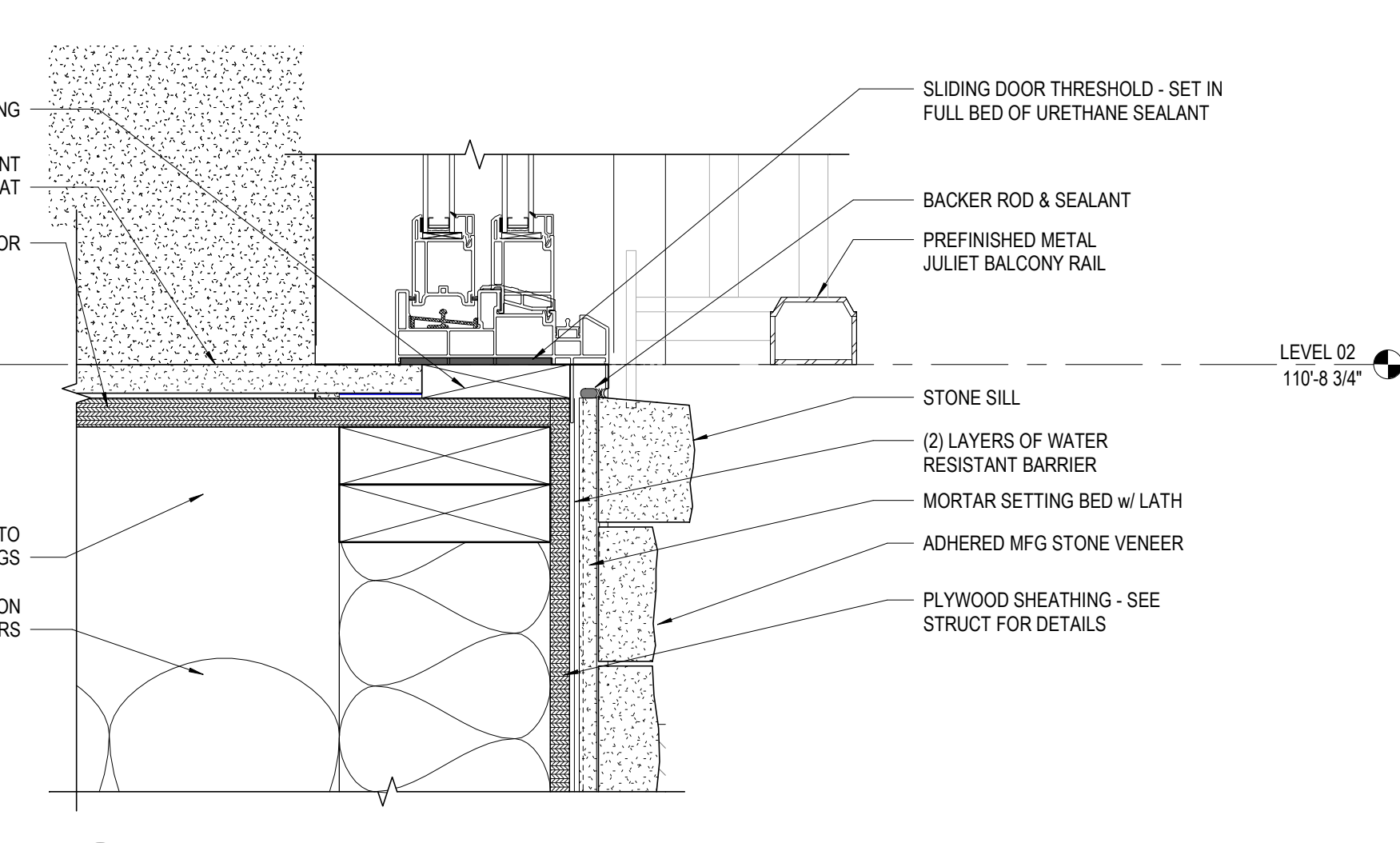
**13 DETAIL** BALCONY  
1 1/2" = 1'-0"



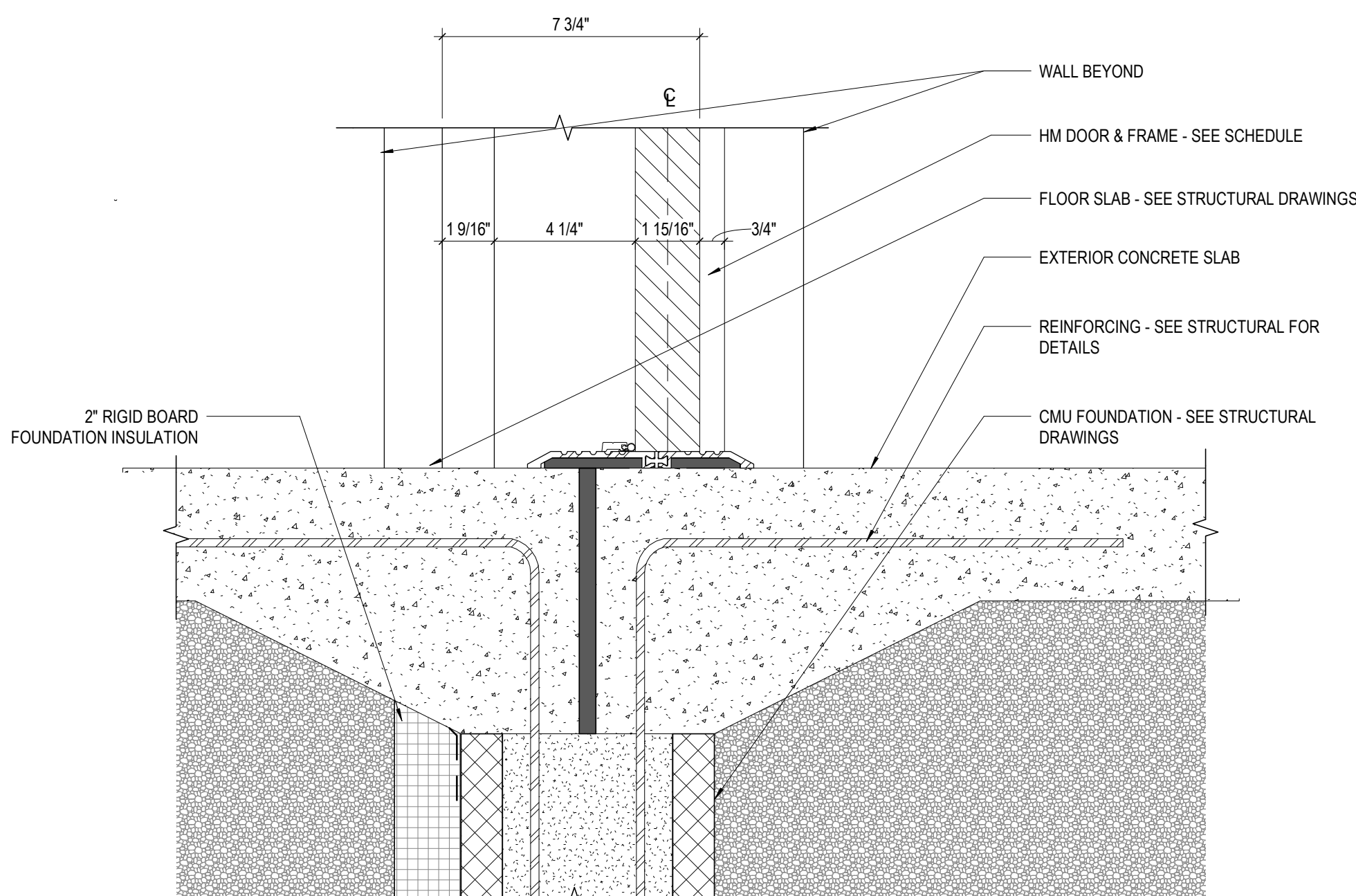
**10 DETAIL** SLIDING DOOR SILL - SIDING  
3" = 1'-0"



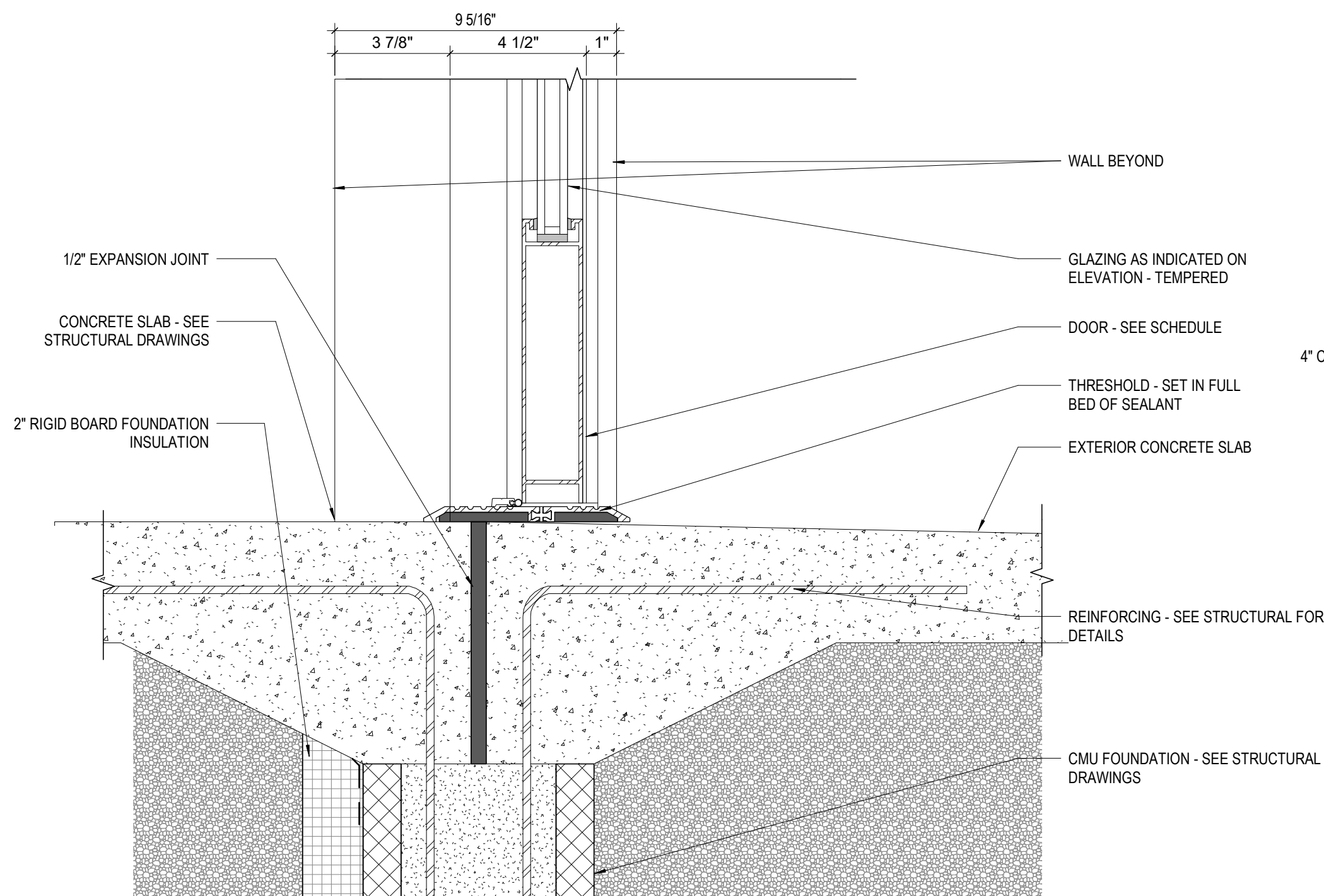
**6 DETAIL** SLIDING DOOR SILL AT BRICK VENEER  
3" = 1'-0" REF: 1 / A411



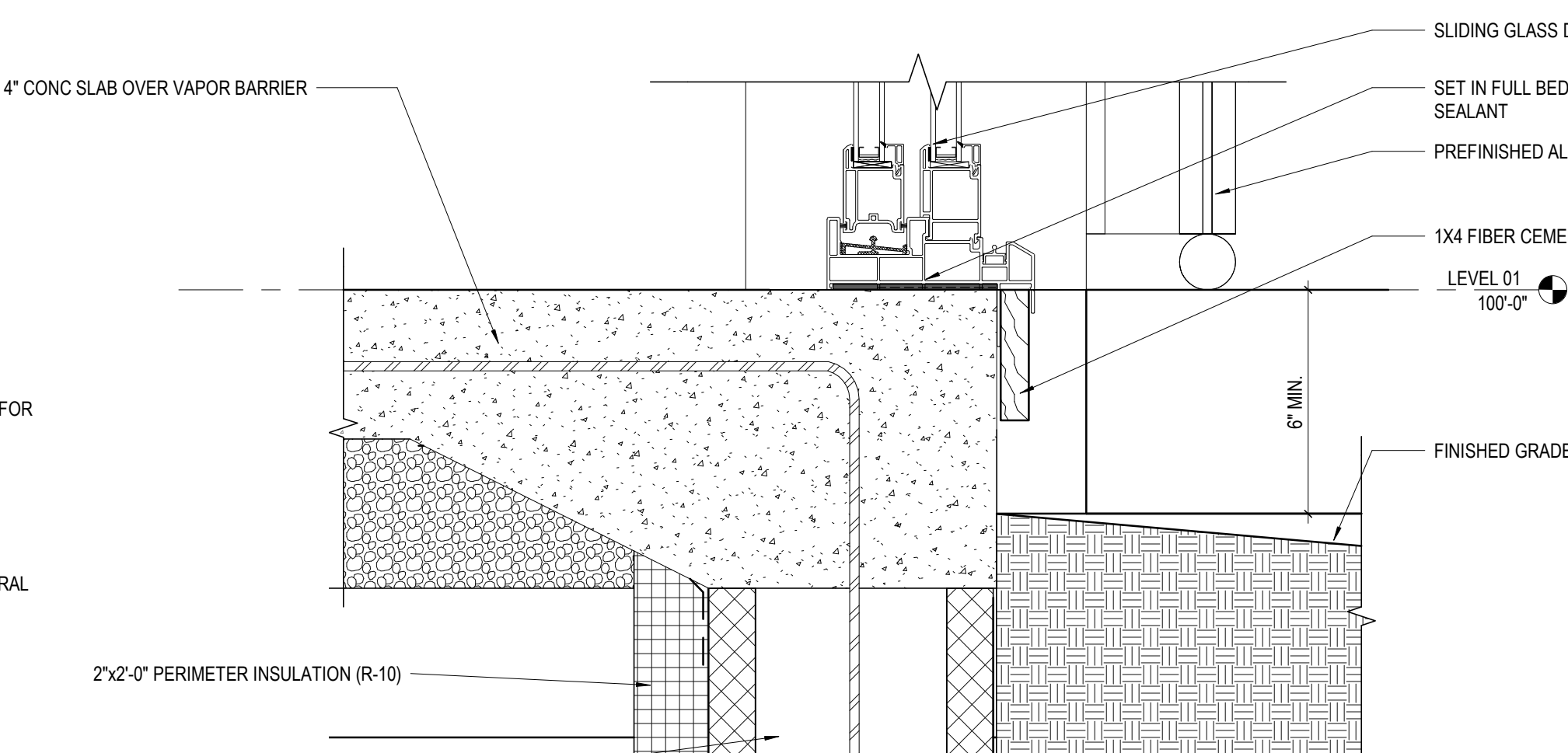
**2 DETAIL** SLIDING DOOR SILL - STONE VENEER  
3" = 1'-0" REF: 3 / A410



**9 DETAIL** HM DOOR SILL  
3" = 1'-0"



**5 DETAIL** STOREFRONT DOOR SILL  
3" = 1'-0" REF: 2 / A412



**1 DETAIL** TYP - SLIDING DOOR SILL @ GRADE  
3" = 1'-0" REF: 3 / A410

#	DATE	CHANGE DESCRIPTION

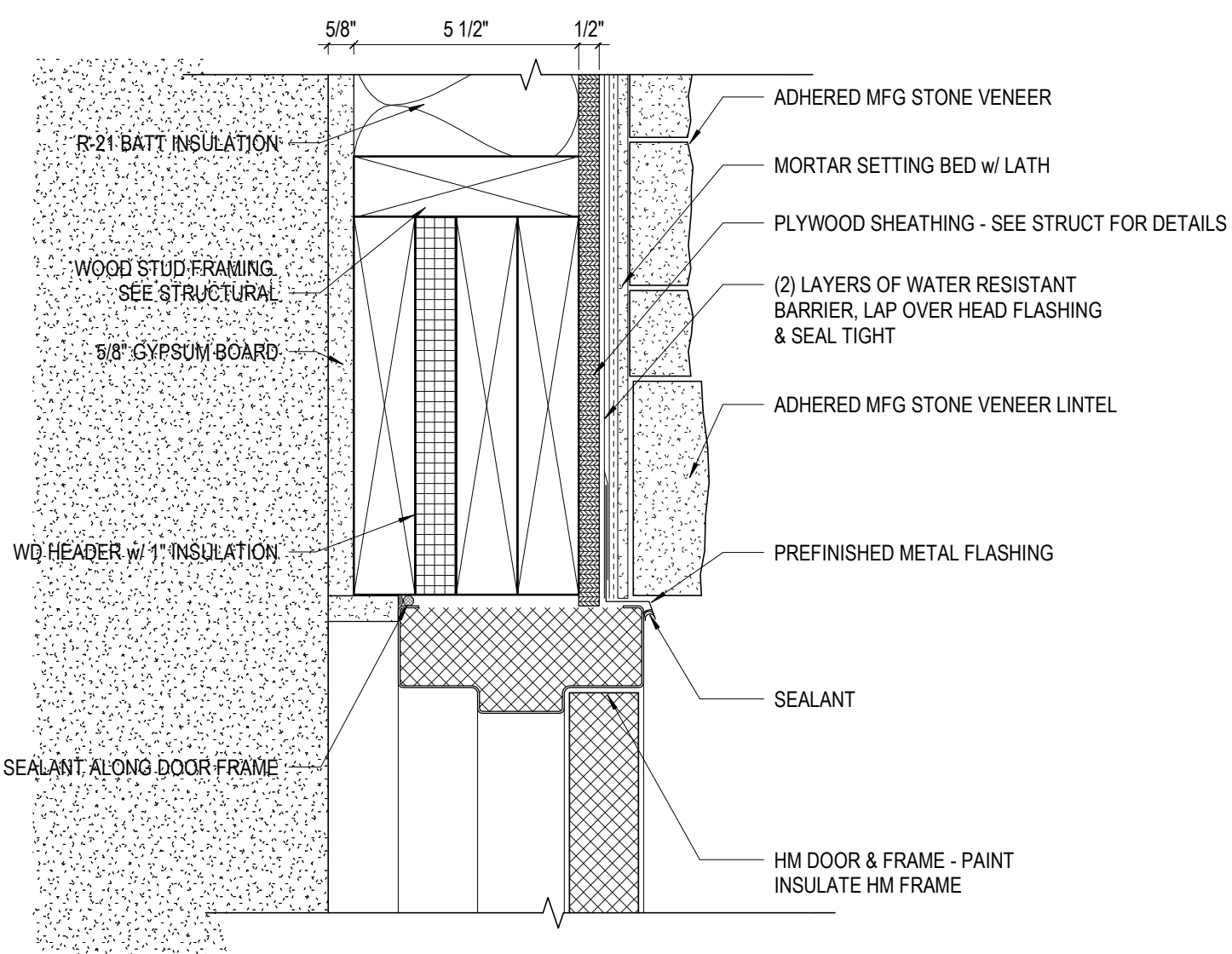
**COBBLESTONE MANOR**  
COLUMBUS METROPOLITAN HOUSING AUTHORITY  
1550 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR CMHA

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

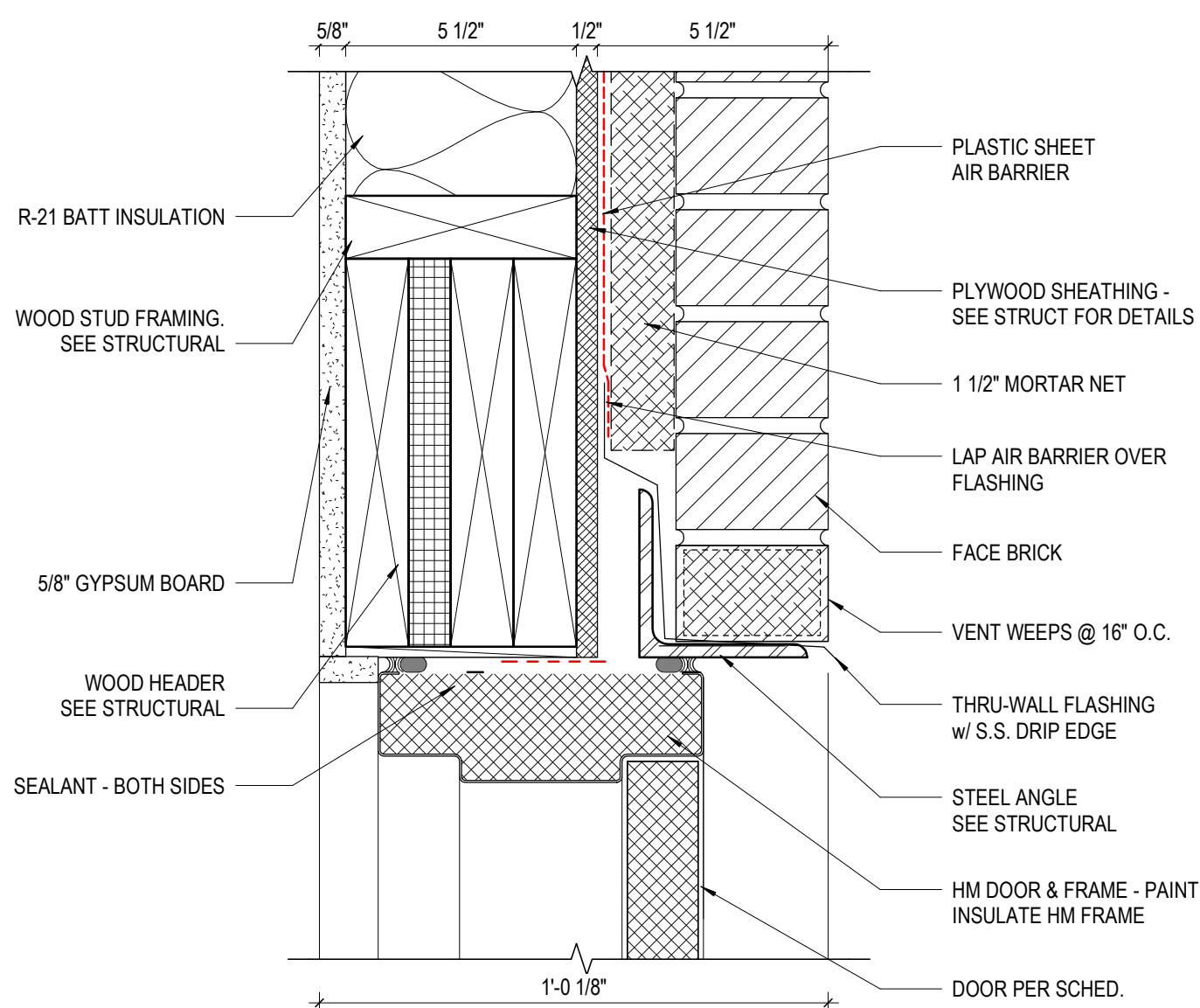
DRAWING TITLE:  
**DOOR DETAILS - EXTERIOR**

**STATE OF OHIO**  
JAY W. BOONE  
REGISTERED ARCHITECT  
10740  
06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker  
#22172.01  
**A710**  
PERMIT & BID SET

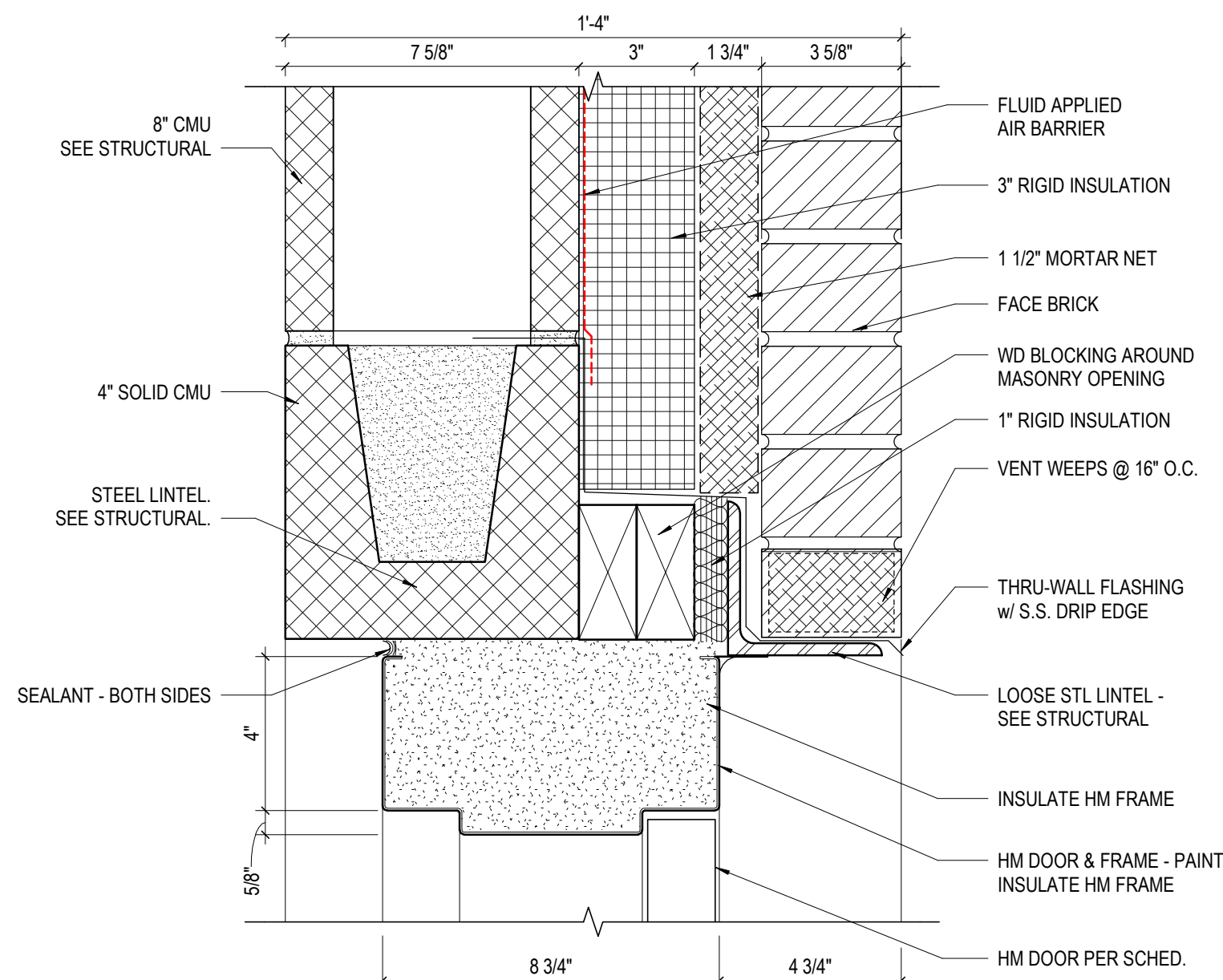




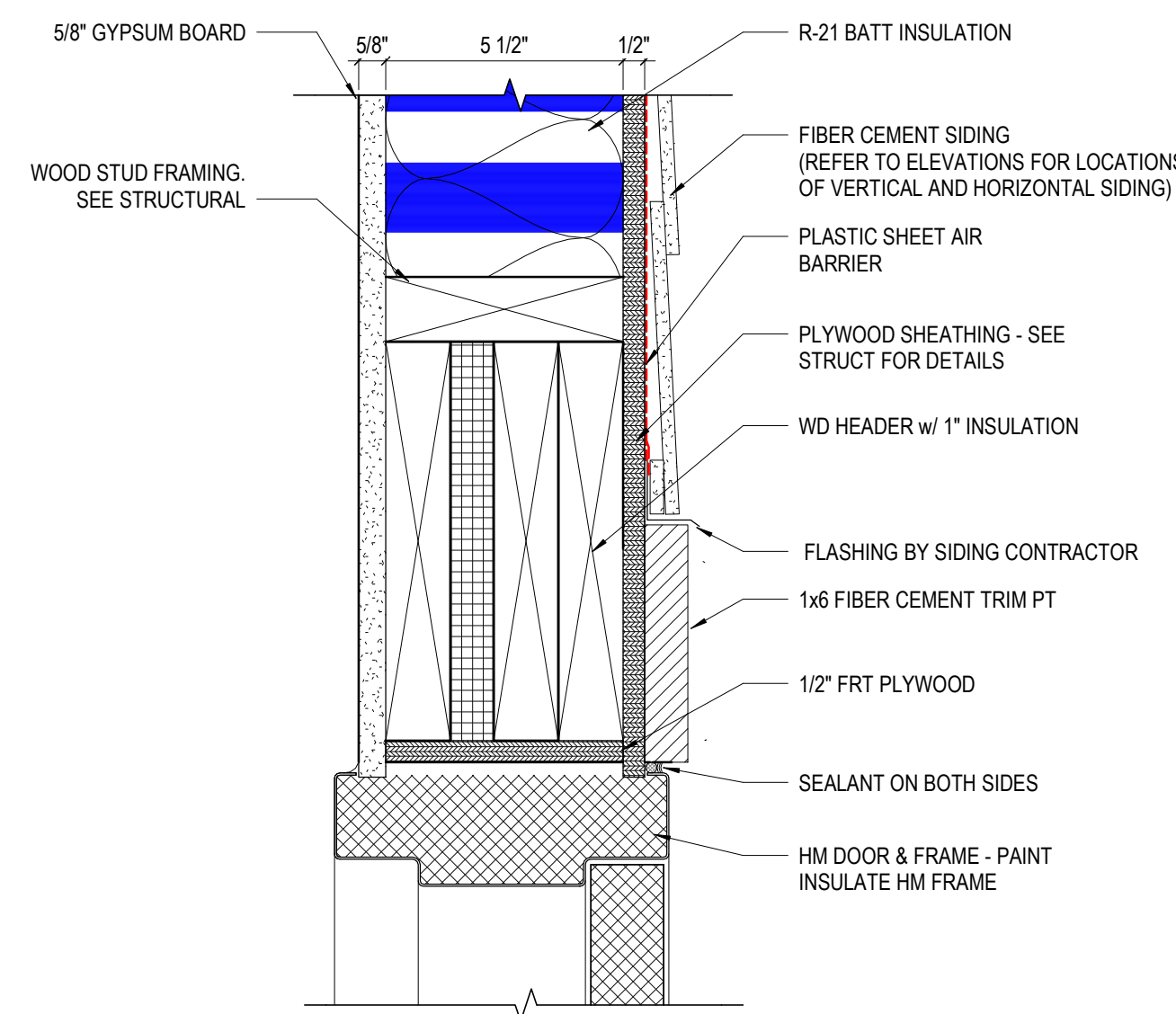
**10 DETAIL** HM DOOR HEAD - STONE VENEER  
3" = 1'-0"



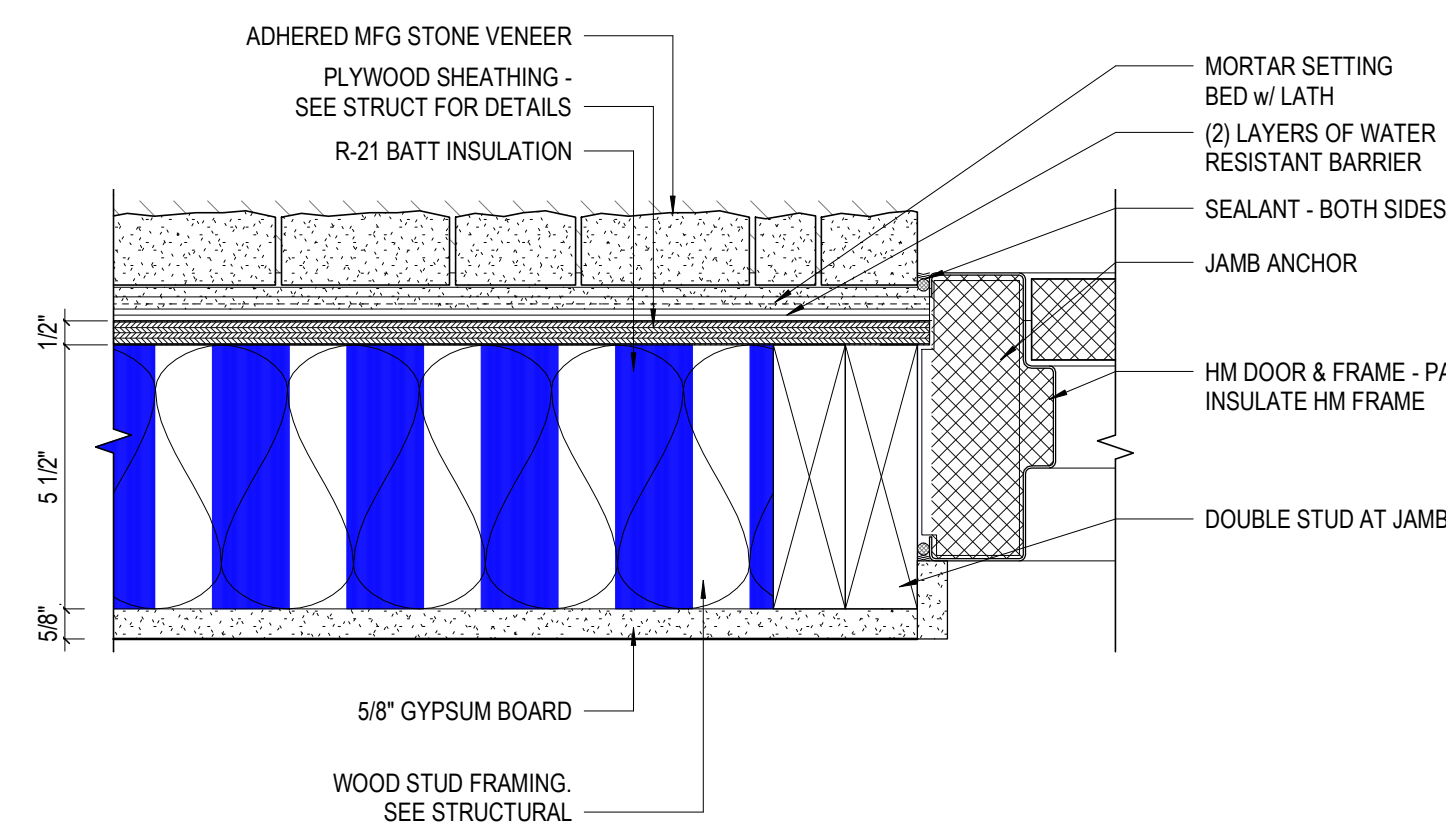
**8 DETAIL** EXT. HM DOOR HEAD AT BRICK  
3" = 1'-0"



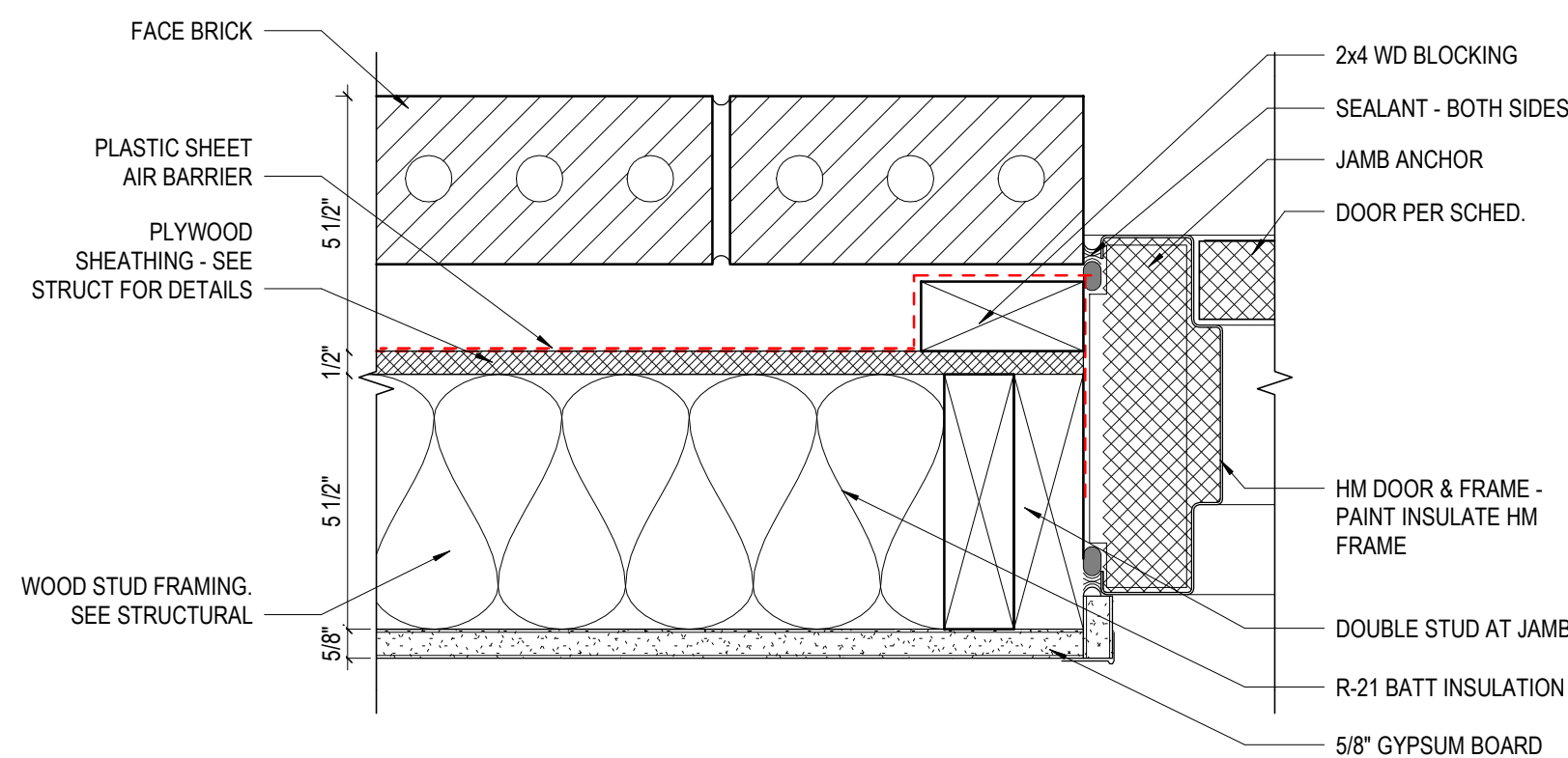
**6 DETAIL** EXT. DOOR HEAD AT BRICK  
3" = 1'-0"



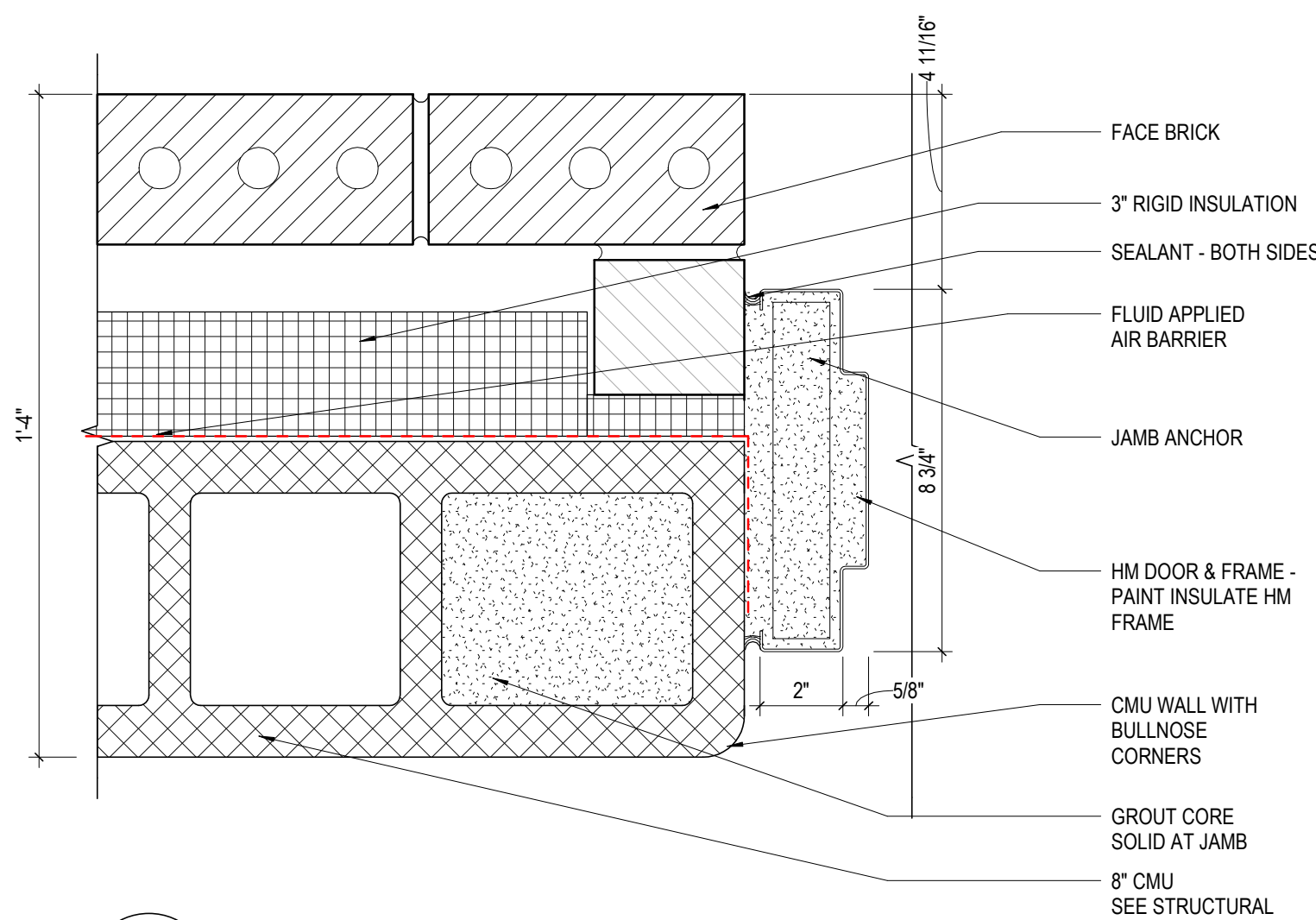
**3 DETAIL** ACCESS DOOR HEAD  
3" = 1'-0" REF: 6 / A412



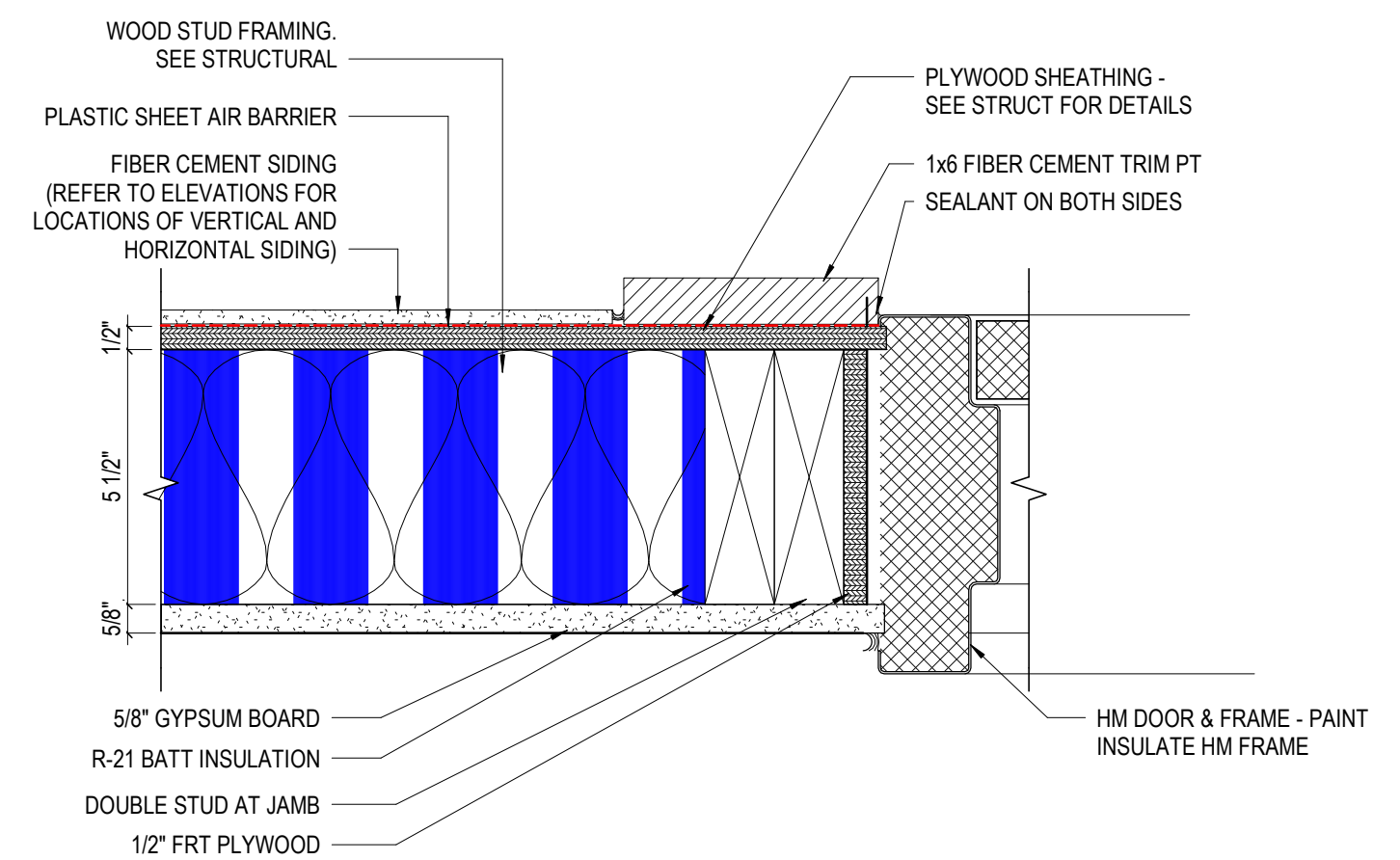
**9 DETAIL** HM DOOR JAMB - STONE VENEER  
3" = 1'-0" REF: 1 / A101A



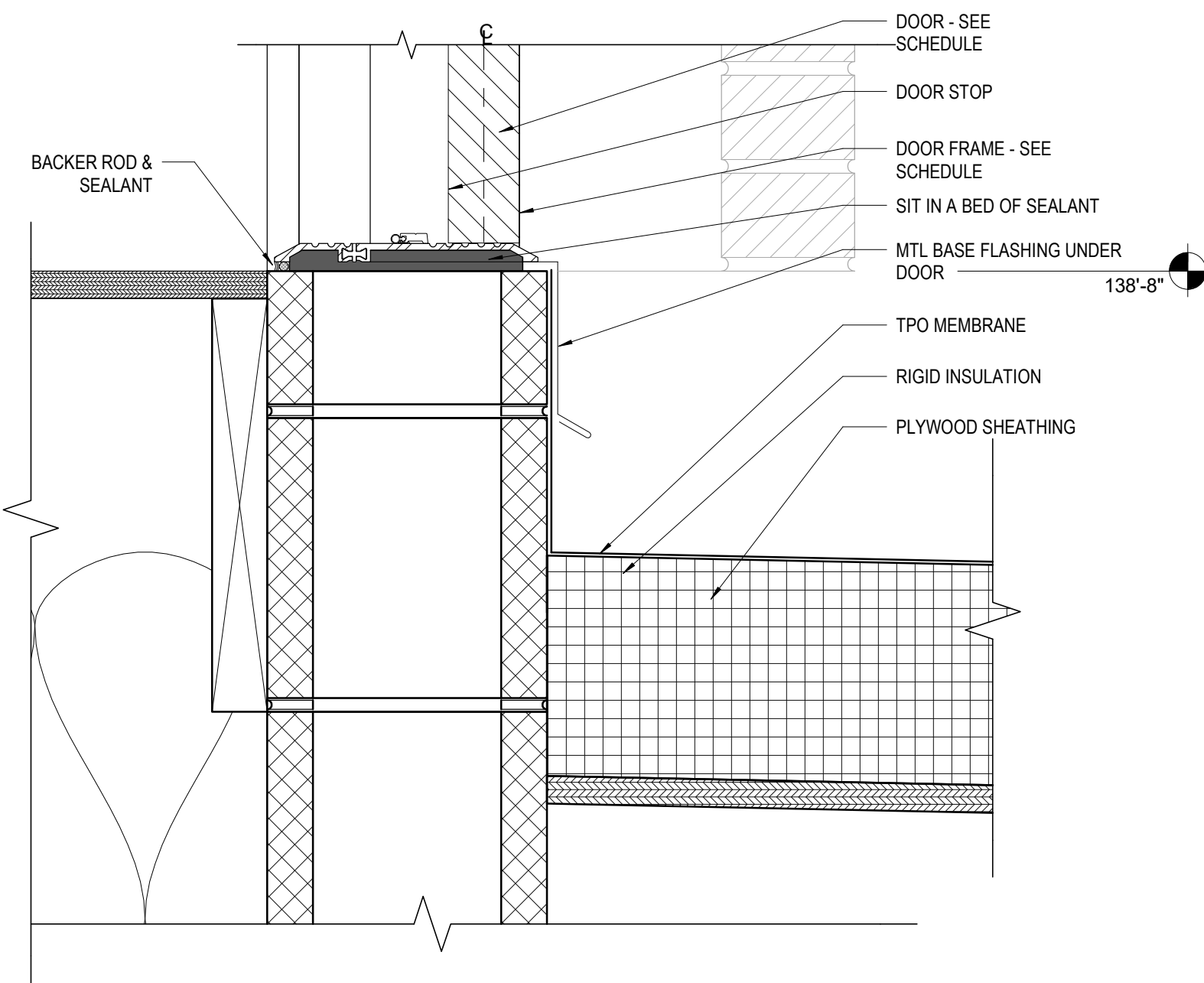
**7 DETAIL** EXT. HM DOOR JAMB AT BRICK  
3" = 1'-0"



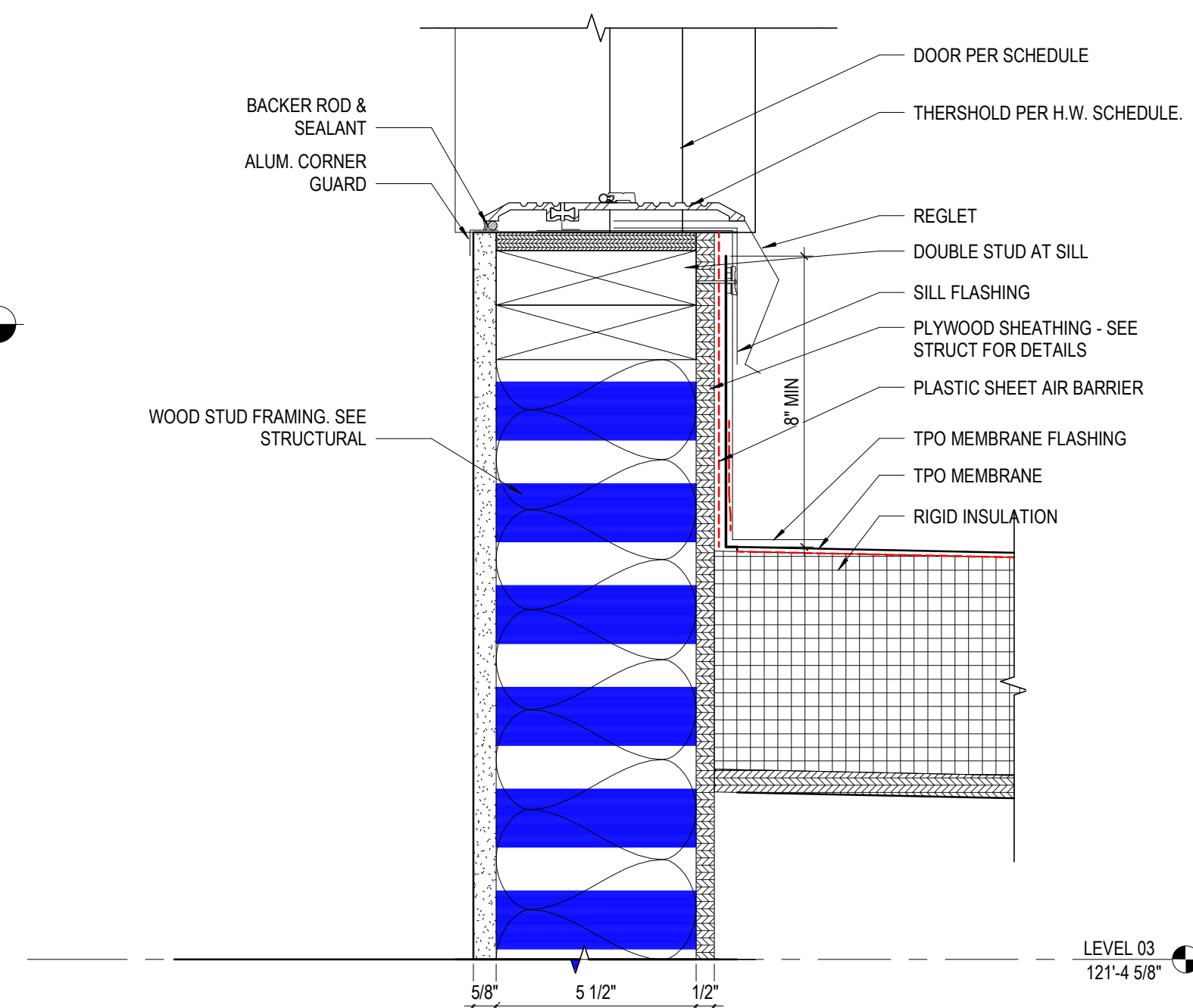
**5 DETAIL** EXT. HM DOOR JAMB AT BRICK  
3" = 1'-0"



**2 DETAIL** ACCESS DOOR JAMB - 3RD FLOOR  
3" = 1'-0" REF: 1 / A103A



**4 DETAIL** HM DOOR @ ROOF  
3" = 1'-0"




**1 DETAIL** ACCESS DOOR SILL - 3RD FLOOR  
3" = 1'-0" REF: 6 / A412

#	DATE	CHANGE DESCRIPTION



COLUMBUS METROPOLITAN  
HOUSING AUTHORITY  
COMMUNITY. COMMITMENT. COLLABORATION.

**COBBLESTONE MANOR**  
1550 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

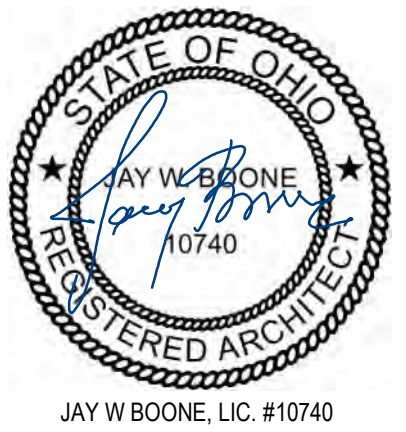


MOODY•NOLAN

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

**DOOR DETAILS - EXTERIOR**



JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2022

06/08/2023

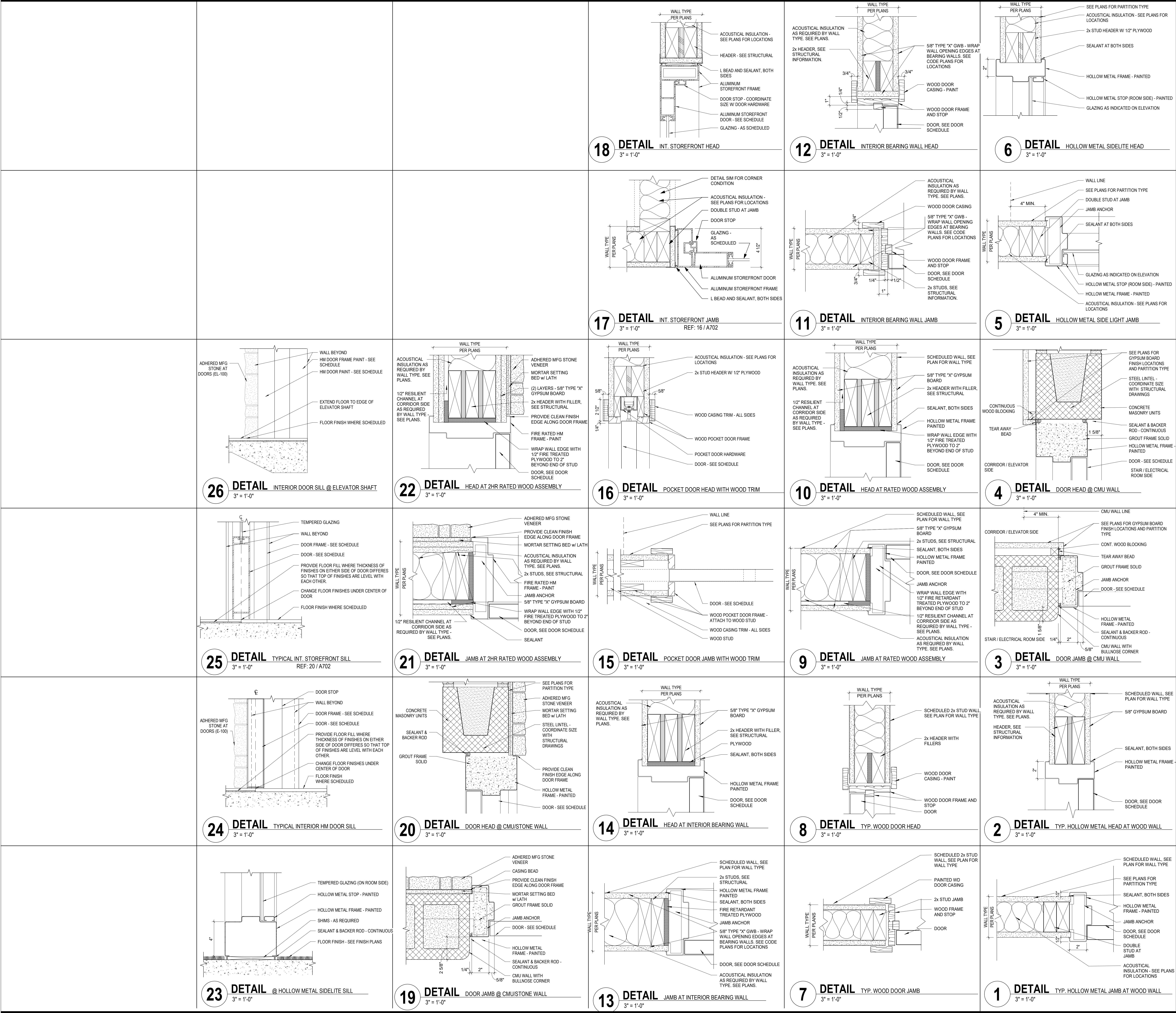
DRAWN BY: Author CHECKED BY: Checker

#22172.01

**A711**

PERMIT & BID SET





#	DATE	CHANGE DESCRIPTION

COLUMBUS METROPOLITAN HOUSING AUTHORITY  
COMMUNITY. COMMITMENT. COLLABORATION.

**COBBLESTONE MANOR**  
1550 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

MOODY-NOLAN

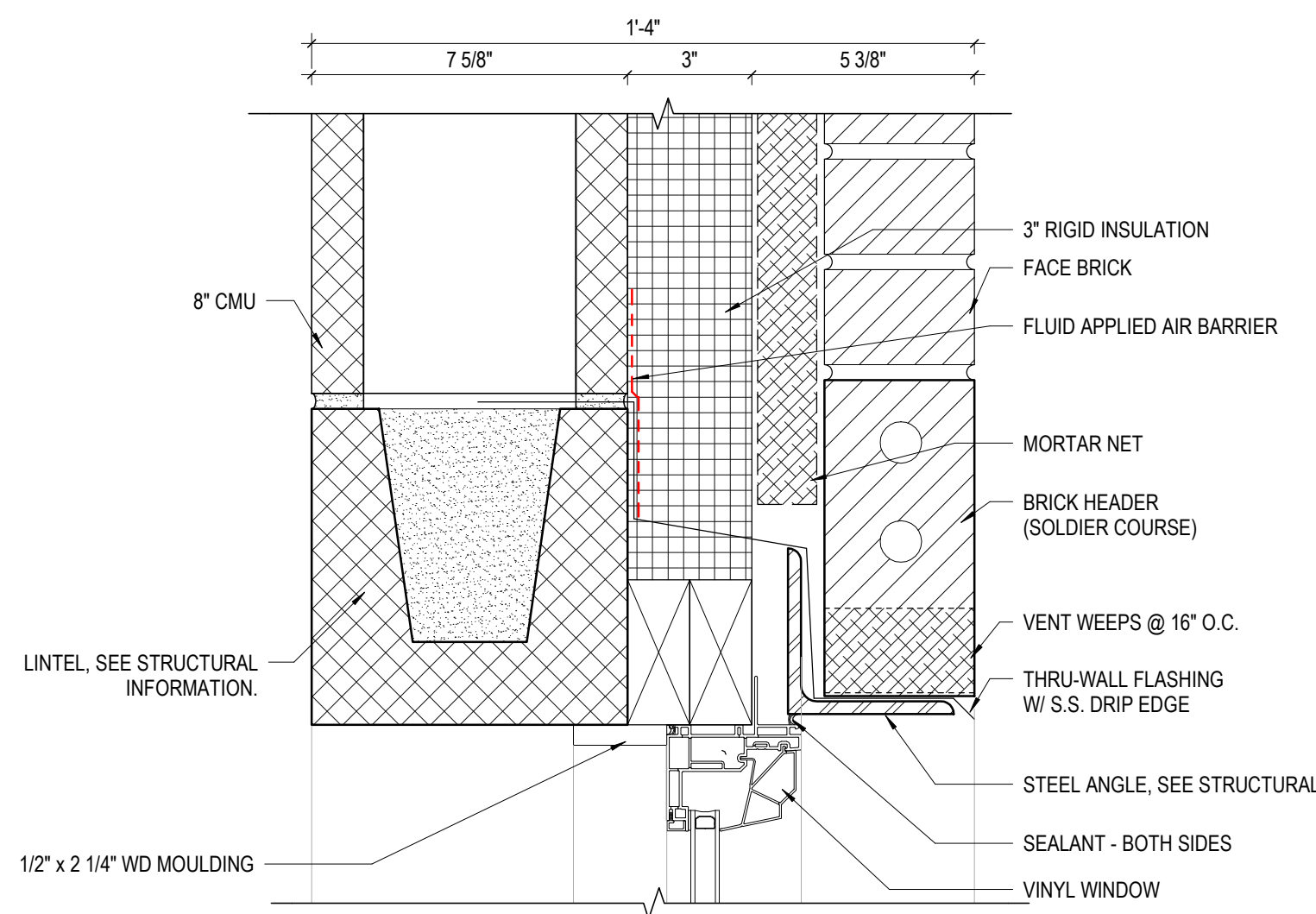
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

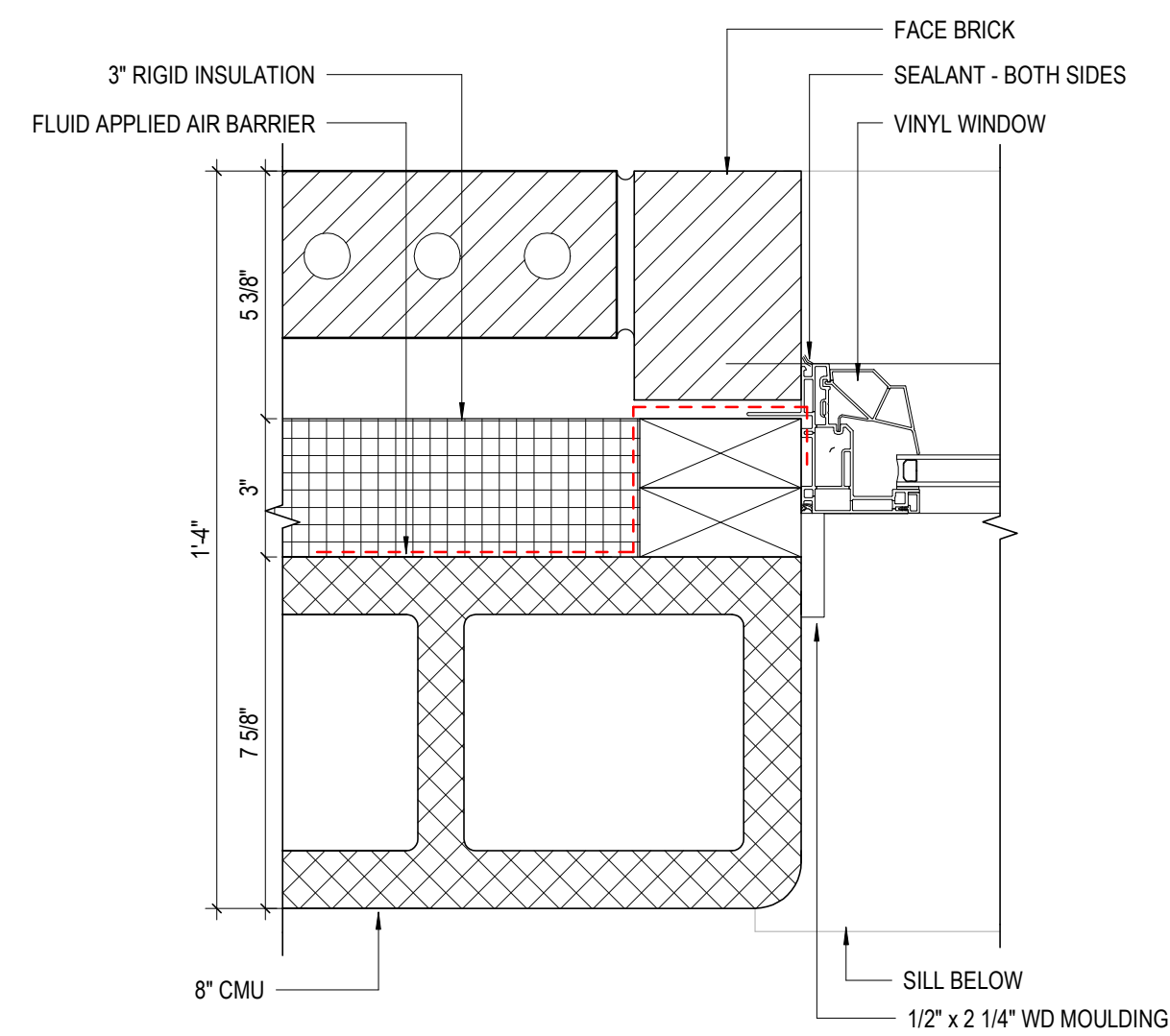
**DOOR DETAILS - INTERIOR**

06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker  
#22172.01  
**A712**  
PERMIT & BID SET

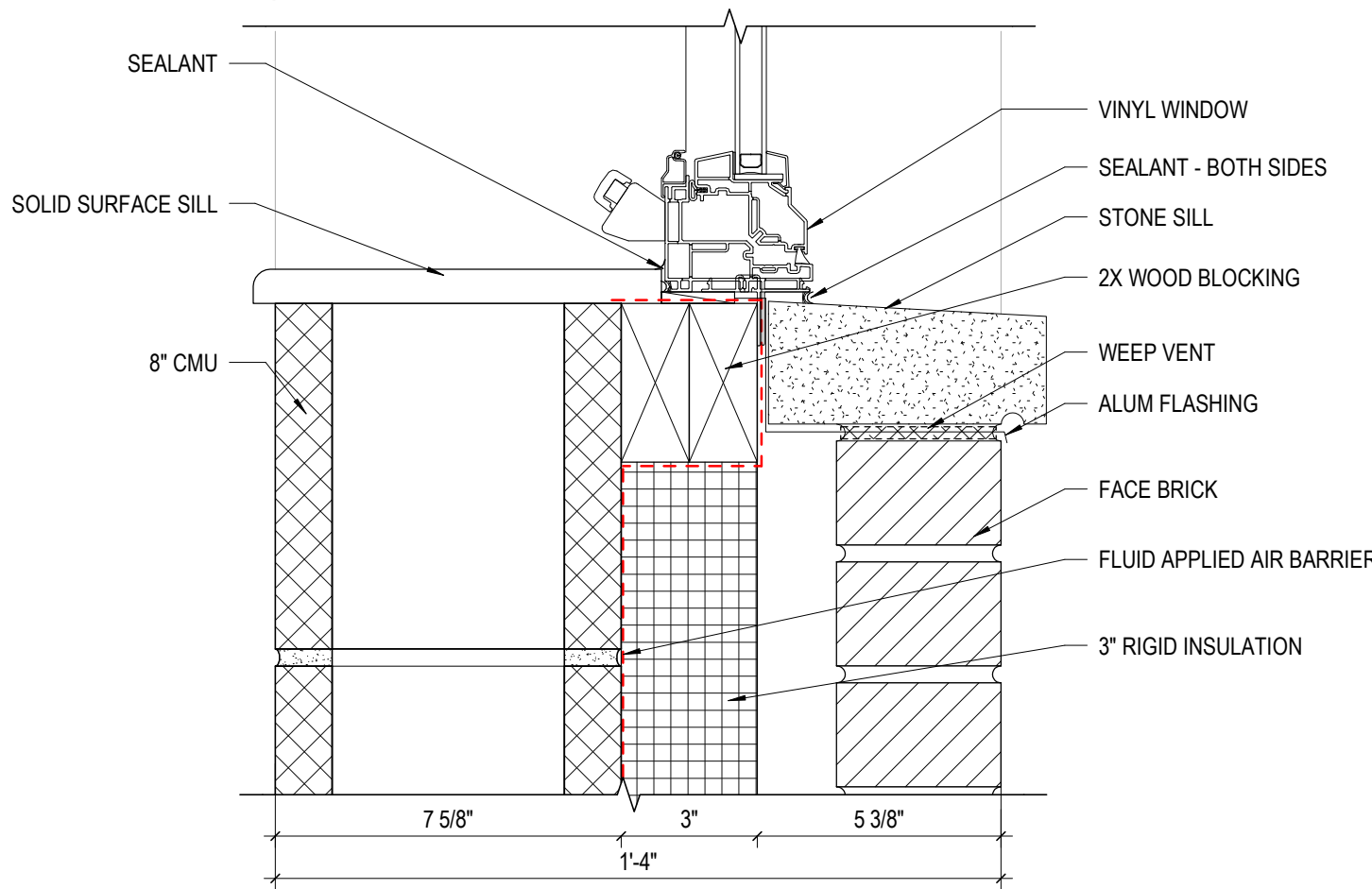




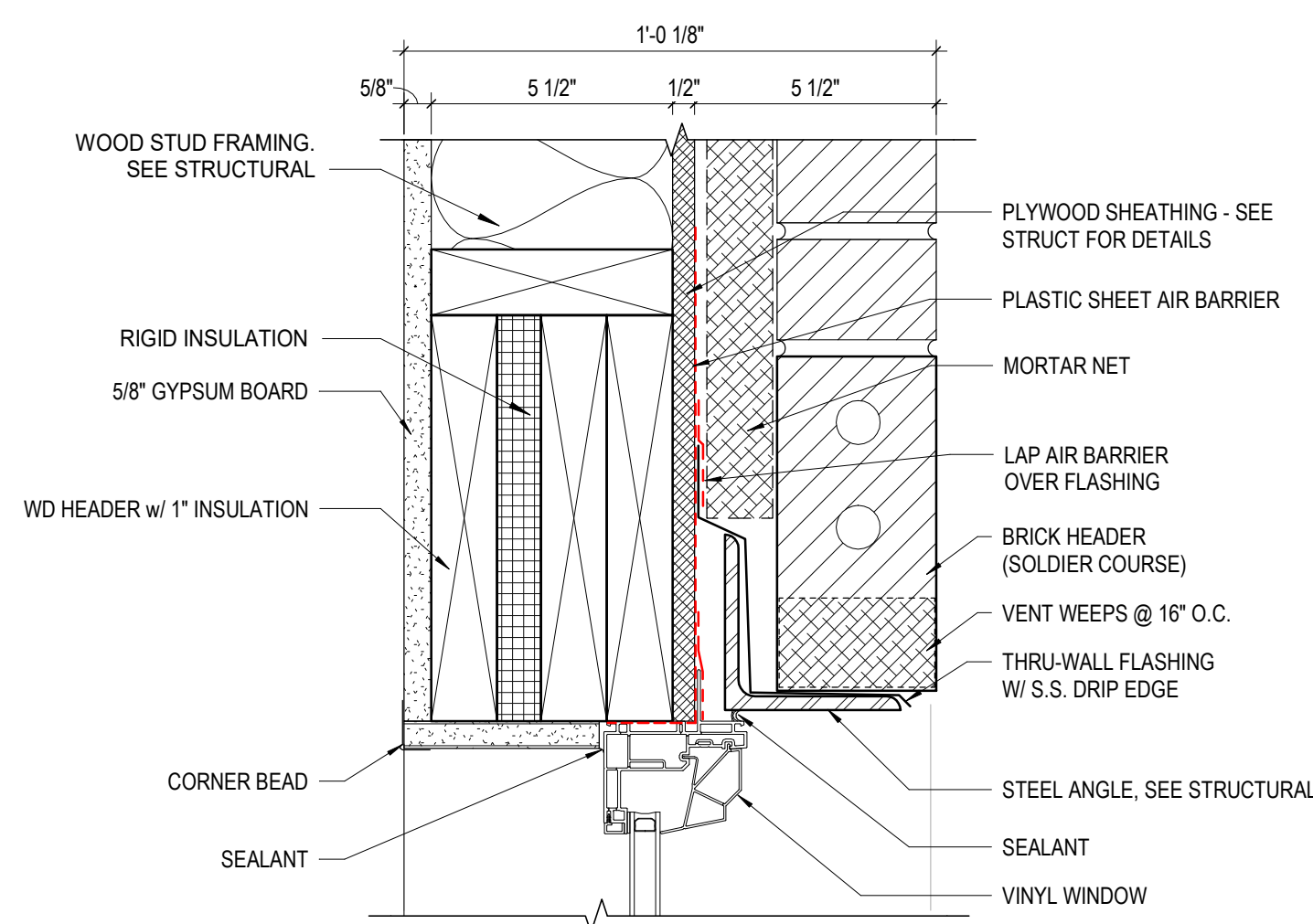
**12** DETAIL WINDOW HEAD - BRICK VENEER W/ CMU  
3" = 1'-0"



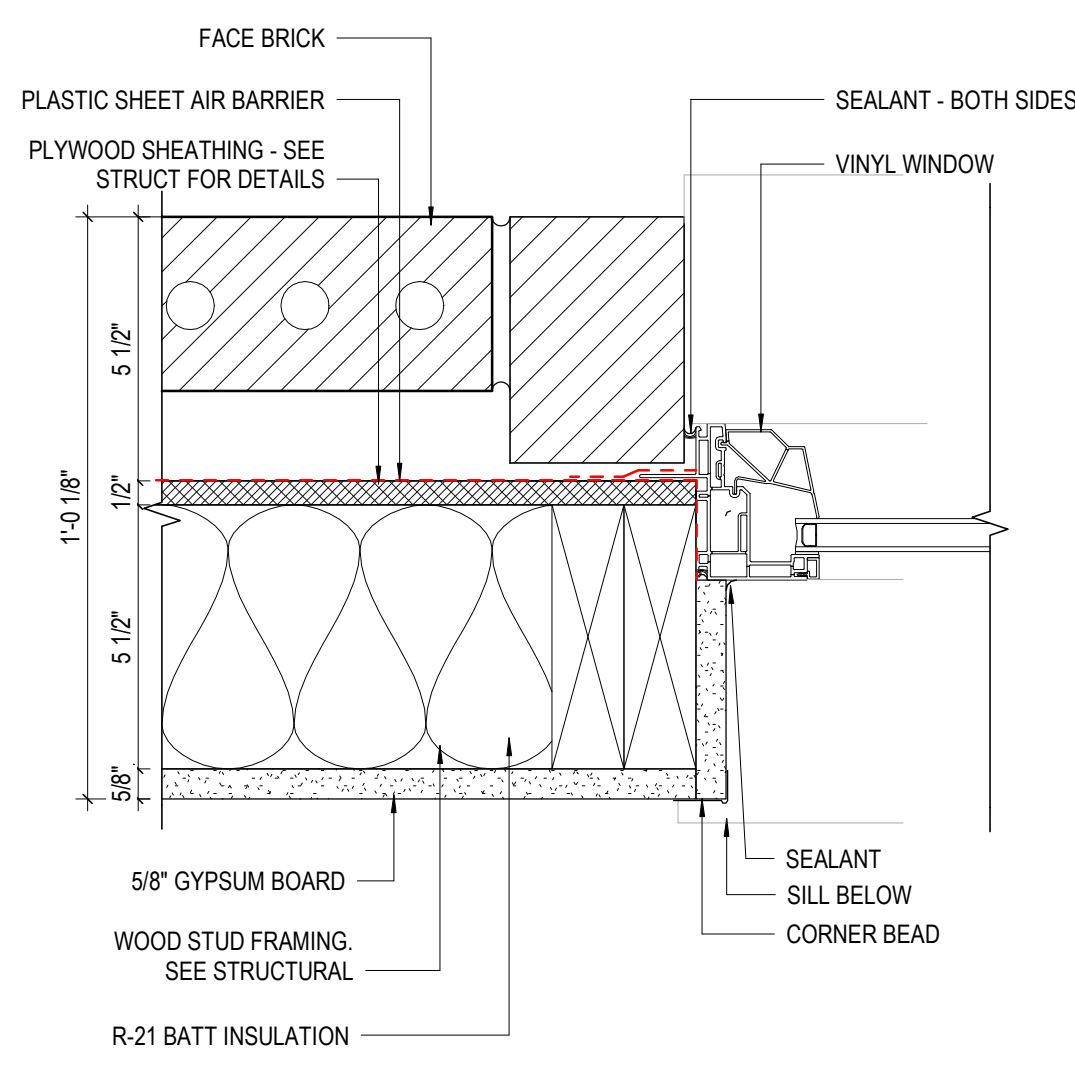
**11** DETAIL WINDOW JAMB - BRICK VENEER W/ CMU  
3" = 1'-0"



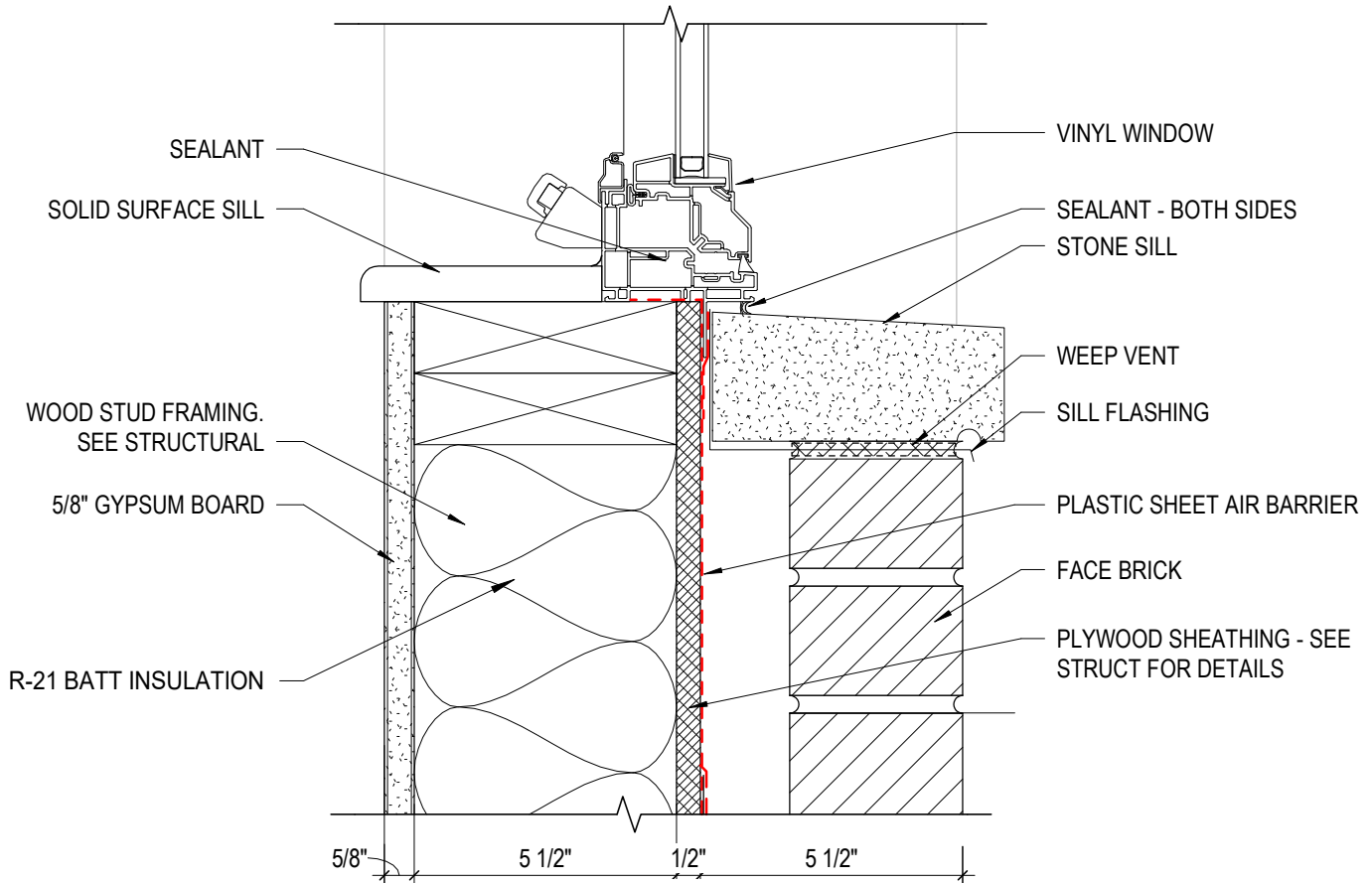
**10** DETAIL WINDOW SILL - BRICK VENEER W/ CMU  
3" = 1'-0"



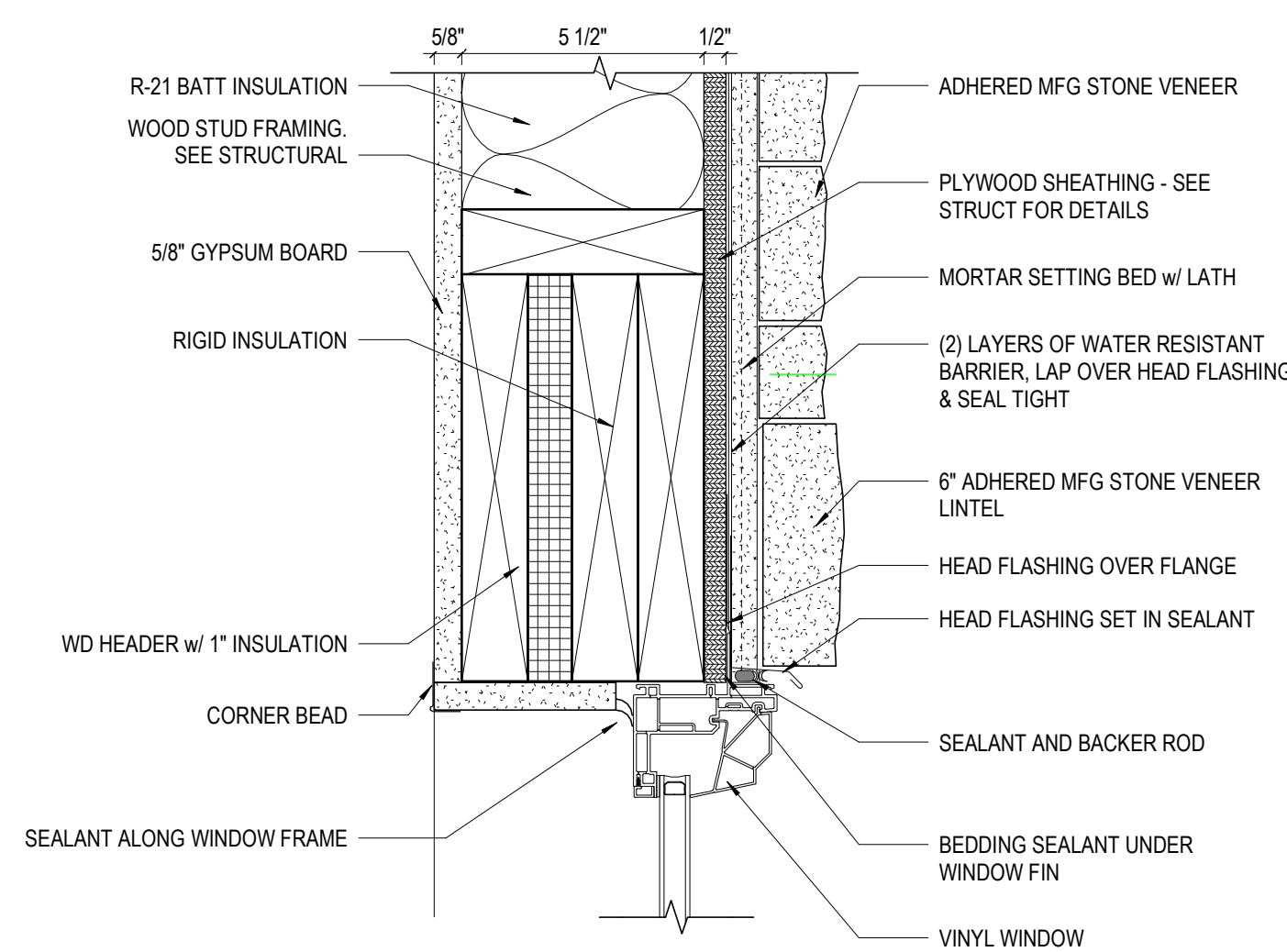
**9** DETAIL WINDOW HEAD - BRICK VENEER W WD STUDS  
3" = 1'-0"



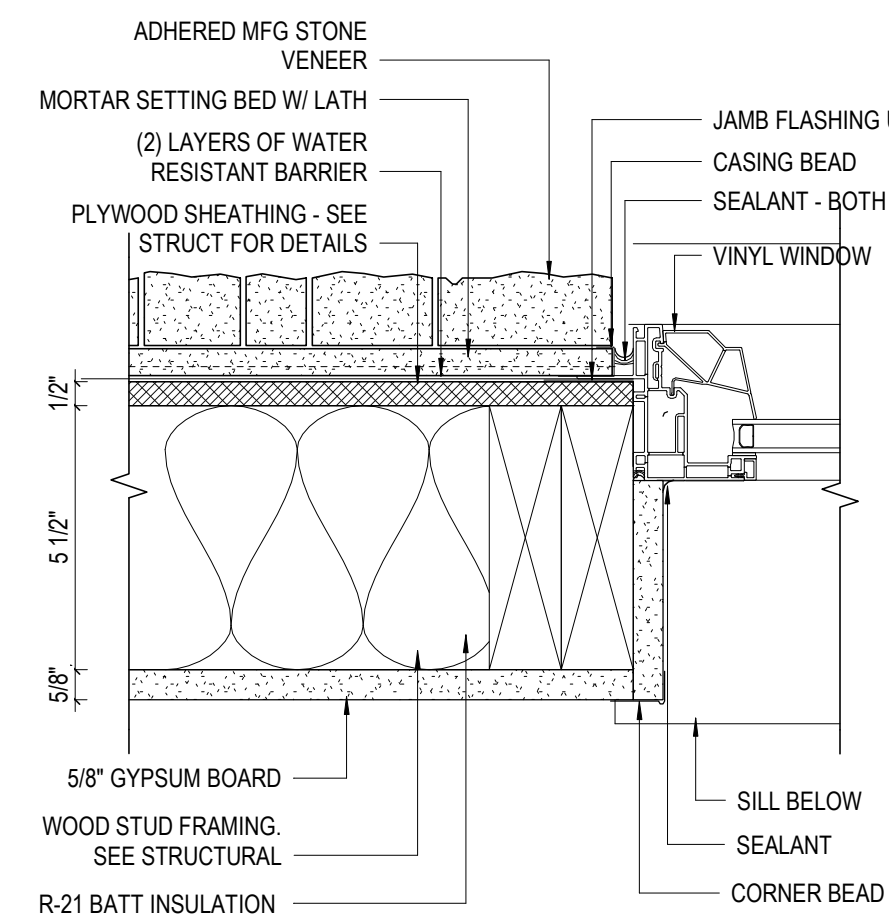
**8** DETAIL WINDOW JAMB - BRICK VENEER W/ WD STUDS  
3" = 1'-0"



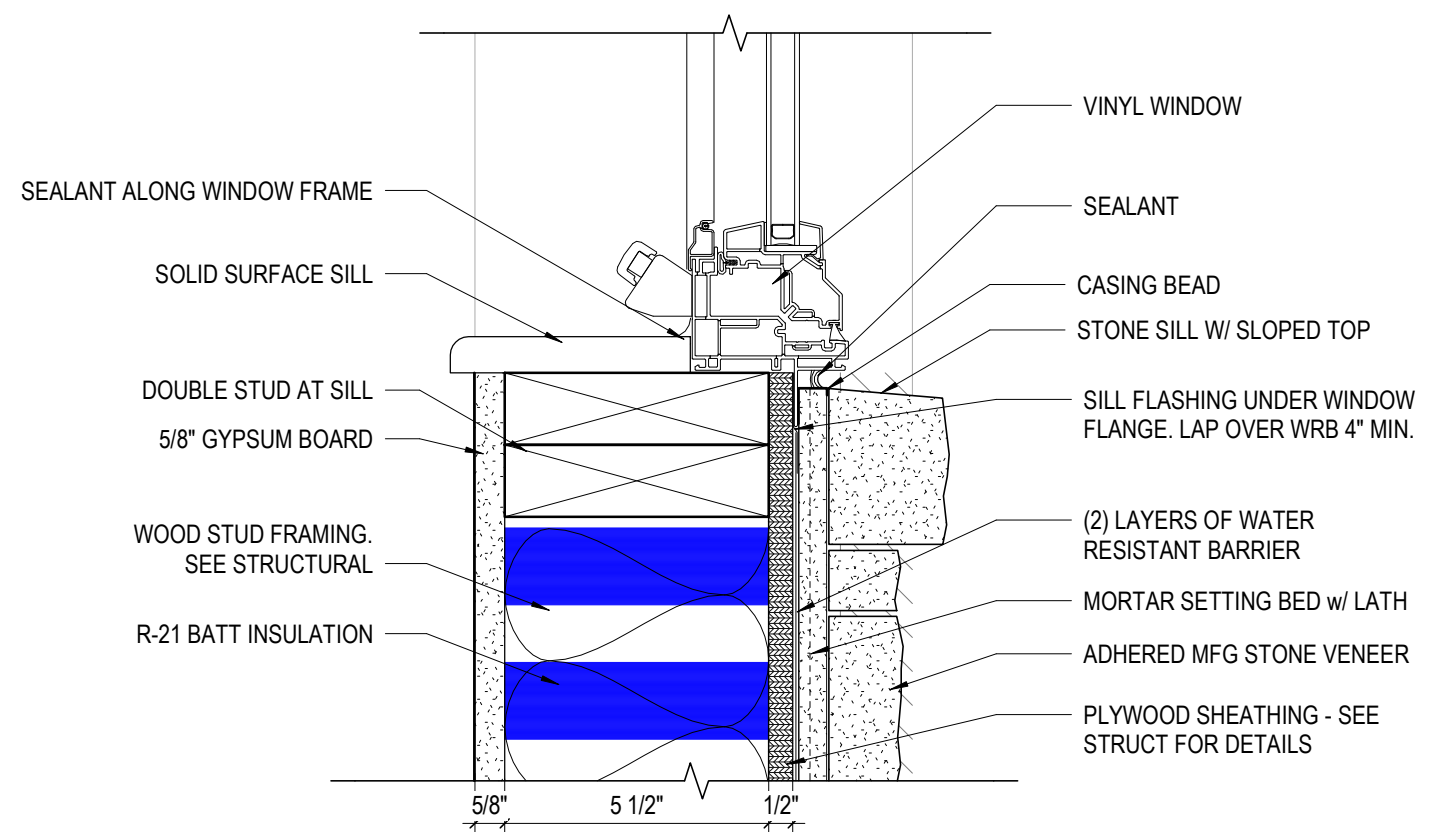
**7** DETAIL WINDOW SILL - BRICK VENEER W/ WD STUDS  
3" = 1'-0"



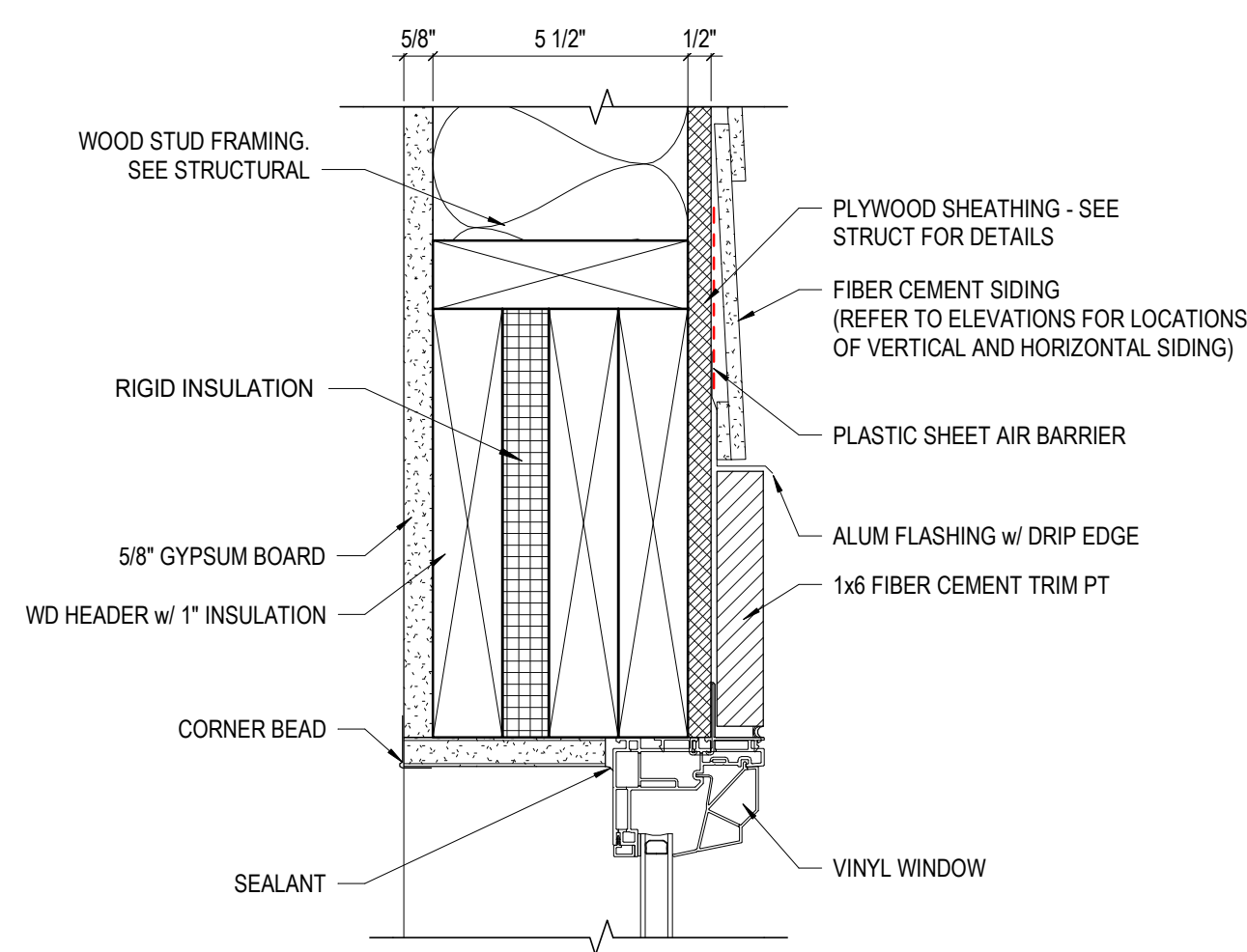
**6** DETAIL TYP. - WINDOW HEAD @ STONE VENEER  
3" = 1'-0" REF: 2 / A410



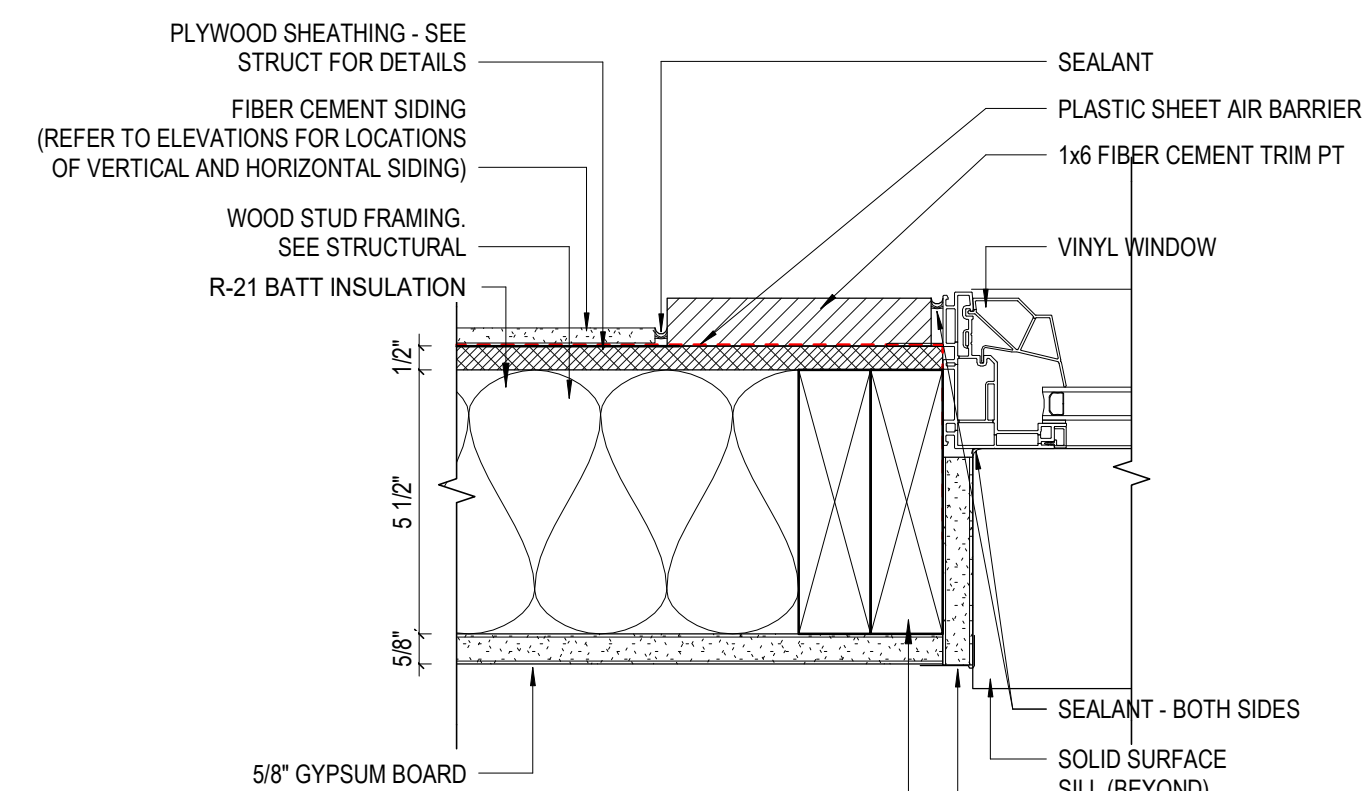
**5** DETAIL WINDOW JAMB - STONE VENEER W/ WD STUDS  
3" = 1'-0" REF: 4 / A702



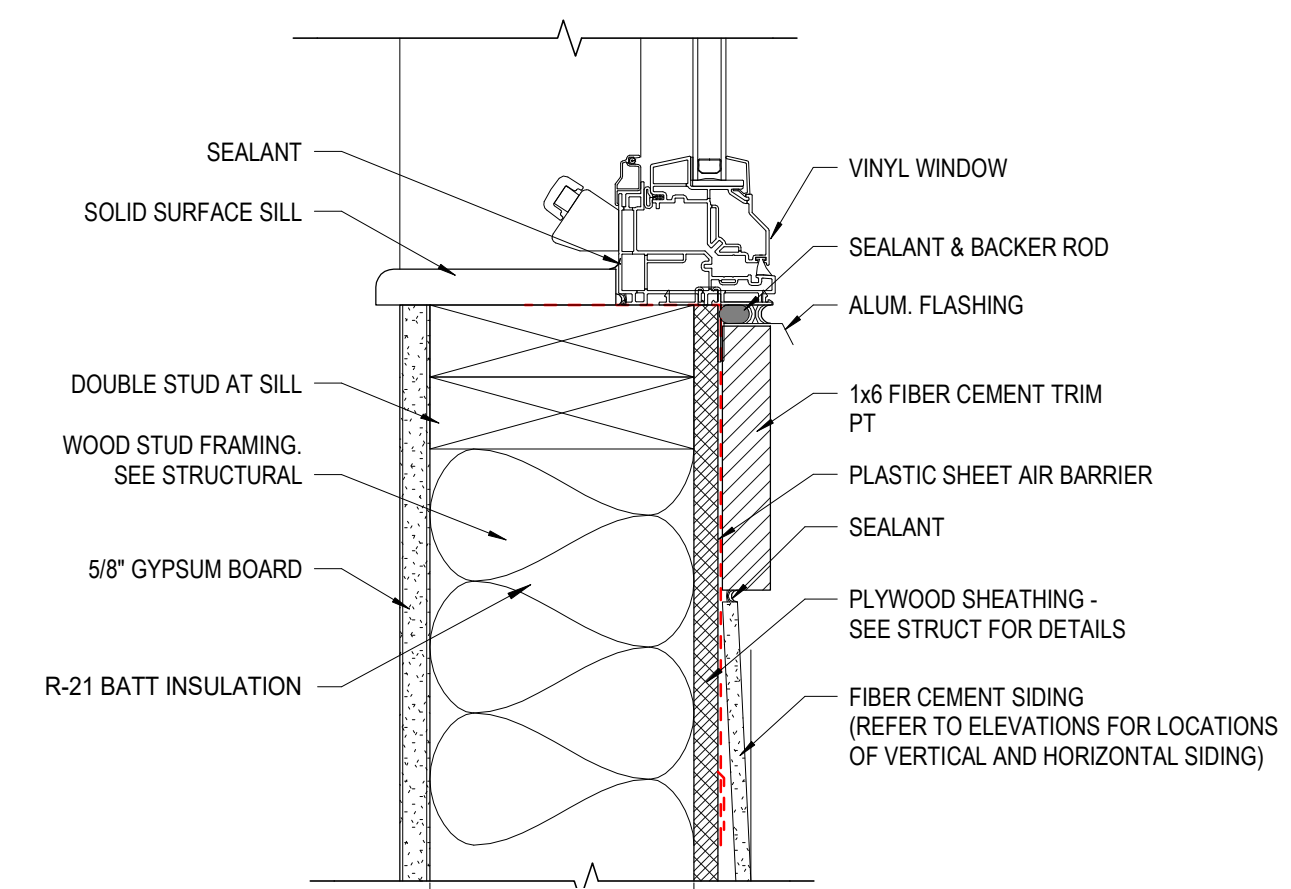
**4** DETAIL TYP. - WINDOW SILL @ STONE VENEER  
3" = 1'-0" REF: 2 / A410



**3** DETAIL WINDOW HEAD - VINYL SIDING  
3" = 1'-0"



**2** DETAIL WINDOW JAMB - VINYL SIDING  
3" = 1'-0"



**1** DETAIL WINDOW SILL - VINYL SIDING  
3" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1550 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

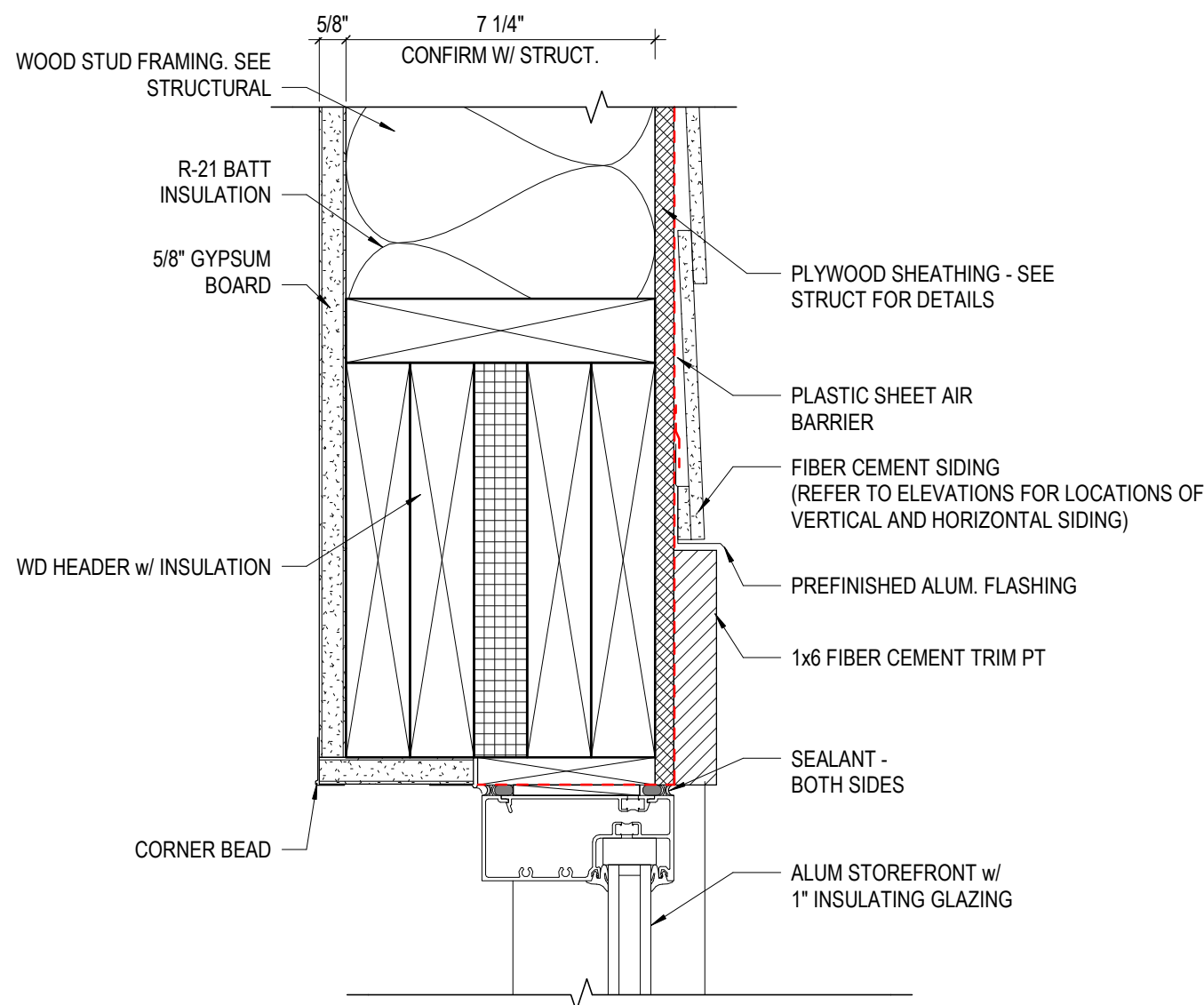
**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

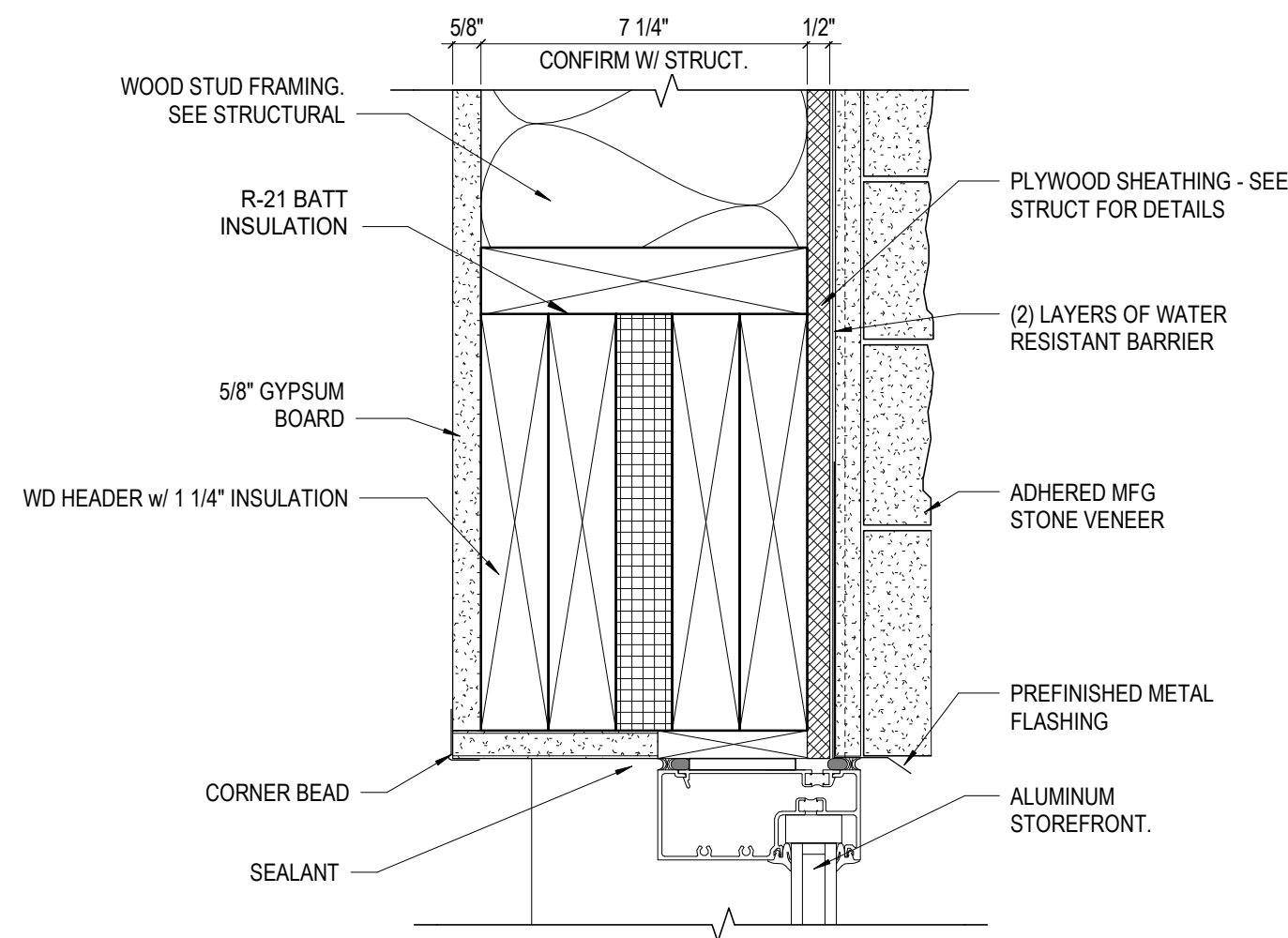
**WINDOW DETAILS - EXTERIOR**

	06/08/2023
	DRAWN BY: XXXX CHECKED BY: XXXX
	#22172.01
	<b>A720</b>
JAY W. BOONE, LIC. #10740 EXP. DATE: 12/31/2022	PERMIT & BID SET

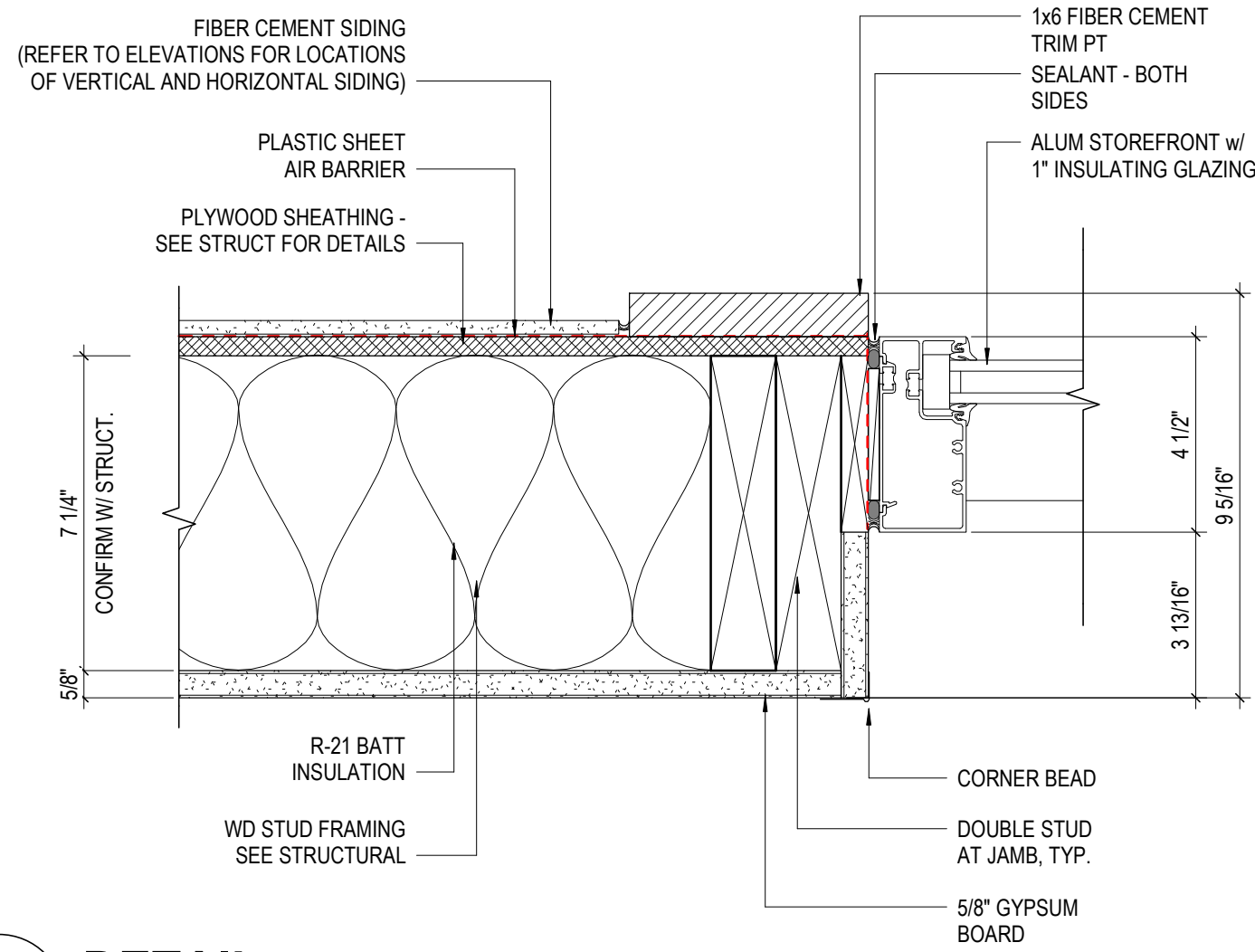




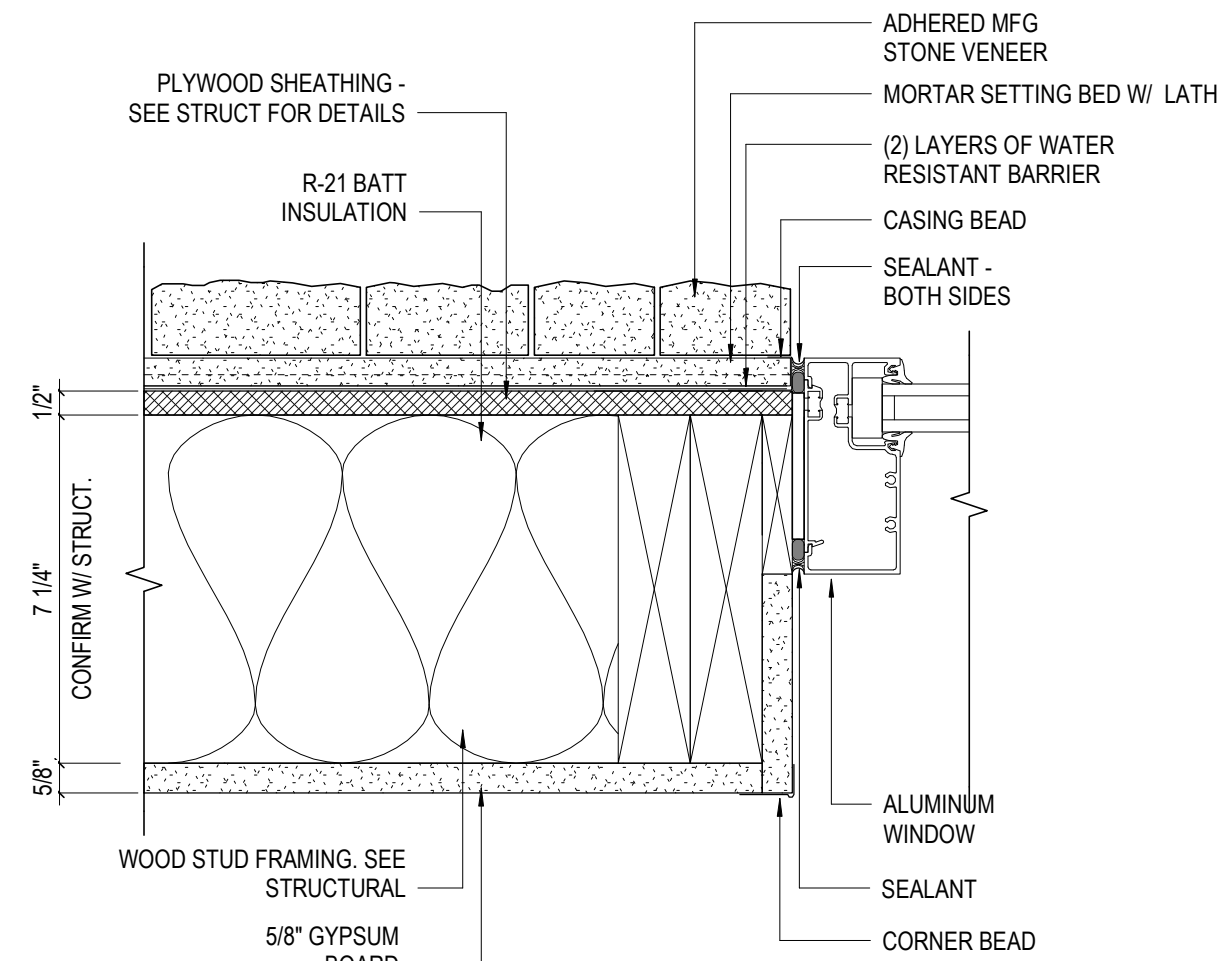
**6 DETAIL** EXT. ALUM STOREFRONT HEAD AT VINYL SIDING  
3" = 1'-0" REF: 2 / A412



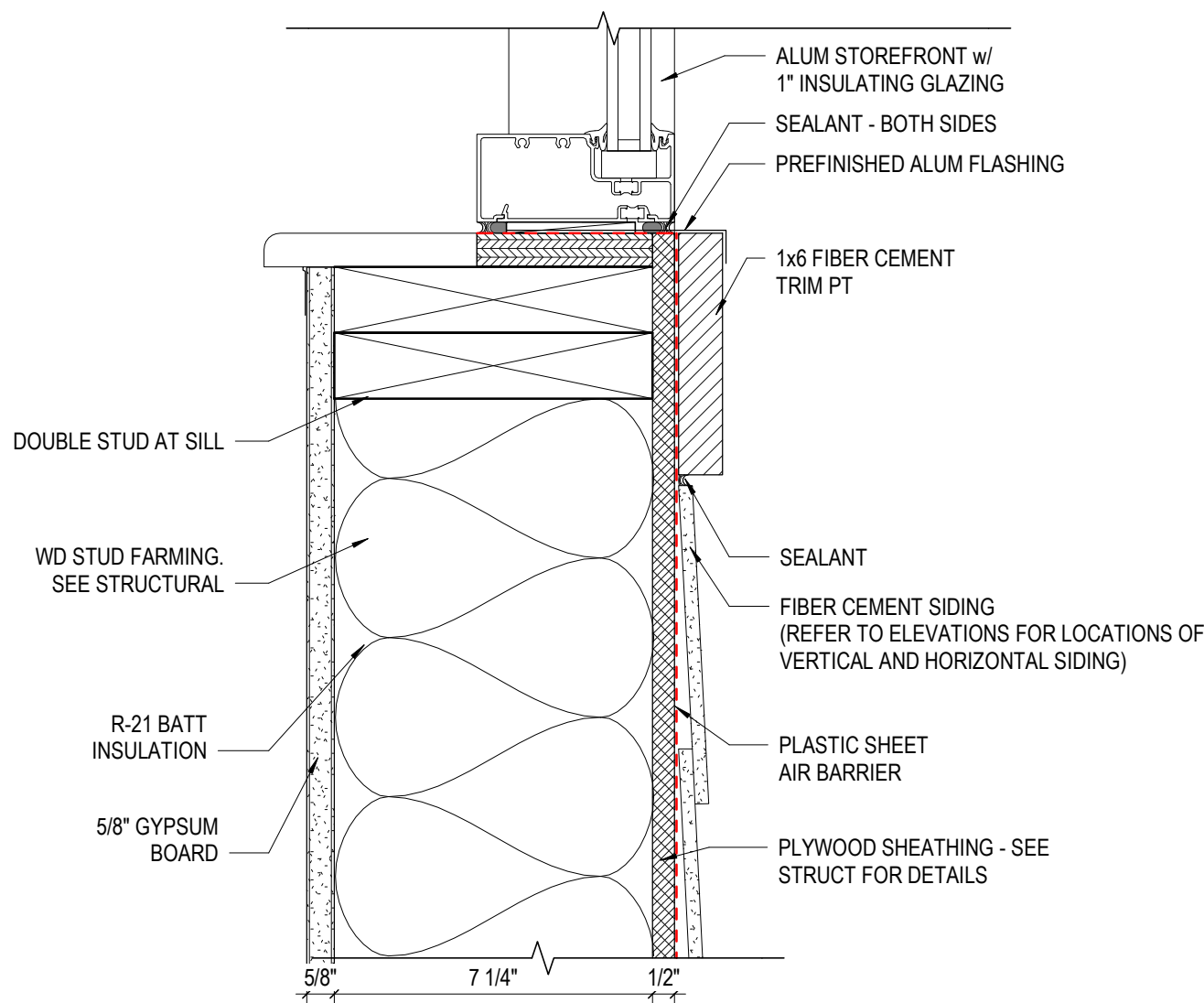
**3 DETAIL** WINDOW HEAD - STONE VENEER W WD STUDS  
3" = 1'-0" REF: 8 / A702



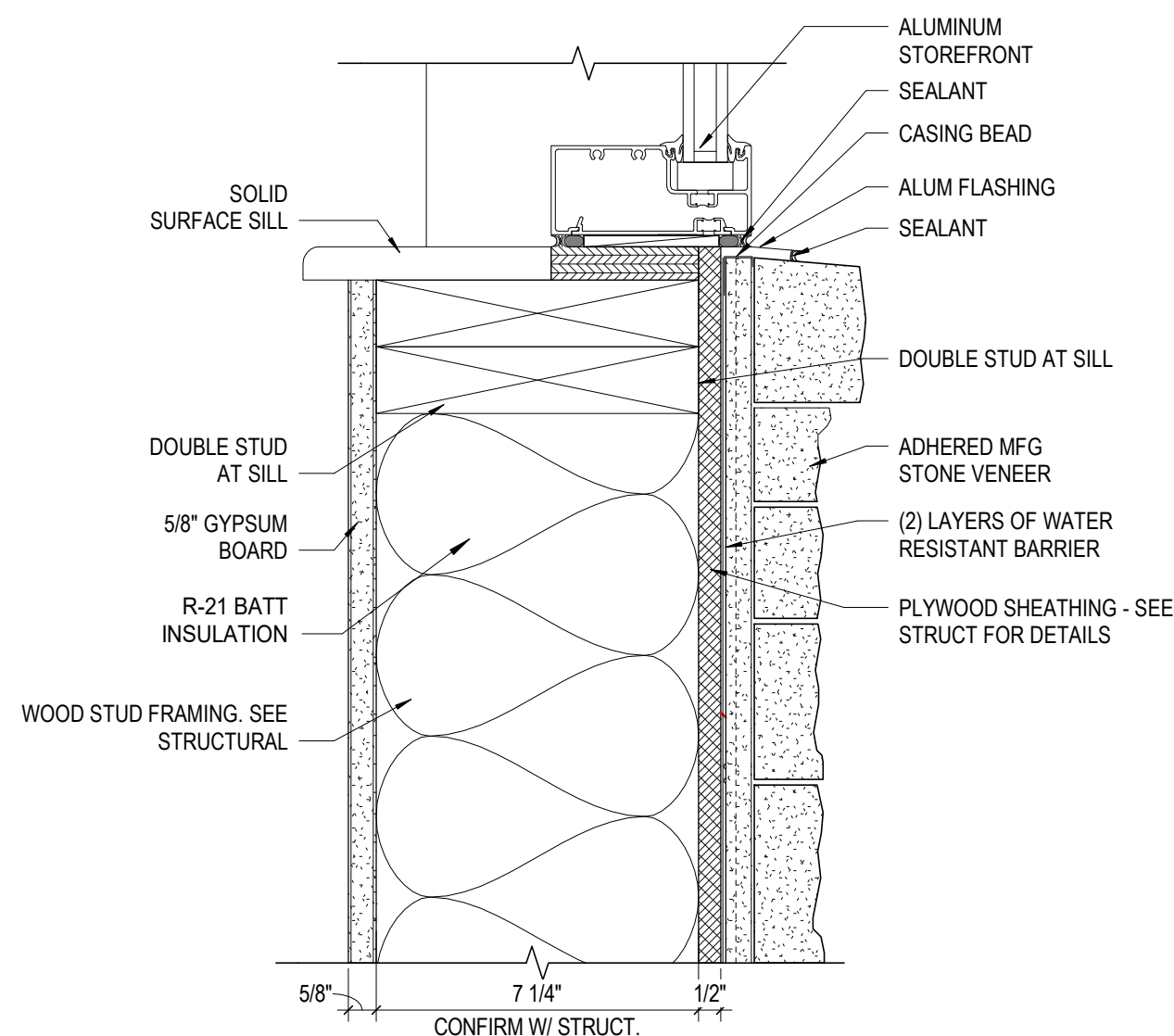
**5 DETAIL** EXT. ALUM STOREFRONT JAMB AT VINYL SIDING  
3" = 1'-0" REF: 9 / A702



**2 DETAIL** WINDOW JAMB - STONE VENEER W/ WD STUDS  
3" = 1'-0" REF: 8 / A702



**4 DETAIL** EXT. ALUM STOREFRONT SILL AT VINYL SIDING  
3" = 1'-0" REF: 10 / A702




**1 DETAIL** WINDOW SILL - STONE VENEER W/ WD STUDS  
3" = 1'-0" REF: 8 / A702

#	DATE	CHANGE DESCRIPTION



COLUMBUS METROPOLITAN  
HOUSING AUTHORITY  
COMMUNITY. COMMITMENT. COLLABORATION.

**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

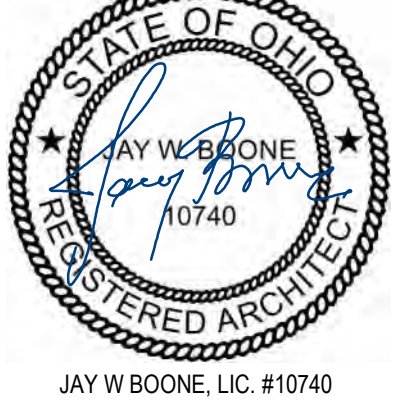


MOODY•Nolan

300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

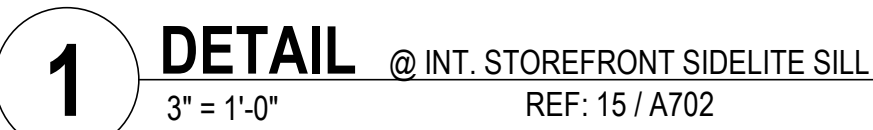
**WINDOW DETAILS - EXTERIOR**



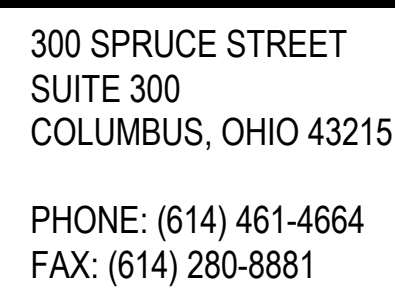
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2022

06/08/2023  
DRAWN BY: XXXX CHECKED BY: XXXX  
#22172.01  
**A721**  
PERMIT & BID SET

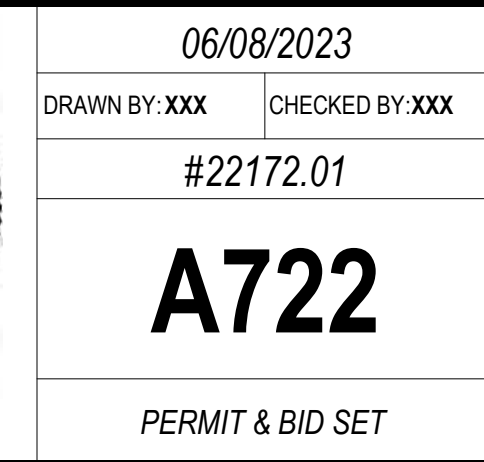




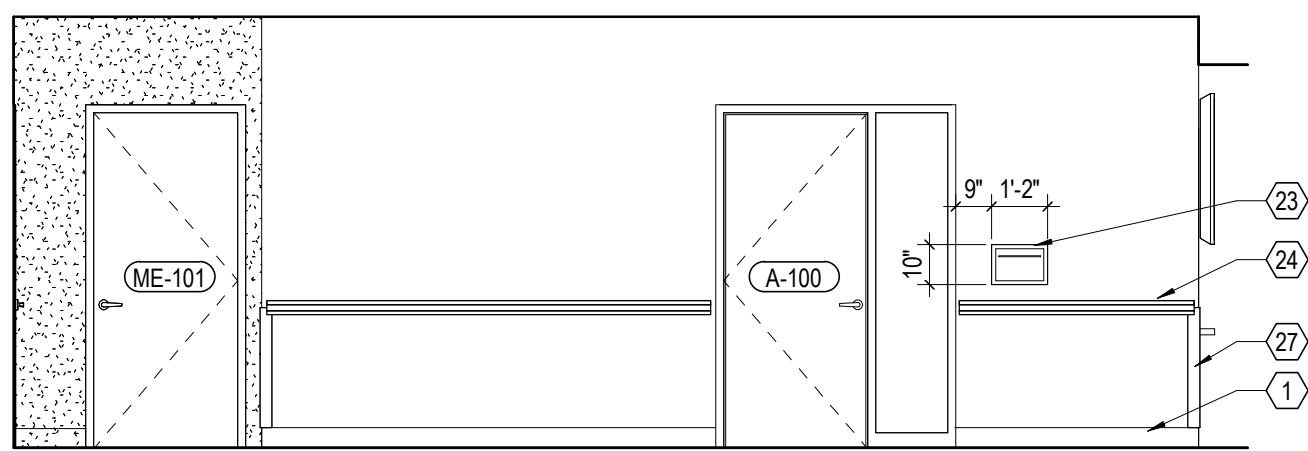
#	DATE	CHANGE DESCRIPTION



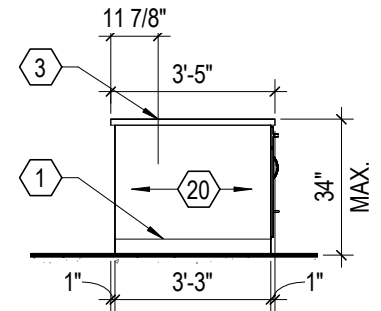
## WINDOW DETAILS - INTERIOR



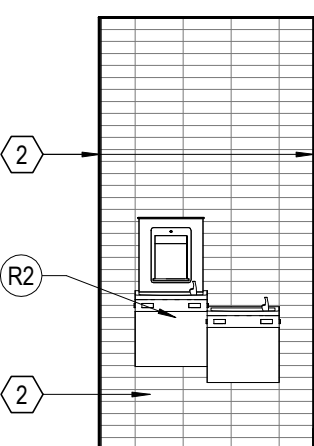




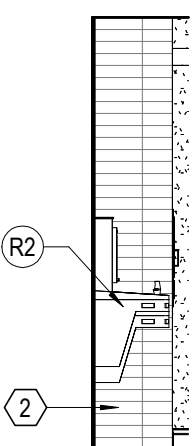
**23 ELEVATION** ADMIN - MAILDROP BOX  
1/4" = 1'-0" REF: 1 / A506



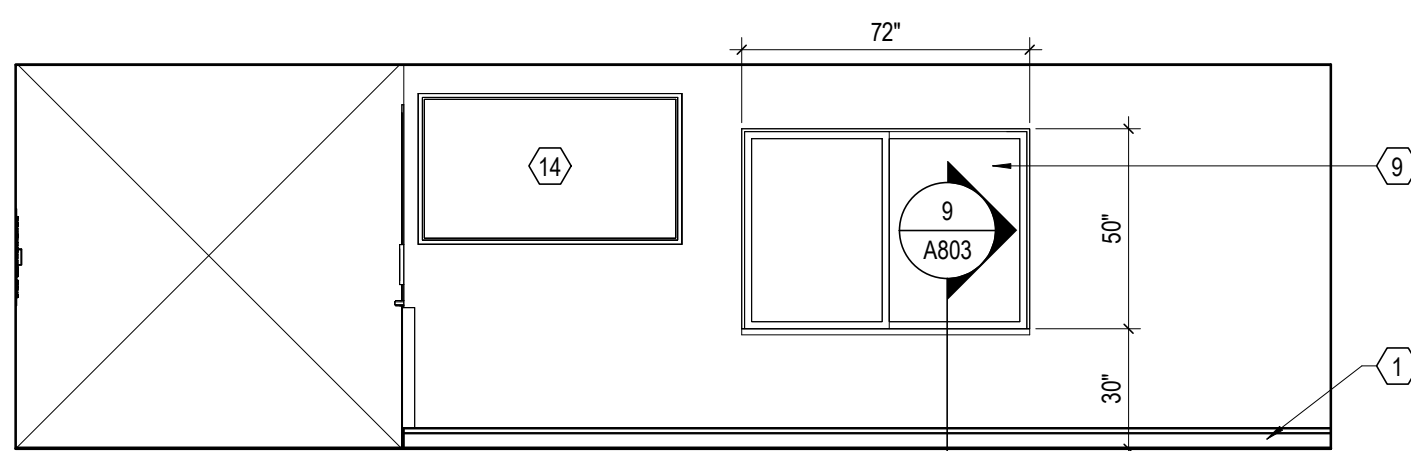
**22 ELEVATION** COMM. RM ISLAND - NORTH/SOUTH  
1/4" = 1'-0" REF: 1 / A506



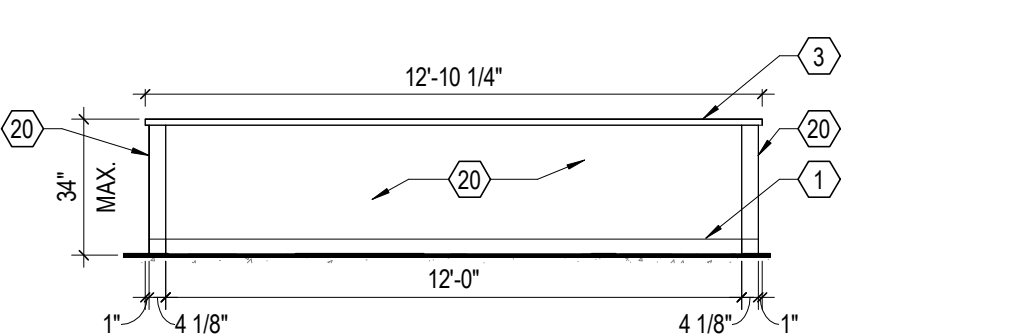
**21 ELEVATION** WF - FRONT  
1/4" = 1'-0" REF: 1 / A506



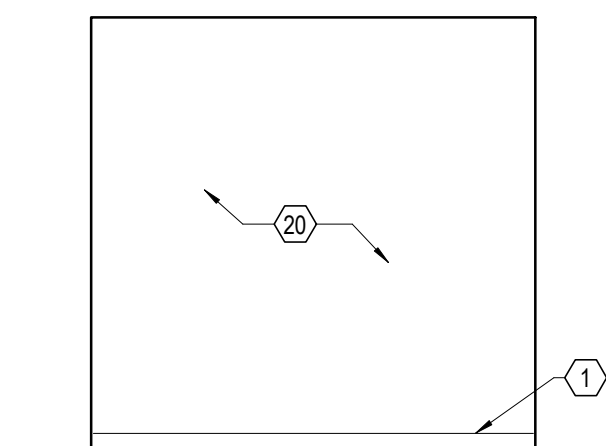
**20 ELEVATION** WF - SIDE  
1/4" = 1'-0" REF: 11 / A440



**17 ELEVATION** ADMIN WINDOW  
1/4" = 1'-0" REF: 1 / A506

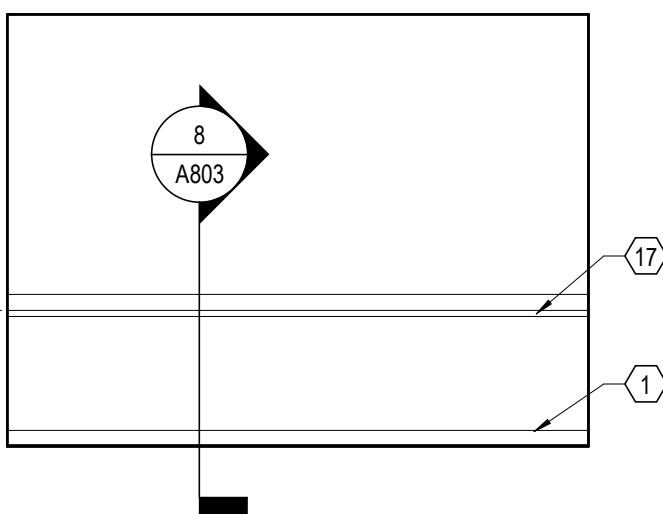


**16 ELEVATION** COMM. RM ISLAND - WEST  
1/4" = 1'-0" REF: 1 / A506

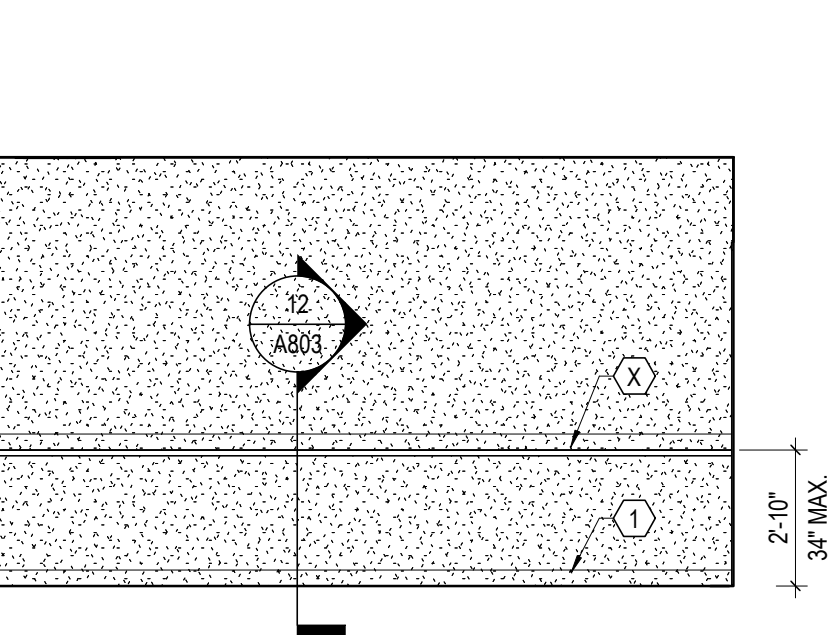


**15 ELEVATION** PUBLIC RR - EAST WALL  
1/4" = 1'-0" REF: 1 / A506

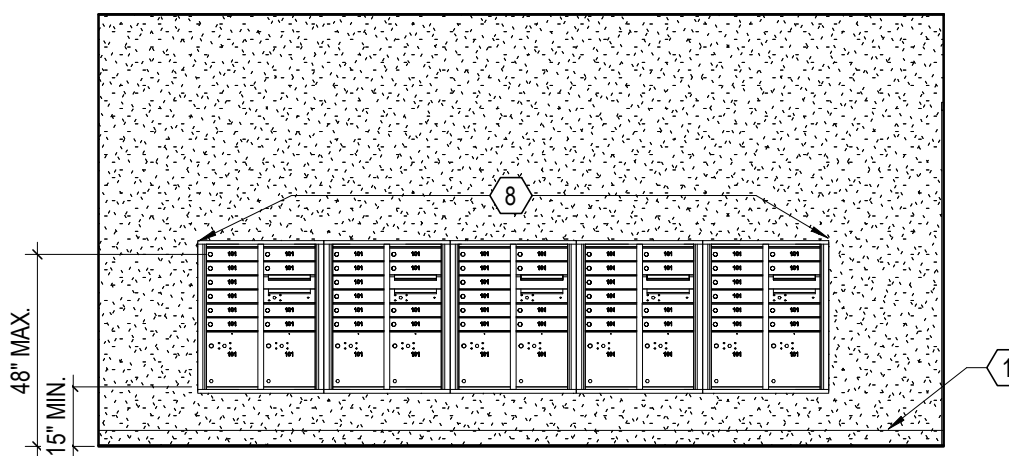
**19 ELEVATION** LAUNDRY ROOM  
1/4" = 1'-0" REF: 1 / A102A



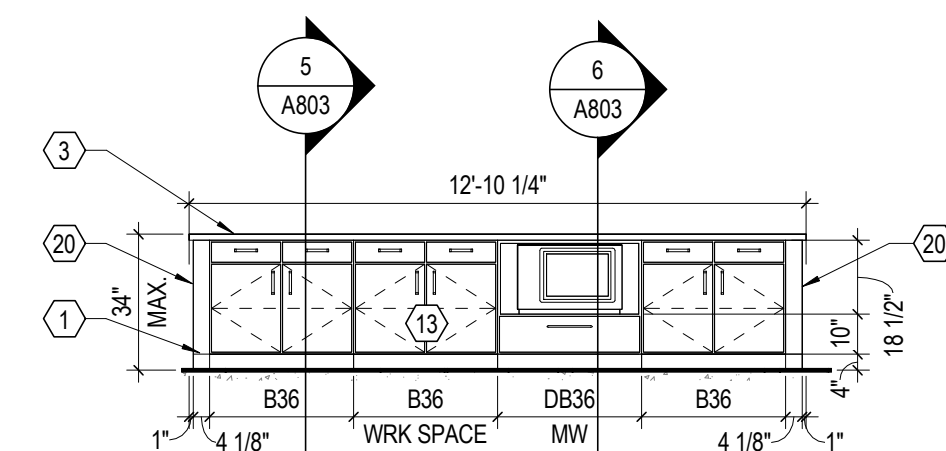
**18 ELEVATION** PARCEL ROOM-1  
1/4" = 1'-0" REF: 1 / A506



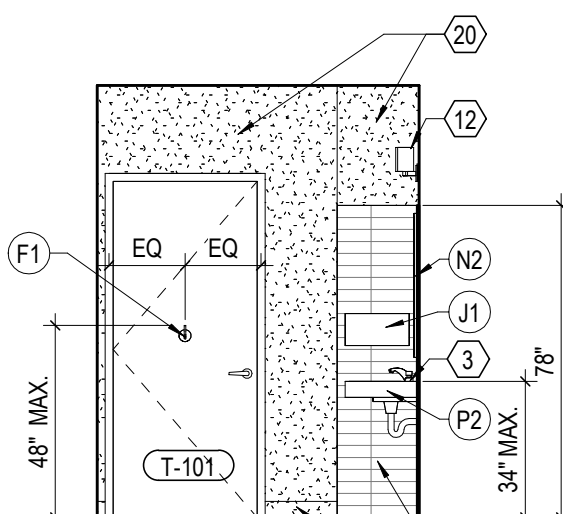
**14 ELEVATION** MOP SINK AND SHELF  
1/4" = 1'-0" REF: 1 / A506



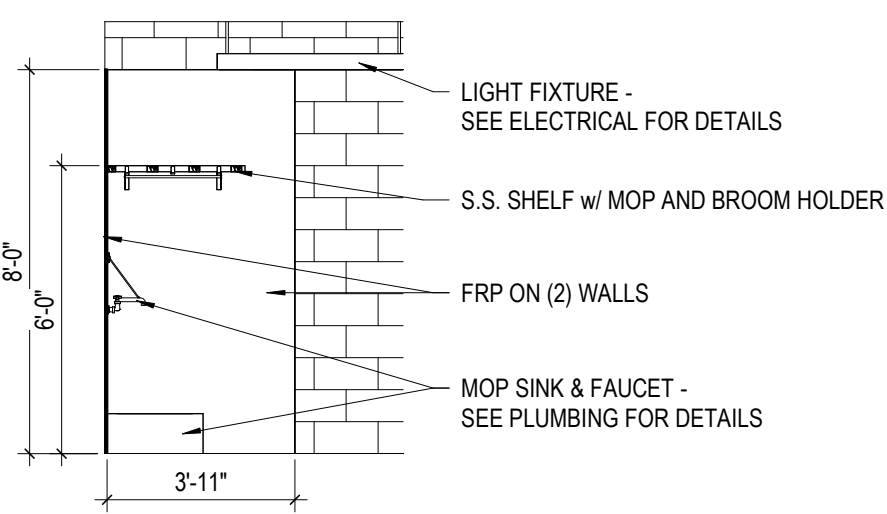
**13 ELEVATION** MAIL ROOM - MAILBOX  
1/4" = 1'-0" REF: 1 / A506



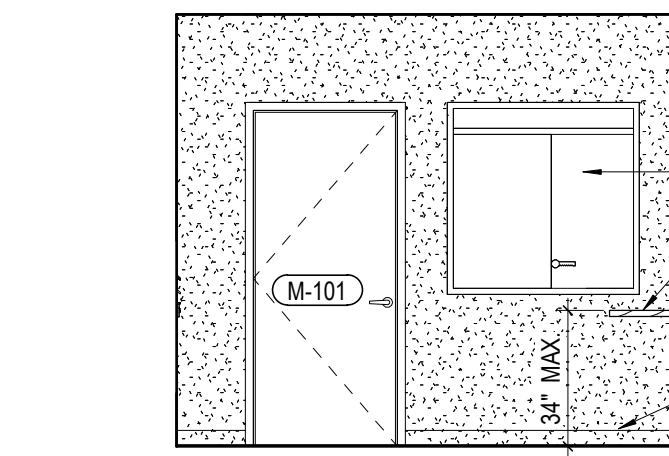
**12 ELEVATION** COMM. RM ISLAND - EAST  
1/4" = 1'-0" REF: 1 / A506



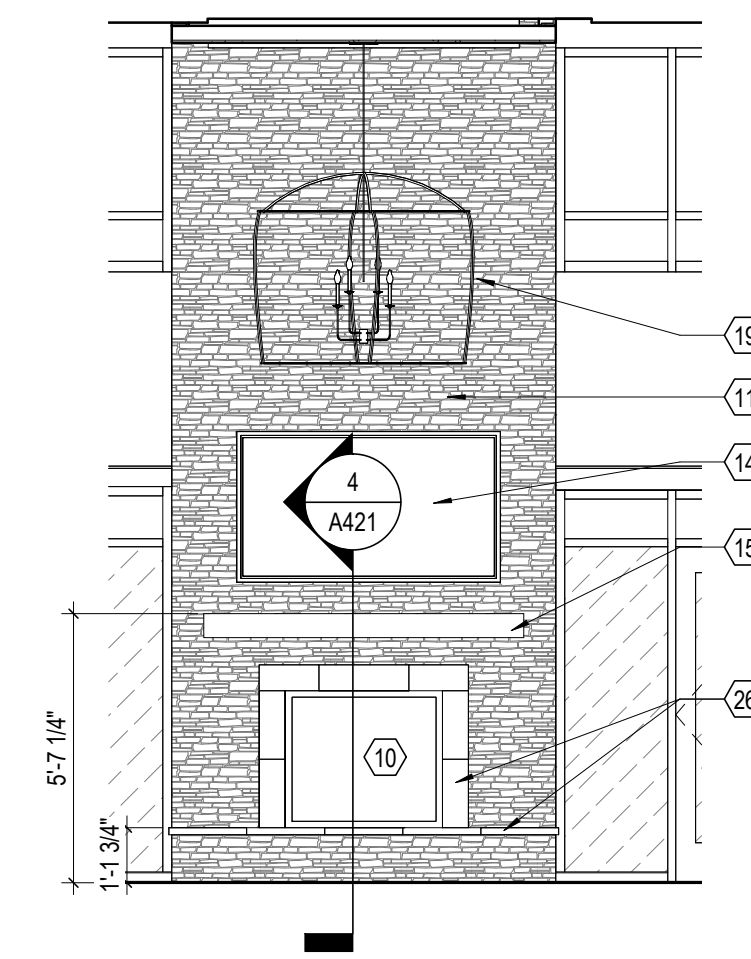
**11 ELEVATION** PUBLIC RR - SOUTH WALL  
1/4" = 1'-0" REF: 1 / A506



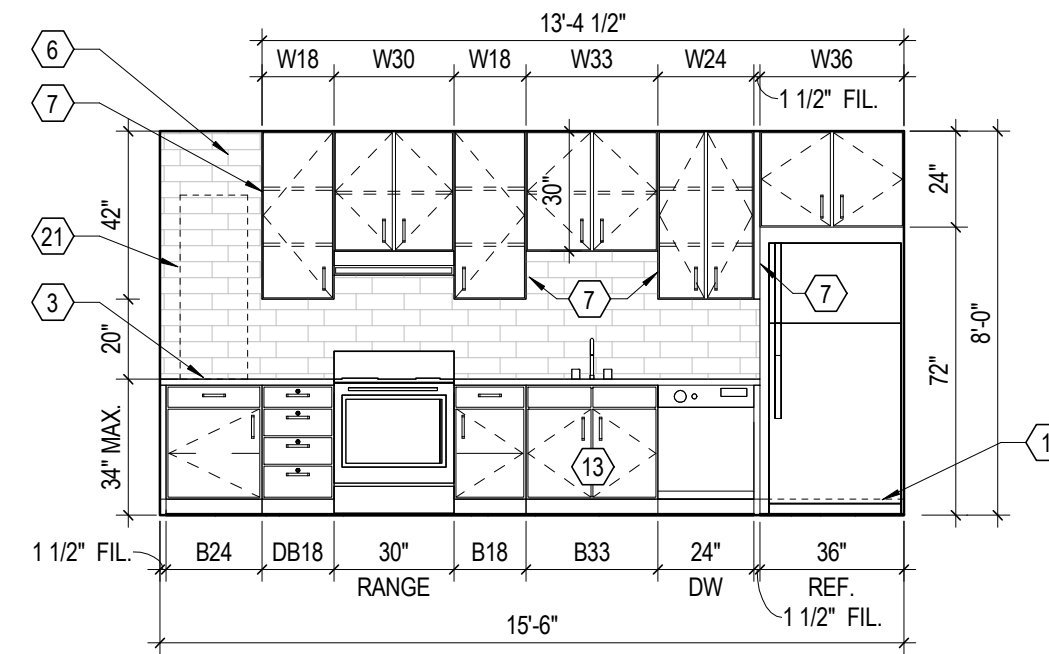
**10 ELEVATION** FLEX ROOM COUNTERTOP  
1/4" = 1'-0" REF: 1 / A506



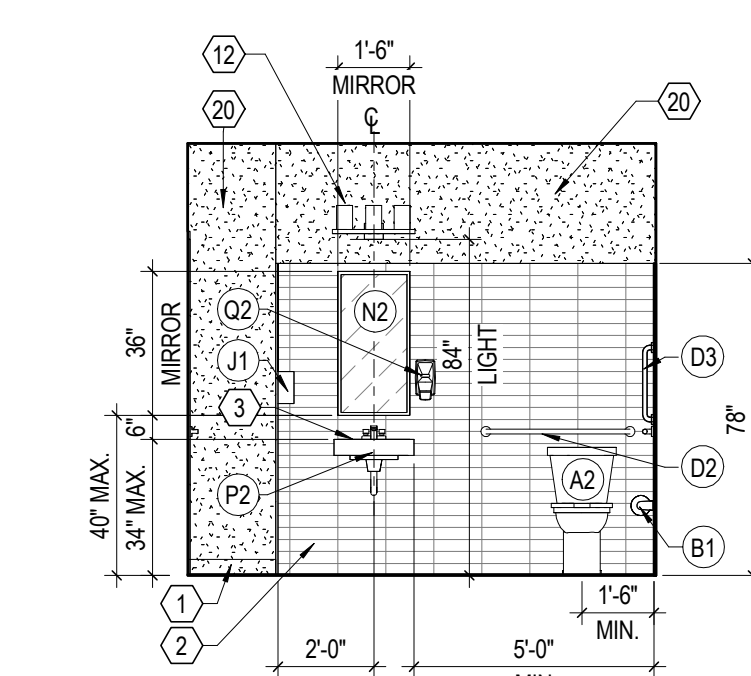
**9 ELEVATION** MAIL ROOM - BULLETIN BOARD  
1/4" = 1'-0" REF: 1 / A506



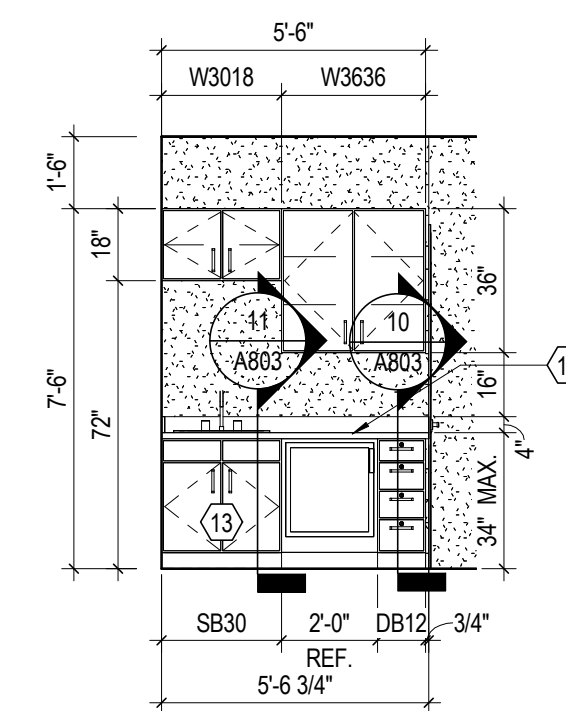
**8 ELEVATION** FIREPLACE  
1/4" = 1'-0" REF: 1 / A506



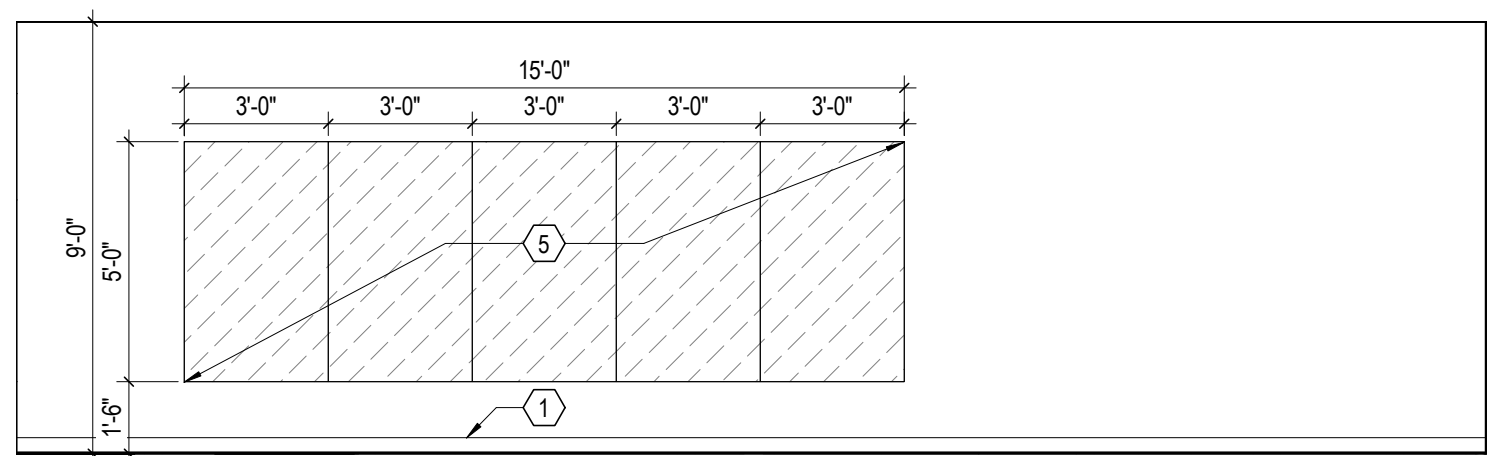
**7 ELEVATION** COMMUNITY ROOM KITCHEN  
1/4" = 1'-0" REF: 1 / A506



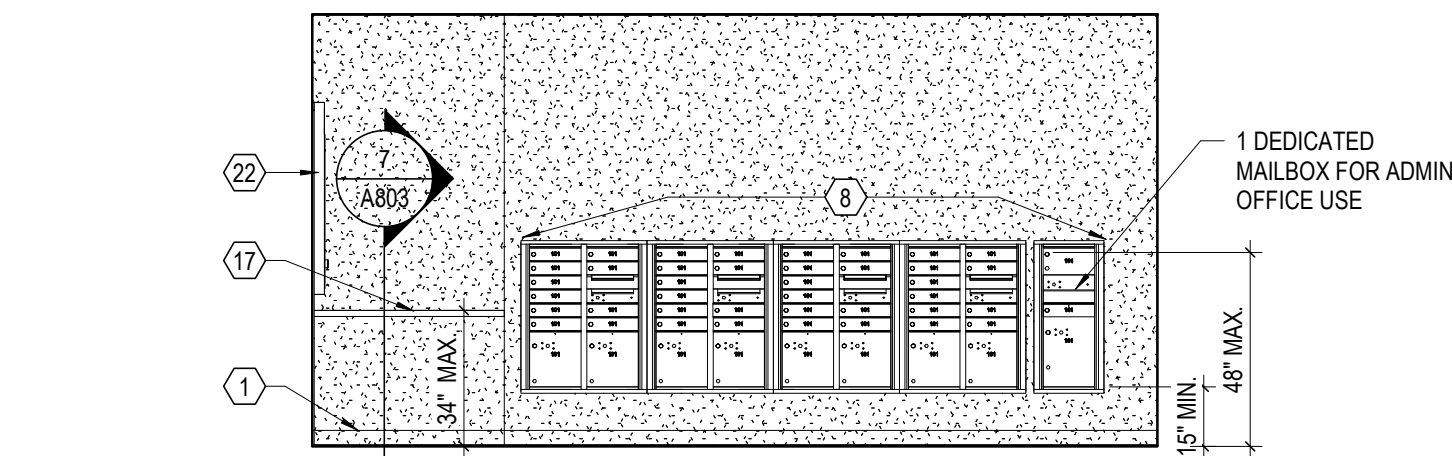
**6 ELEVATION** PUBLIC RR - WEST WALL  
1/4" = 1'-0" REF: 1 / A506



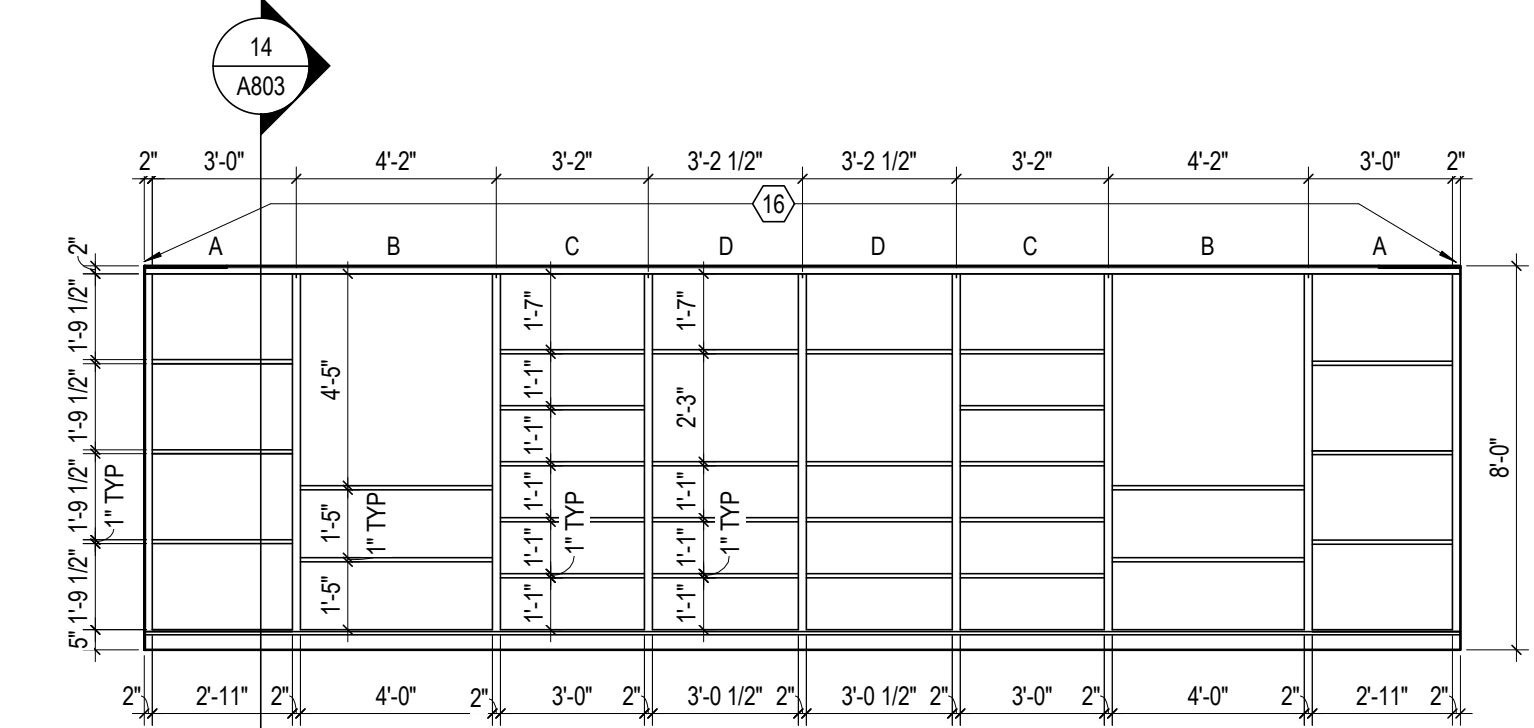
**5 ELEVATION** WELLNESS  
1/4" = 1'-0" REF: 1 / A506



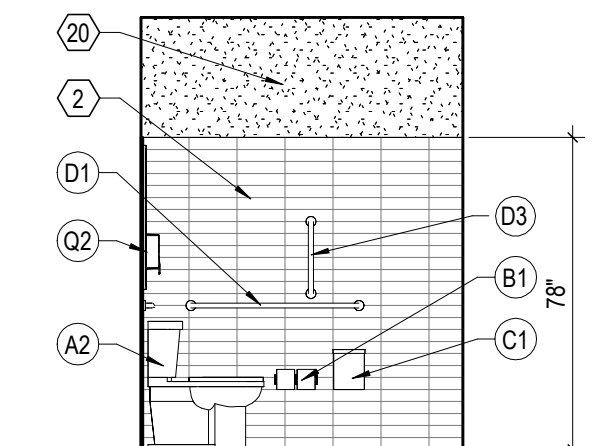
**4 ELEVATION** MAIL ROOM - COUNTER  
1/4" = 1'-0" REF: 1 / A506



**3 ELEVATION** LIBRARY  
1/4" = 1'-0" REF: 1 / A506



**2 ELEVATION** COMPUTER ROOM  
1/4" = 1'-0" REF: 1 / A506



**1 ELEVATION** PUBLIC RR - NORTH WALL  
1/4" = 1'-0" REF: 1 / A506

## GEN. NOTES - ELEVATIONS

- ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
- SEE FINISH PLANS AND LEGEND FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- ALL MOUNTING HEIGHTS ARE ABOVE FINISHED FLOOR (AFF). SEE SHEET A810.
- REFER TO PME DRAWINGS FOR OTHER REQUIREMENTS NOT SHOWN ON INTERIOR ELEVATIONS. NOTIFY ARCHITECT OF DISCREPANCIES FOR CLARIFICATION.
- PROVIDE BLIND CABINETS WHERE APPLICABLE.
- CONTRACTOR TO PROVIDE BLOCKING IN WALL AS REQUIRED FOR ALL OWNER FURNISHED WALL MOUNTED EQUIPMENT AND ACCESSORIES. COORDINATE FINAL LOCATION WITH OWNER.
- PROVIDE SCRIBES / FILLS BETWEEN ALL WALLS AND CABINET ENDS, U.N.O. PROVIDE MINIMUM 2" FILLS BETWEEN THE CORNER CABINETS IN AN "L" SHAPE CONFIGURATION.
- PROVIDE CORNER CLOSURE PIECE UNDER THE WALL CABINETS IN AN "L" SHAPE CONFIGURATION.
- WALL BASE AND WALL FINISH ARE TO EXTEND BEHIND EQUIPMENT.
- COORDINATE LOCATIONS OF GROMMETS WHERE NECESSARY FOR COMPUTER CORDS WITH OWNER, U.N.O.
- CASEWORK MANUFACTURER SHALL VERIFY/MEASURE ALL FIELD CONDITIONS PRIOR TO FABRICATION OF CASEWORK / COUNTERTOPS. ANY ALTERATION TO CASEWORK REQUIRES AS A RESULT OF FIELD CONDITIONS SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO FABRICATION OR INSTALLATION. CASEWORK MANUFACTURER SHALL COORDINATE WITH CONTRACTOR INSTALLATION OF BLOCKING.
- PROVIDE FINISHED ENDS/SIDES OF ALL EXPOSED END CABINETS.

## CODED NOTES - ELEVATIONS

- WALL BASE, TYPICAL. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- CERAMIC TILE, TYPICAL. PROVIDE AND INSTALL SCHLUTER DILEX-HKU COVE-SHAPED FLOORWALL TRANSITION STRIP. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- TOP OF COUNTERTOPS AND SINK RIM TO BE AT 34 INCHES MAXIMUM AFF. PROVIDE AND INSTALL GRANITE COUNTER WITH COUNTERTOP METAL SUPPORTS IN PUBLIC KITCHENS AND PUBLIC COUNTER AREAS. PROVIDE AND INSTALL WALL HUNG PORCELAIN SINK WITH METAL SUPPORTS IN PUBLIC TOILETS. IN ALL PUBLIC AREAS WORK SPACES, PROVIDE INTERMEDIATE SUPPORTS AND AT ALL PUBLIC SINKS PROVIDE VALANCE OR PLUMBING PROTECTION WRAP.
- TOP OF COMPUTER ROOM TABLE TO BE AT 30 INCHES MAXIMUM AFF. PROVIDE AND INSTALL P-LAM COUNTER WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED. COORDINATE LOCATIONS OF GROMMETS WHERE NECESSARY FOR COMPUTER CORDS WITH OWNER.
- WALL MOUNTED MIRRORS, (5) 3' WIDE X 5' HIGH, MOUNTED @ 1'-6" AFF.
- CERAMIC TILE BACKSPLASH. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- FINISHED END PANEL, TYPICAL.
- METAL MAILBOXES AND PARCEL BOXES AS SHOWN IN FLOORS PLANS. DESIGN BASED ON FLORENCE MANUFACTURING OR EQUAL. BOTTOM OF UNIT SHALL NOT BE MOUNTED LOWER THAN 15 INCHES AFF AND TOP OF THE HIGHEST KEY HOLE SHALL NOT BE MOUNTED HIGHER THAN 48 INCHES AFF. PROVIDE MIN. 1 POST BOX PER EVERY UNIT AND 1 PARCEL BOX PER EVERY 5 UNITS. PROVIDE 1 DEDICATED MAILBOX FOR ADMIN OFFICE USE. SEE DETAIL 5/A820 FOR MORE INFORMATION.
- GLASS TRANSACTION/ RECEPTION COUNTER WINDOW. TOP OF COUNTERTOP TO BE AT 30 INCHES MAXIMUM AFF. PROVIDE AND INSTALL GRANITE COUNTER WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED. SEE WINDOW ELEVATION A202 & INTERIOR DETAILS SHEET A722 FOR MORE INFO.
- FIREPLACE INSERT INSTALLED PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS. REFER MECH. DWGS FOR INFO. SEE DETAIL ON SHEET A421.
- STONE VENEER SYSTEM. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- LIGHT FIXTURE, CENTER ABOVE MIRROR. REFER TO ELECTRICAL DRAWINGS.
- REMOVABLE CABINET FRONT AND BASE. MATCH ADJACENT CABINERY. FLOOR FINISH TO EXTEND BELOW CABINERY. WALLS BEHIND AND SURROUNDING THE CABINERY TO BE FINISHED.
- WALL MOUNTED TV BY OWNER. REFER ELECTRICAL DWGS. SEE SPECS.
- WOOD MANTLE. SEE DETAIL ON SHEET A421 FOR INFO.
- LIBRARY CASEWORK. REFER TO INTERIOR DETAILS.
- TOP OF COUNTERTOP TO BE AT 34 INCHES MAXIMUM AFF. PROVIDE AND INSTALL P-LAM COUNTER WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED.
- ADJUSTABLE P-LAM SHELVING AND WALL-MOUNTED METAL BRACKETS. SEE DETAILS ON SHEET A820. SEE SPECIFICATIONS.
- ACCENT SUSPENDED LIGHT FIXTURE. REFER ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- PARTIAL HEIGHT WD STUD WALL w/ GWB - PTD. SEE FINISH SCHEDULE.
- DASHED LINE INDICATE OWNER PROVIDED COFFEE MAKER.
- WALL MOUNTED GLASS ENCLOSED BULLETIN BOARD WITH KEY-LOCK.
- THROUGH-WALL MAIL DROP BOX. SEE SPECIFICATIONS.
- WOOD HANDRAIL / CHAIR RAIL. SEE PLANS FOR EXTENT AND LOCATION. HANDRAIL / CHAIR RAIL TO STOP 2" FROM THE EDGE OF UNIT-ENTRY RECESS AND OTHER CORRIDOR DOORS. SEE DETAIL 10/A820.
- TOP OF FLEX SPACE COUNTER TO BE AT 34 INCHES MAXIMUM AFF. PROVIDE AND INSTALL P-LAM COUNTER AND 4" BACKSPLASH (FRONT & SIDE) WITH COUNTERTOP METAL SUPPORTS. PROVIDE INTERMEDIATE SUPPORTS AS REQUIRED.
- CAST STONE TRIM SURROUND AND HEARTH. SEE DETAIL ON SHEET A421 FOR MORE INFO.
- 3" ACROVYN CORNER GUARD. SEE SPECIFICATIONS.


#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
100 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

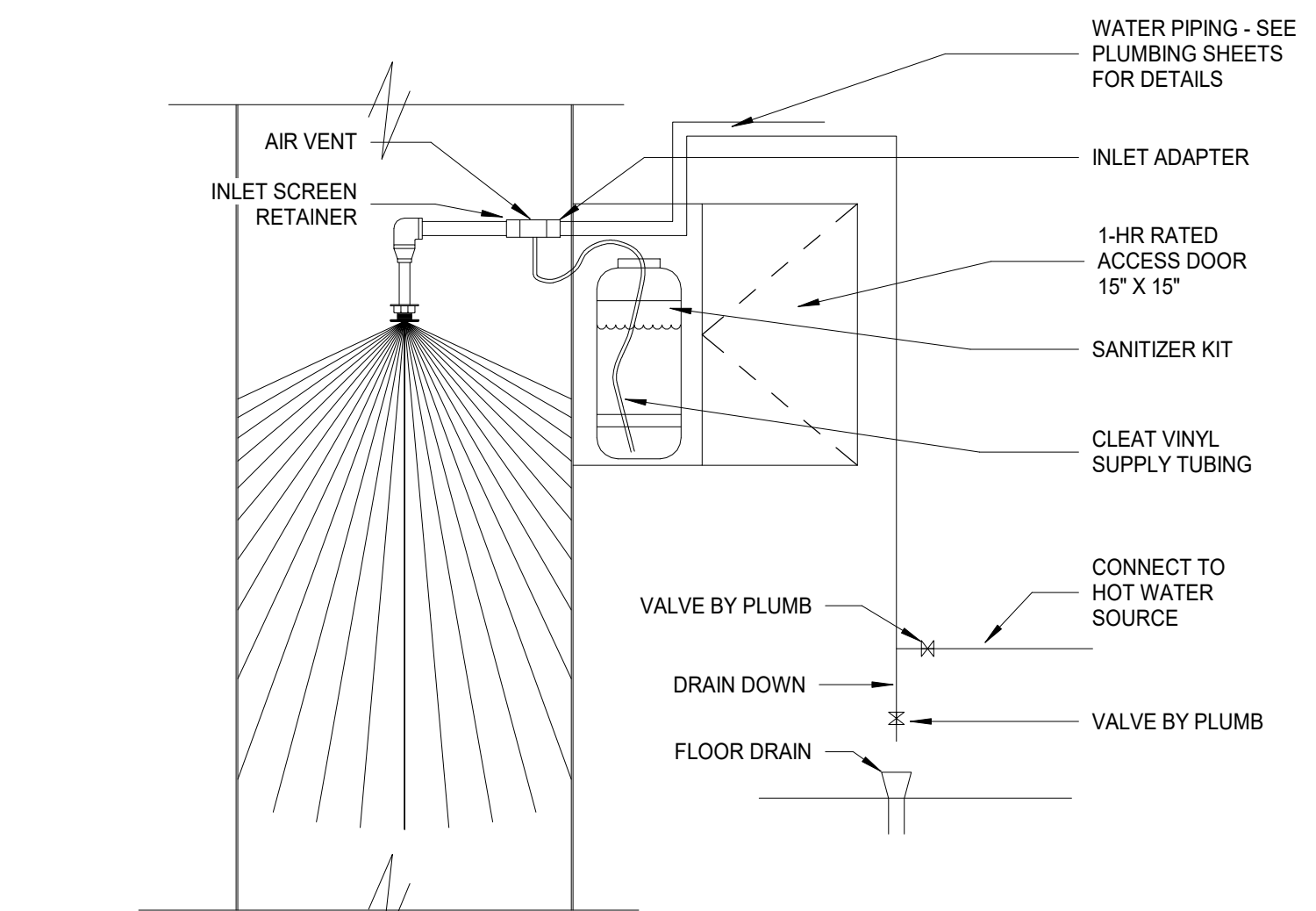
## INTERIOR ELEVATIONS



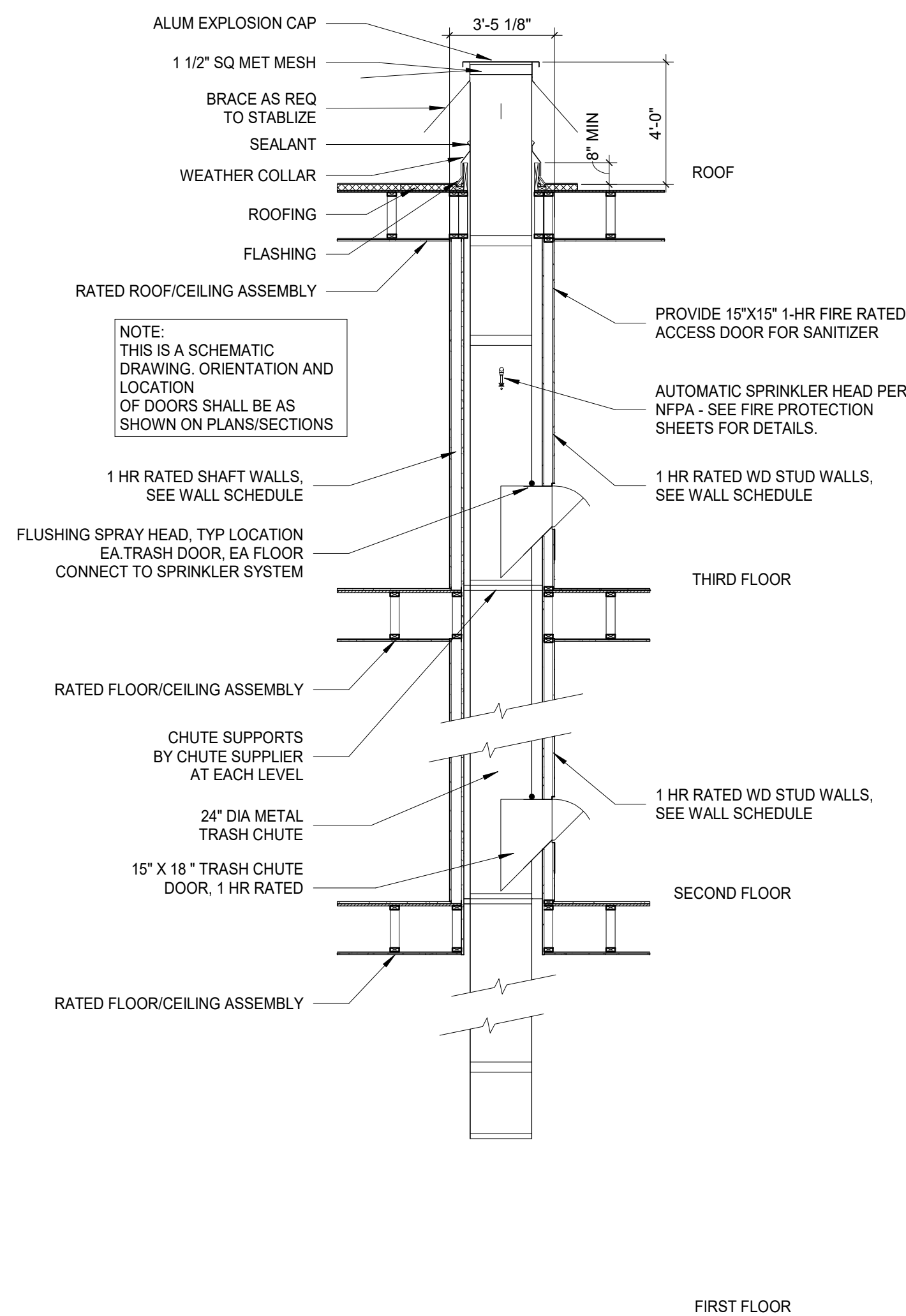
JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A801**  
PERMIT & BID SET

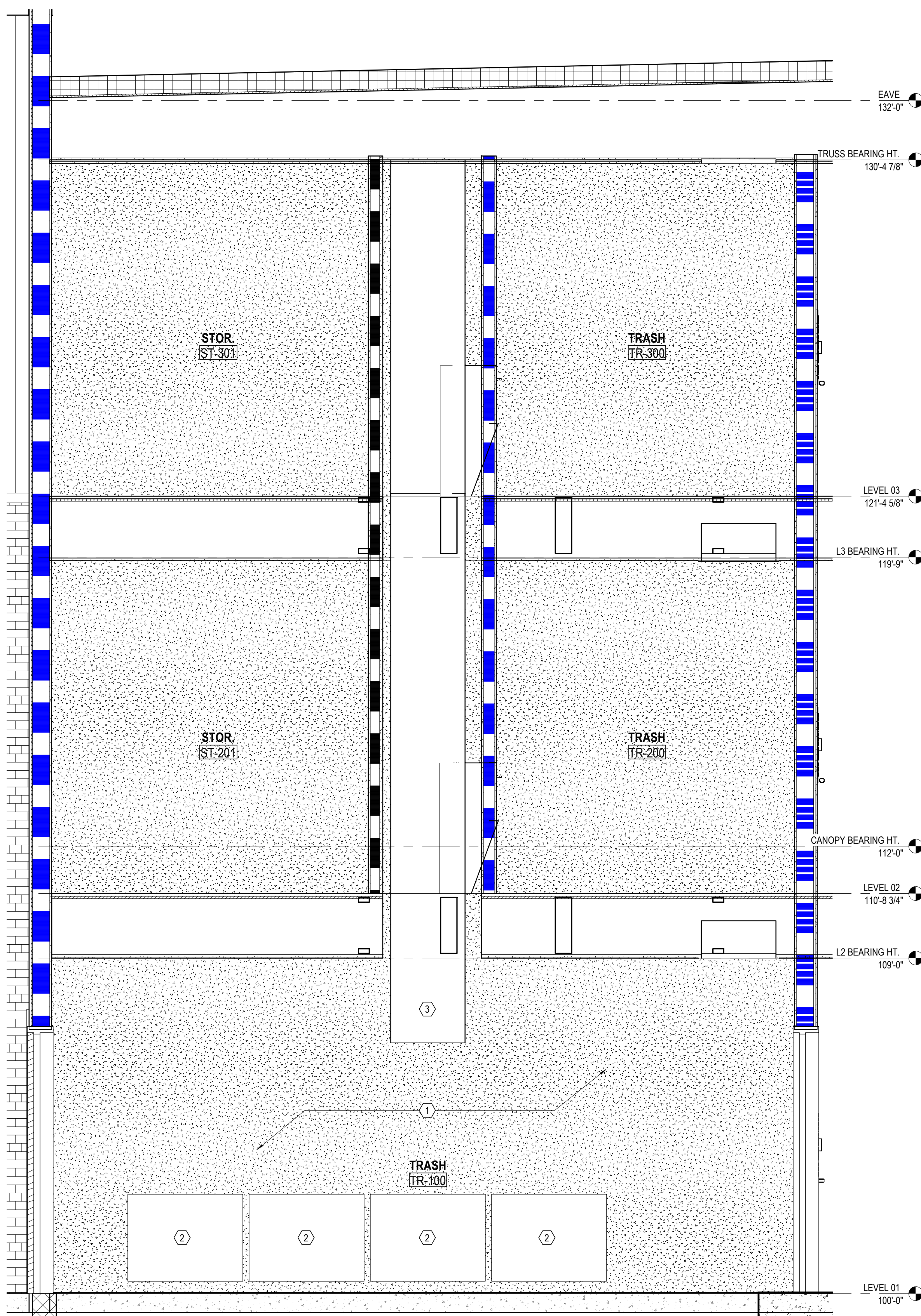




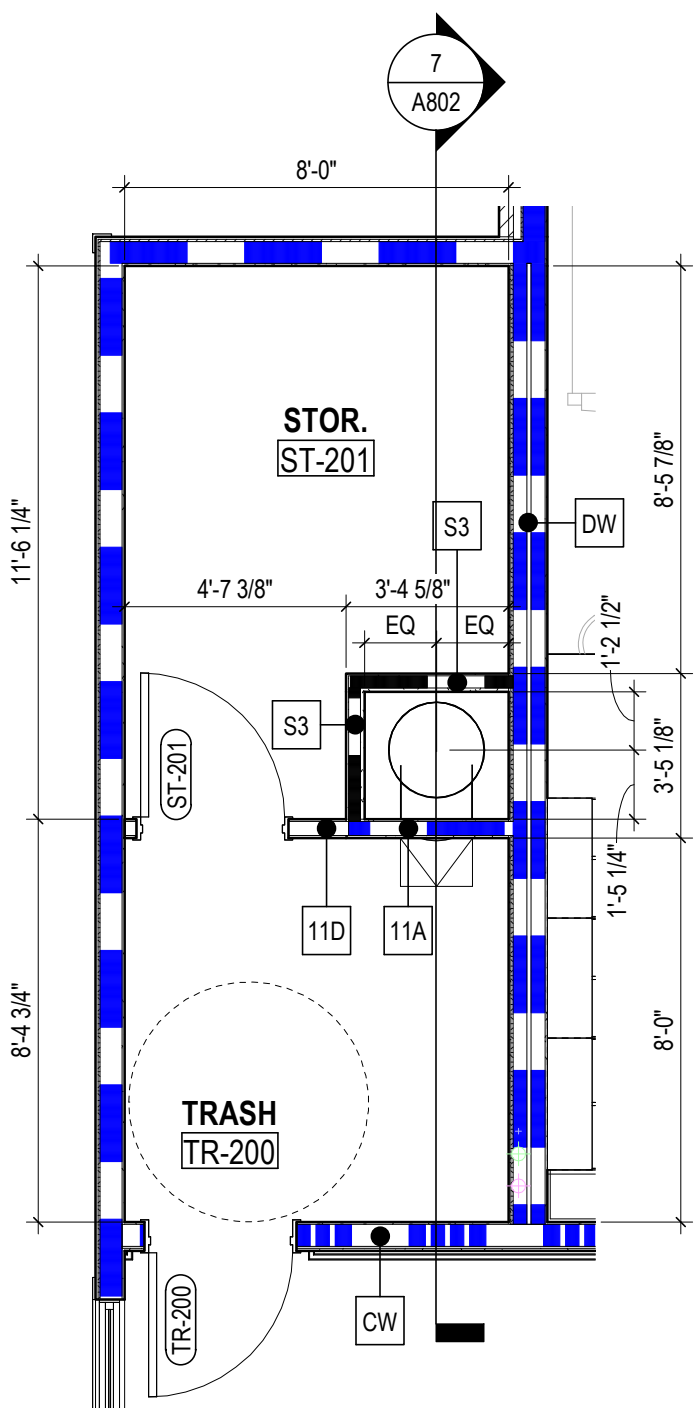
**6 DETAIL** SPRINKLER/ SANITIZER MODULE  
1/4" = 1'-0"



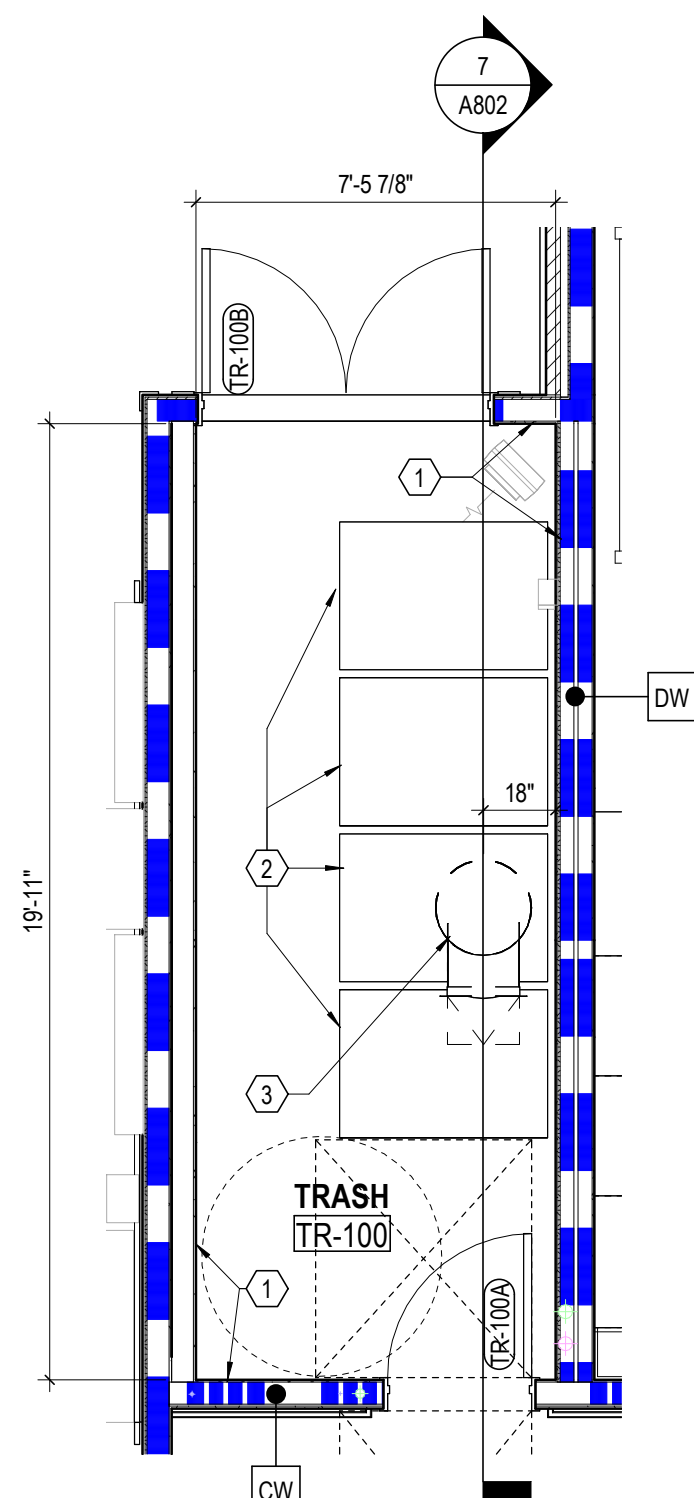
**3 DETAIL** SCHEMATIC TRASH CHUTE SECTION  
N.T.S.



**7 SECTION** TYPICAL TRASH CHUTE  
1/2" = 1'-0" REF: 1 / A802



**2 ENLARGED PLAN** TYPICAL TRASH RM (LVL 02-03)  
1/4" = 1'-0" REF: 1 / A102A



**1 ENLARGED PLAN** TYPICAL TRASH RM (LVL 01)  
1/4" = 1'-0" REF: 1 / A101A

**GENERAL NOTES - ENLARGED PLANS**

1. X

**CODED NOTES**

- 1 FULL-HEIGHT FIBERGLASS REINFORCED PANELING ON ALL WALLS, TYPICAL. SEE FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS.
- 2 1 CUBIC YARD TRASH CONTAINERS (ON WHEELS) BY OWNER.
- 3 TRASH CHUTE ABOVE.

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
100 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
CMHA

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

**DRAWING TITLE**  
**TRASH ROOM PLANS AND DETAILS**

JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A802**  
PERMIT & BID SET



**14** **LIBRARY SHELVING**  
1 1/2" = 1'-0"

**13** **DETAIL** COMPUTER ROOM - COUNTER  
1 1/2" = 1'-0" REF: 2 / A801

**12** **DETAIL** LAUNDRY ROOM - COUNTER  
1 1/2" = 1'-0" REF: 1 / A102B

**11** **DETAIL** FLEX SPACE - SINK CABINET  
1 1/2" = 1'-0" REF: 10 / A801

**10** **DETAIL** FLEX SPACE - DRAWER CABINET  
1 1/2" = 1'-0" REF: 10 / A801

**9** **DETAIL** ADMIN - WINDOW COUNTER  
1 1/2" = 1'-0" REF: 17 / A801

**8** **DETAIL** PARCEL ROOM - COUNTER  
1 1/2" = 1'-0" REF: 18 / A801

**7** **DETAIL** MAIL - COUNTER  
1 1/2" = 1'-0" REF: 4 / A801

**6 DETAIL** COMMUNITY ROOM ISLAND - EAST - Section 2  
1 1/2" = 1'-0" REF: 12 / A801

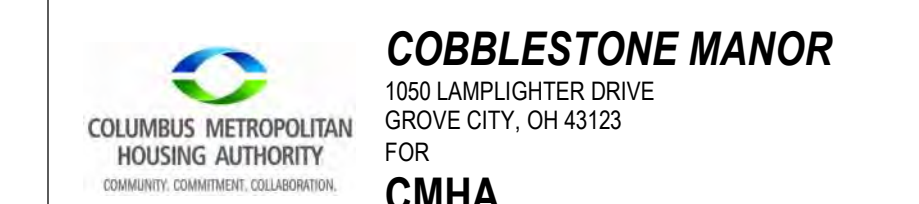
**5 DETAIL** COMMUNITY ROOM ISLAND - EAST - Section 1  
1 1/2" = 1'-0" REF: 12 / A801

**4** **DETAIL** SOFFIT - GYP BD TO GYP BD  
1 1/2" = 1'-0" REF: 1 / A201A

**3** **DETAIL** GBS WALL-WASH @ ELEVATOR WALL  
1 1/2" = 1'-0" REF: 1 / A201A

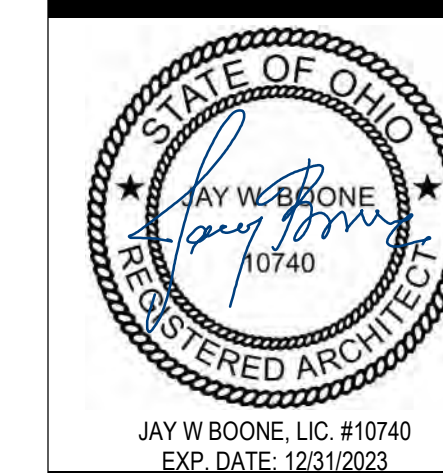
**2** **DETAIL** SOFFIT @ CASEWORK  
1 1/2" = 1'-0" REF: 1 / A201A

**1** **DETAIL** SOFFIT - GYP BD TO ACT  
1 1/2" = 1'-0" REF: 1 / A201A

[illegible]

DRAWING TITLE:

## INTERIOR DETAILS



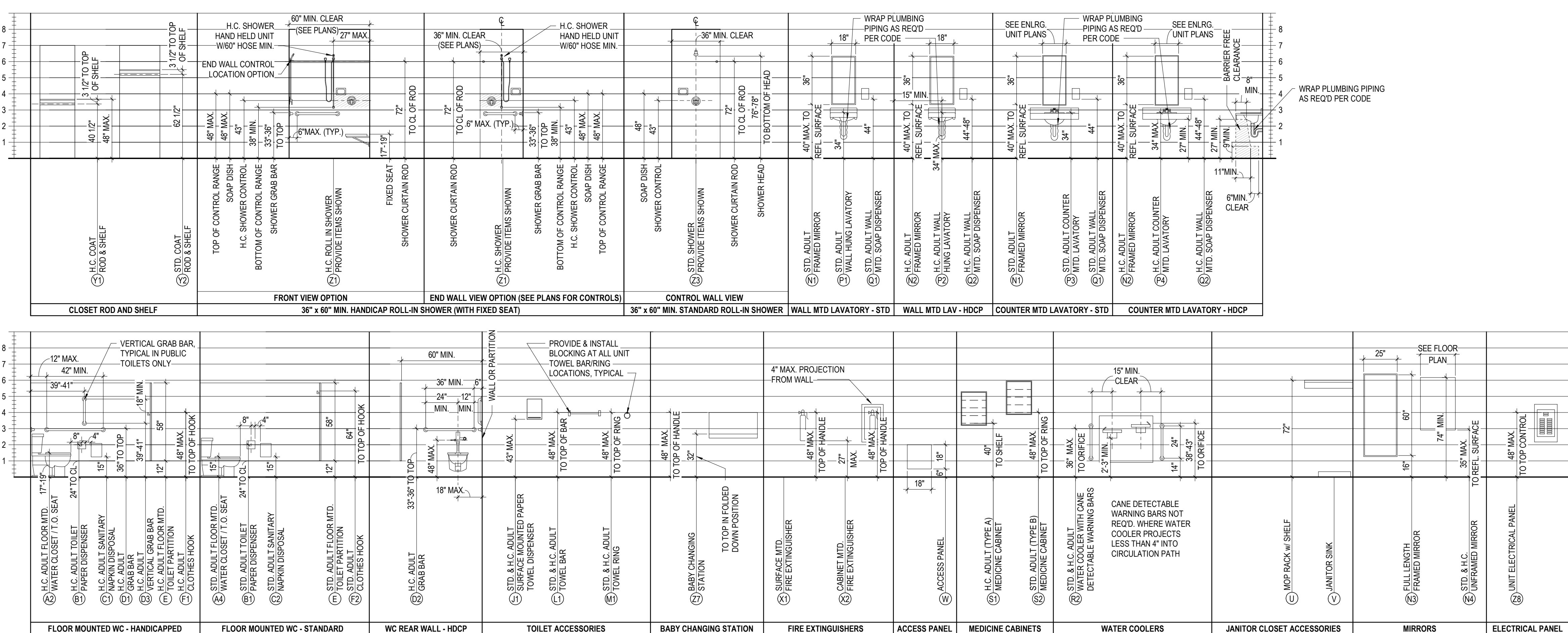
	06/08/2023
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	#22172.01

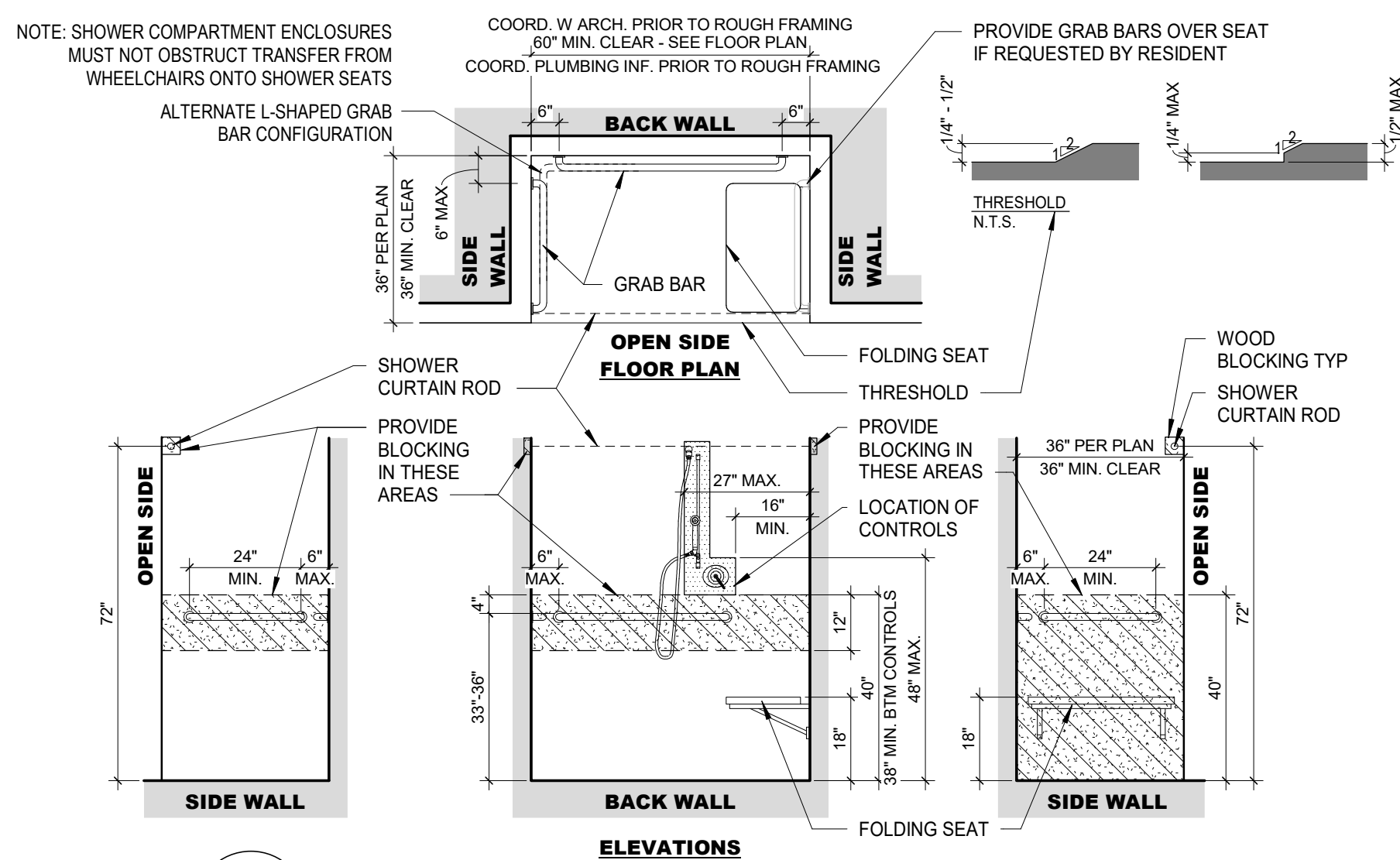
A803

PERMIT &amp; BID SET

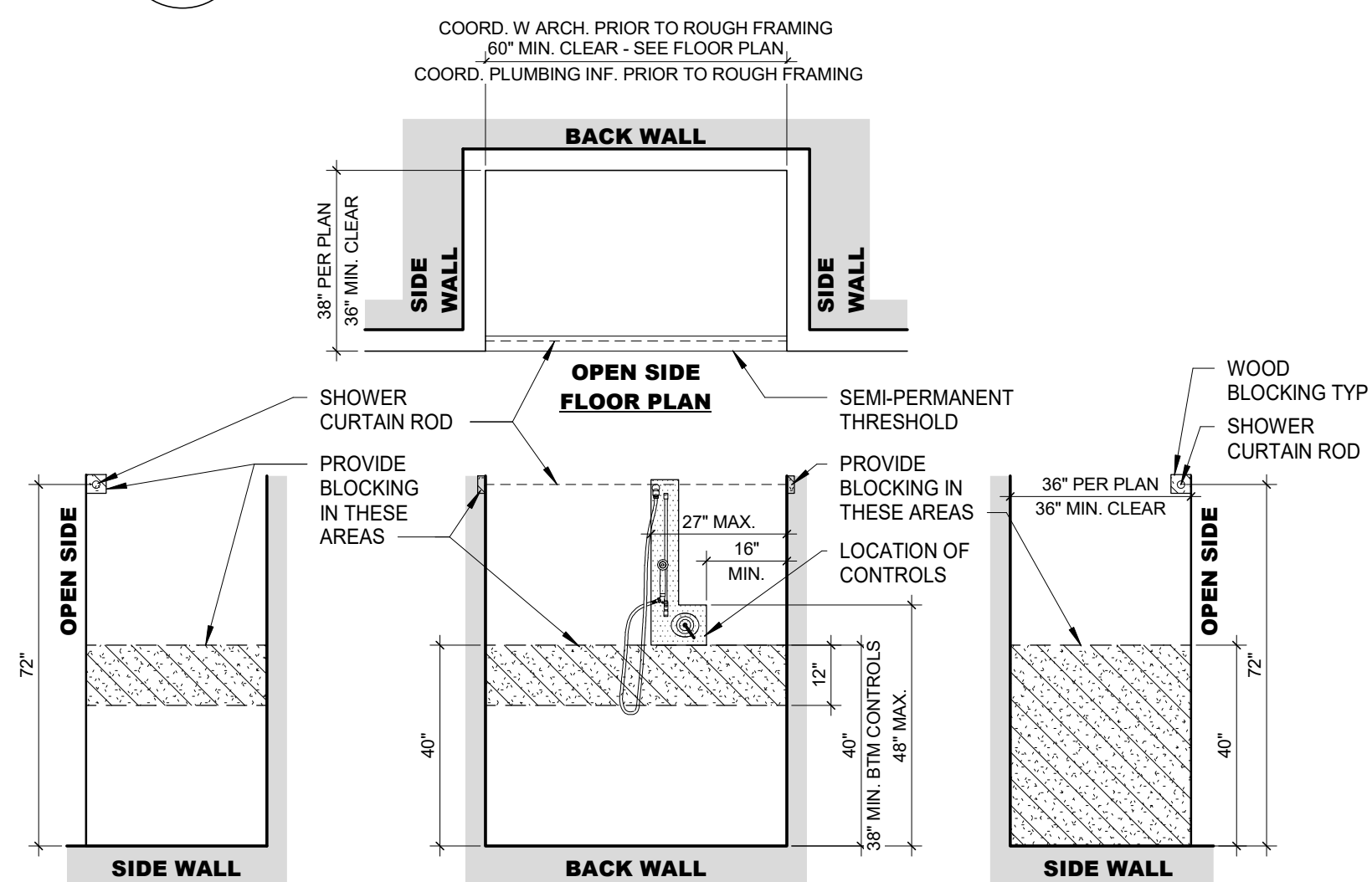




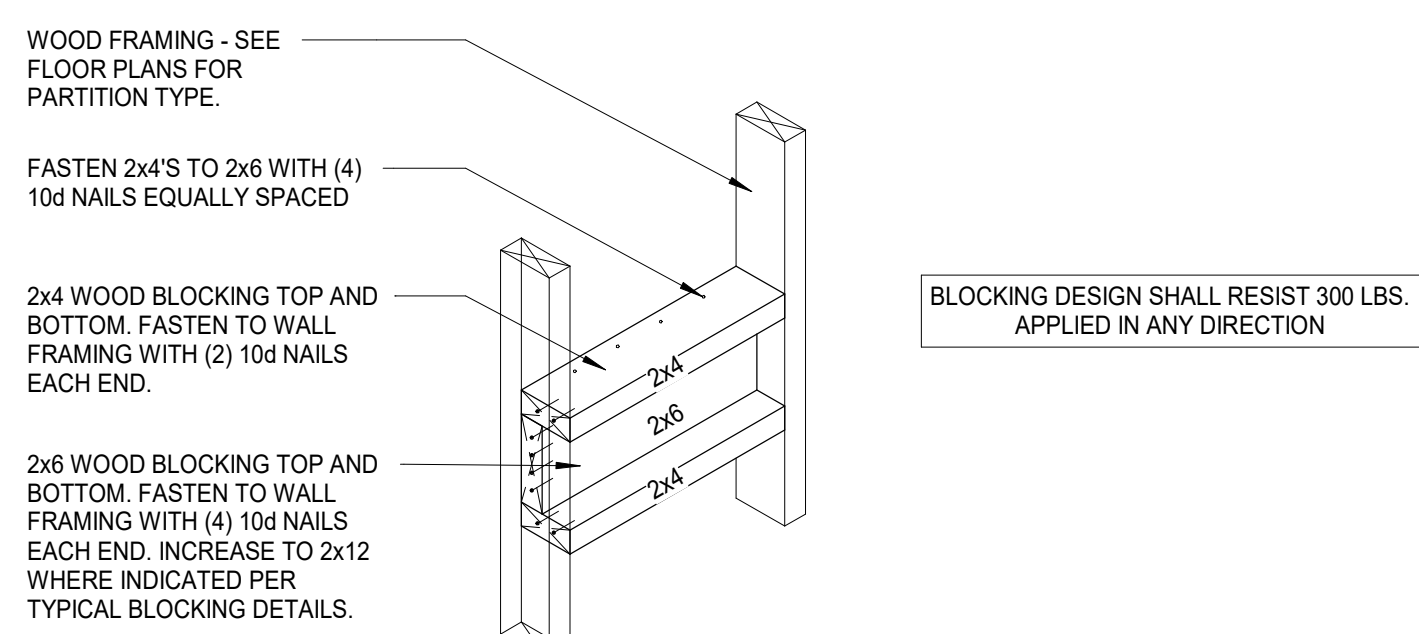
**10 DETAIL MOUNTING HEIGHTS**  
1/4\"/>



**9 DETAIL ROLL-IN SHOWER AT ACCESSIBLE UNIT BATH (ANSI TYPE A UNIT)**  
3/8\"/>



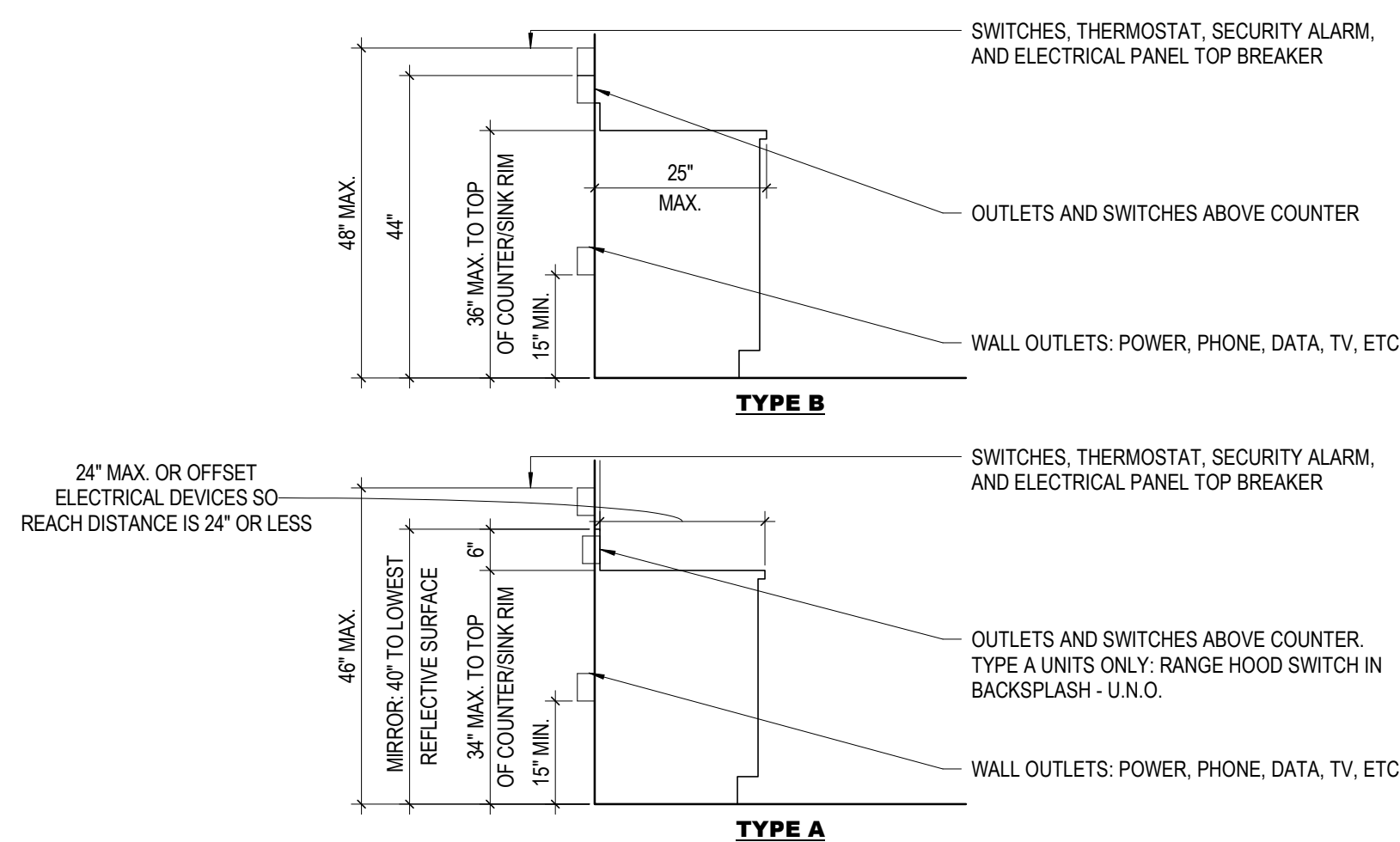
**8 DETAIL TYPICAL SHOWER**  
3/8\"/>



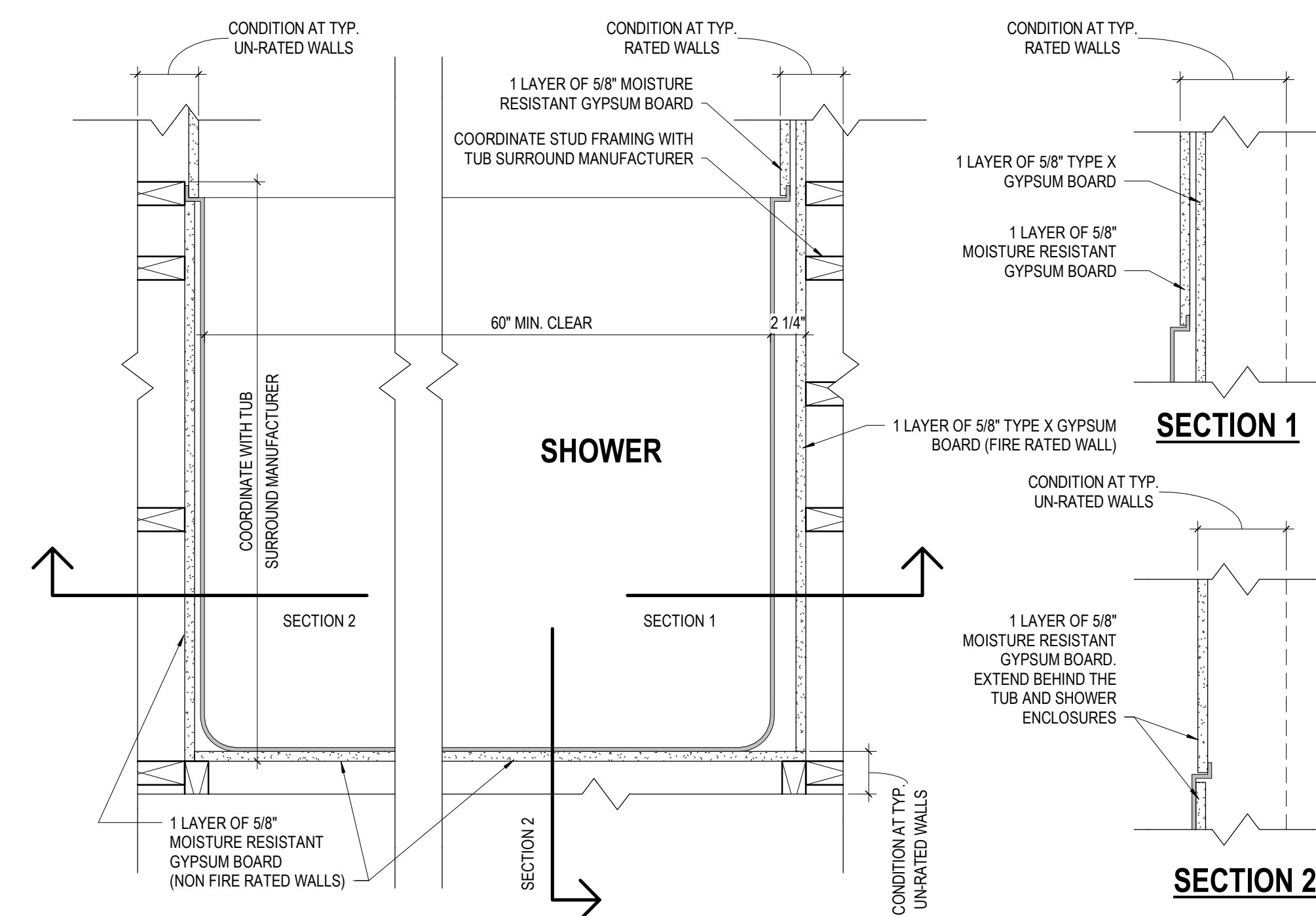
**7 DETAIL TYPICAL BLOCKING**  
1/2\"/>

2'-0\"/>

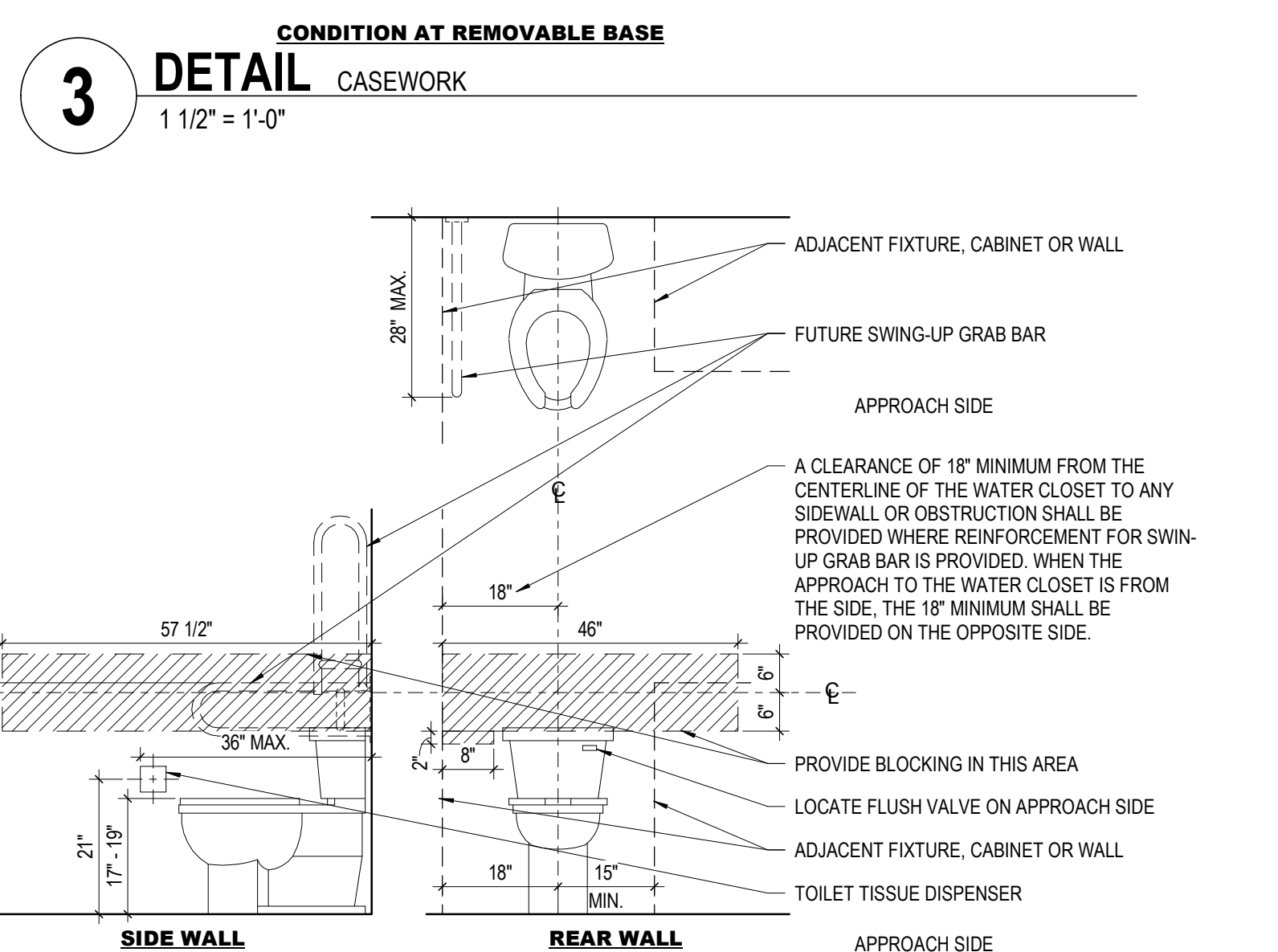
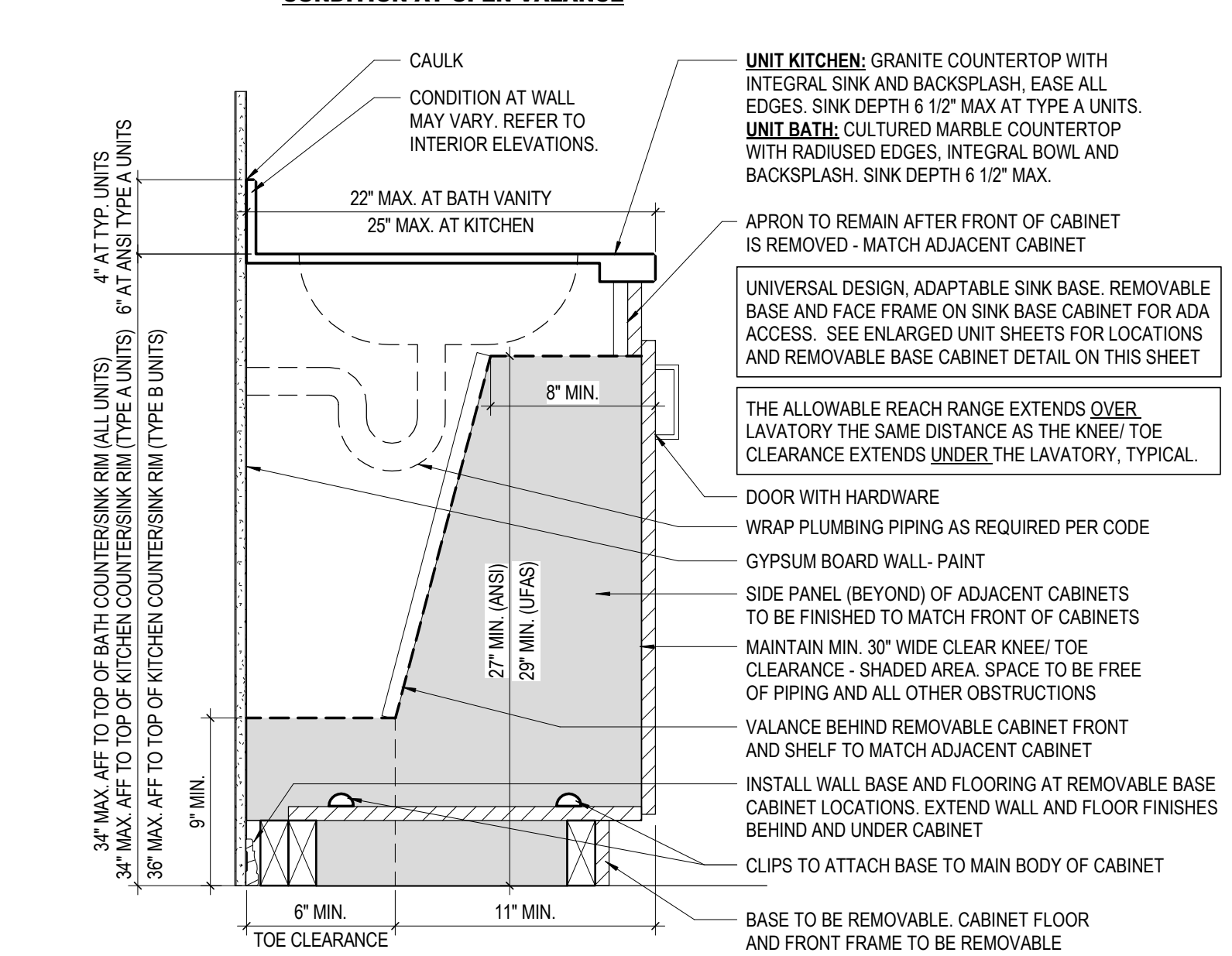
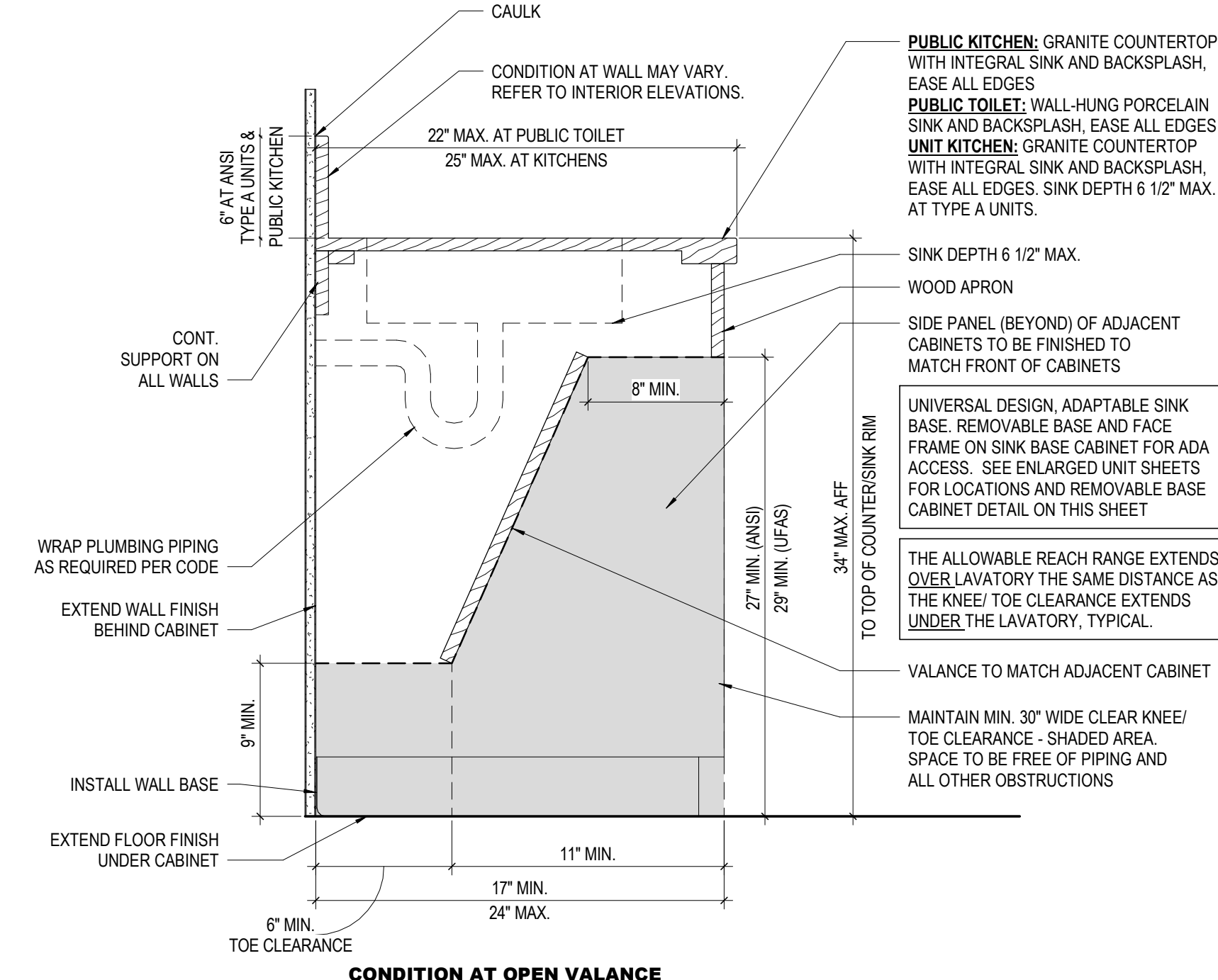
**6 DETAIL LAVATORY**  
3/8\"/>



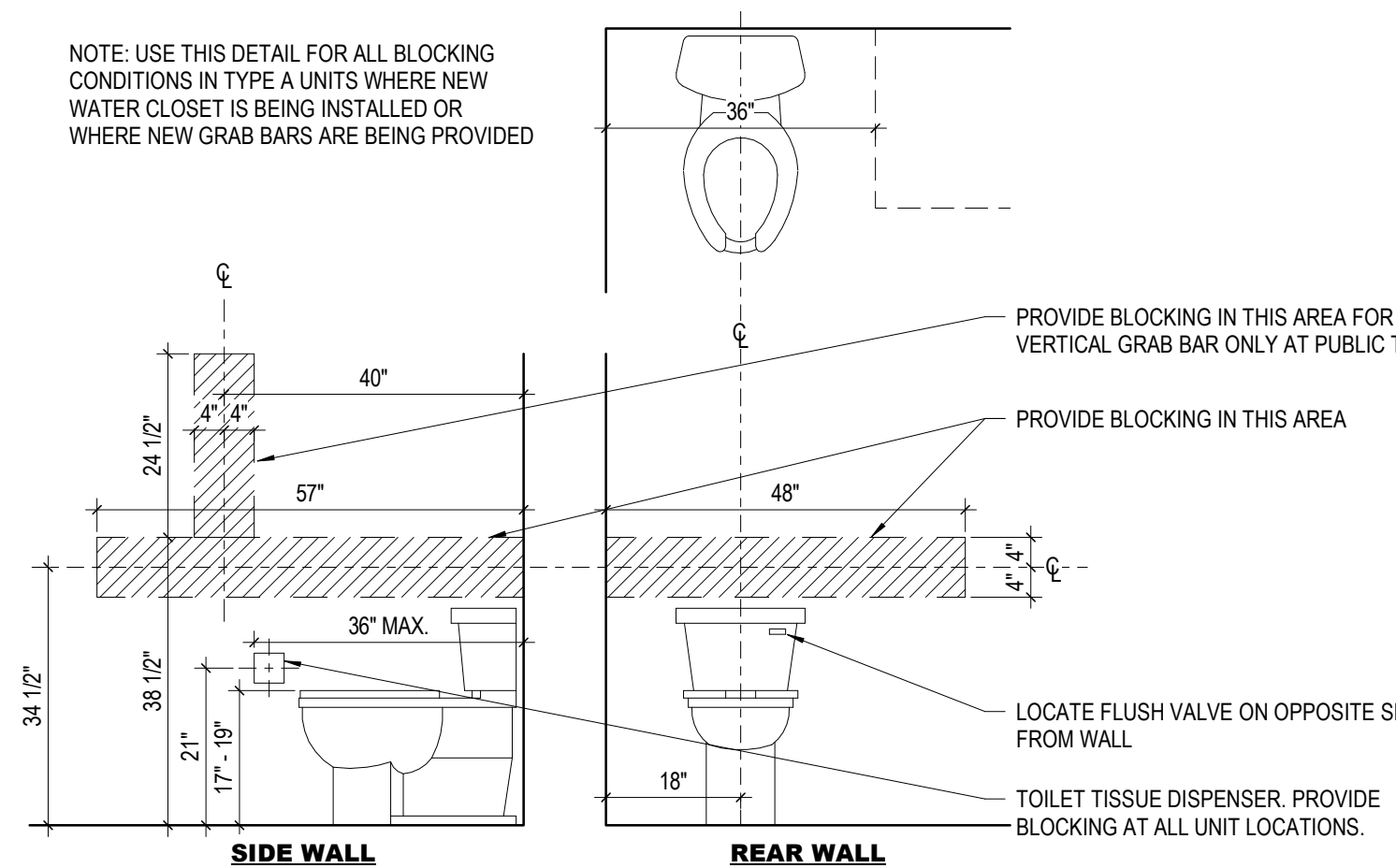
**5 DETAIL ACCESSIBLE OPERABLE PARTS (ANSI TYPE A & TYPE B UNITS)**  
1/2\"/>



**4 DETAIL TYPICAL SHOWER**  
1/2\"/>



**2 DETAIL NON-CORNER WOOD BLOCKING AT TYP. UNIT BATH**  
1/2\"/>



**1 DETAIL CORNER WOOD BLOCKING AT ACCESSIBLE TOILET/BATH**  
1/2\"/>

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1001 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
CMHA

**MOODY-NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
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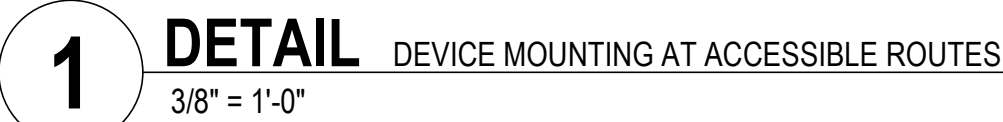
DRAWING TITLE:


**TYPICAL PROJECT DETAILS**

STATE OF OHIO  
JAY W. BOONE  
REGISTERED ARCHITECT  
10740

06/08/2023  
DRAWN BY: XXX CHECKED BY: XXX  
#22172.01  
**A810**  
PERMIT & BID SET





 <p>JAY W BOONE, LIC. #10740 EXP. DATE: 12/31/2023</p>	06/08/2023	
	DRAWN BY: XXXX	CHECKED BY: XXXX
	#22172.01	
	<h1>A820</h1> <p>PERMIT &amp; BID SET</p>	



FINISH LEGEND							
Finish Group	FINISH TYPE	TAG	MANUFACTURER	STYLE	COLOR/FINISH	SIZE	COMMENTS
BASE							
BASE	RESILIENT BASE	RB1	TARKETT	TRADITIONAL COVE BASE W/ TOE KICK - 4"	93 WHITE	4"	UNIT BATHROOM
BASE	RESILIENT BASE	RB2	TARKETT	TRADITIONAL COVE BASE W/ TOE KICK - 4"	63 BURNT UMBER	4"	AUXILIARY SPACES
BASE	RESILIENT BASE	RB3	TARKETT	MILLWORK INFLECTION - 5-1/4"	63 BURNT UMBER	5-1/4"	PUBLIC RESTROOM
BASE	WOOD BASE	WB-1	SEE SPECIFICATIONS	-	-	-	PAINTED PT-2
CEILING							
CEILING	ACOUSTICAL CEILING TILE	A1	ARMSTRONG	ULTIMA	WHITE	24" x 24"	-
CEILING	ACOUSTICAL CEILING TILE	A2	ARMSTRONG	LEDGES 8013	WHITE (WH)	24" x 24"	LIBRARY CEILING
FLOORS							
FLOORS	CARPET (TILE)	CR1	INTERFACE	SECOND STORY / DUPLEX 1256002500	105891 UPPER EAST	50cm x 50 cm	5 TILE x 16 TILE of CR1 CENTERED IN AREA (TILE AREA RUG ON TOP OF LV) MONOLITHIC INSTALL
FLOORS	LUXURY VINYL TILE	LV1	CHESAPEAKE FLOORING	PROSOLUTIONS 20 - P89298	RAINFALL	7" x 48" PLANK	SEE ENLARGED PLAN FOR LV PLANK INSTALL DIRECTION (DIR)
FLOORS	LUXURY VINYL TILE	LV2	CHESAPEAKE FLOORING	PROSOLUTIONS 20 - P89297	FIRESTORM	7" x 48" PLANK	SEE ENLARGED PLAN FOR LV PLANK INSTALL DIRECTION (DIR)
FLOORS	LUXURY VINYL TILE	LV3	CHESAPEAKE FLOORING	PROSOLUTIONS 20 - P89261	WINDWOOD	7" x 48" PLANK	SEE ENLARGED PLAN FOR LV PLANK INSTALL DIRECTION (DIR)
FLOORS	RESILIENT SHEET FLOORING	SV1	CONGOLEUM CONTEMPO	ARMORCORE PRO UR	BALLET WHITE	6' AND 12' ROLL GOOD	UNIT BATHROOM
FLOORS	RESILIENT SHEET FLOORING	SV2	MOHAWK	SISALANA II	999 METEORITE	12"	-
FLOORS	RUBBER TREADS	RT1	TARKETT	SAFE T RIB	63 BURNT UMBER W/ CONTRAST	-	-
FLOORS	SEALED CONCRETE	SC1	-	-	-	-	-
FLOORS	SPORTS FLOORING	SF1	MONDO	SPORT IMPACT 6MM	008 BLACK	36" x 36"	-
FLOORS	WALK OFF	WO1	INTERFACE	STEP REPEAT 1388602500	104921 DARK BROWN	50cm x 50cm	MONOLITHIC INSTALL
MISCELLANEOUS							
MISCELLANEOUS	CABINETS	-	AC PRODUCTS	CORCNET	MOCHA	AS NOTED	-
MISCELLANEOUS	CHAIR RAIL / HANDRAIL	-	SEE SPECIFICATIONS	-	-	-	PAINTED PT-2
MISCELLANEOUS	CORNER GUARDS	CG1	ACROVYN	ACROVYN CORNER GUARDS / SM10	TBD	AS NOTED	-
MISCELLANEOUS	GRANITE (COUNTERTOP)	ST1	TBD	TBD	TBD	AS NOTED	SELECT AMENITY COUNTERTOPS
MISCELLANEOUS	GROUT	GR1	MAPEI	-	93 WARM GRAY	-	-
MISCELLANEOUS	GROUT	GR2	MAPEI	-	77 FROST	-	-
MISCELLANEOUS	PLASTIC LAMINATE	PL1	FORMICA	-	9511-34 LAYERED SAND	AS NOTED	DEDUCT ALTERNATE @ UNIT COUNTERTOPS
MISCELLANEOUS	TRANSITIONS / TRIMS	-	TARKETT	TBD	TBD	AS NOTED	-
MISCELLANEOUS	VANITY TOP / SINK	-	RYNONE	CULTURED MARBLE	WHITE	AS NOTED	-
WALLS							
WALLS	CERAMIC WALL TILE	CW1	DALTILE	COLOR WHEEL CLASSIC	ARCTIC WHITE D190	3" x 6"	GR1 / SUBWAY INSTALLATION
WALLS	CERAMIC WALL TILE	CW2	DALTILE	MESMERIST	TRANCE MM31	3" x 12"	GR2 / STACK BOND INSTALLATION
WALLS	FIBERGLASS REINFORCED PANEL	FR1	CRANE COMPOSITES	GLASBORD	WHITE	AS NOTED	@ MOP SINK IN JAN
WALLS	PAINT	PT1	SHERWIN WILLIAMS	SATIN / EG-SHEL	SW 7631 CITY LOFT	-	UNIT WALLS
WALLS	PAINT	PT2	SHERWIN WILLIAMS	SEMI-GLOSS	SW 7005 PURE WHITE	-	UNIT TRIM, AMENITY TRIM
WALLS	PAINT	PT3	SHERWIN WILLIAMS	SATIN / EG-SHEL	SW 7005 PURE WHITE	-	AMENITY WALLS
WALLS	PAINT	PT4	SHERWIN WILLIAMS	SATIN / EG-SHEL	SW 7047 PORPOISE	-	UNIT DOOR SURROUND @ CORRIDOR
WALLS	PAINT	PT5	SHERWIN WILLIAMS	SEMI-GLOSS	SW 7044 AMAZING GRAY	-	CORRIDOR HANDRAIL AND CHAIR RAIL
WALLS	PAINT	PT6	SHERWIN WILLIAMS	SATIN / EG-SHEL	SW 9171 FELTED WOOL	-	ELEVATOR WALL - 2ND & 3RD FLOOR LOBBY
WALLS	PAINT	PT7	SHERWIN WILLIAMS	SATIN / EG-SHEL	SW 7007 CEILING BRIGHT WHITE	-	CEILING
WALLS	SPECIALTY WALL	SW1	CREATIVE MINES	CRAFT TRAIL EDGE	GREY PEARL	AS NOTED	@ FIREPLACE AND 1ST FLOOR ELEVATOR WALL

ROOM FINISH SCHEDULE															
SPACE		FLOOR		BASE		DOOR/FRAME FINISH		WALLS							
ROOM NUMBER	ROOM NAME	MAT	COL	MAT	COL	DOOR FRAME		NORTH		SOUTH		EAST		WEST	
						PAINT	PAINT	MAT	COL	MAT	COL	MAT	COL	MAT	COL
A-100	ADMIN.	LV	2	WD	PT2			PT	3	PT	3	PT	3	PT	3
A-101	CONF.	LV	2	WD	PT2			PT	3	PT	3	PT	3	PT	3
A-102	WANT.	LV	2	RB	1			PT	3	PT	3	PT	3	PT	3
A-103	WGR	LV	2	WD	PT2			PT	3	PT	3	PT	3	PT	3
C-100	CORRIDOR	LV	1, 2, 3	WD	PT2			PT / CW	3 / 2	PT / SW	3 / 1	PT / SW	3 / 1	PT	3
C-101	CORRIDOR	LV	1, 2, 3	WD	PT2			PT	3, 4	PT	3, 4	PT	3	PT	3
C-102	CORRIDOR	LV	1, 2, 3	WD	PT2			PT	3	PT	3	PT	3, 4	PT	3, 4
CG-100	COMP.	LV	2	WD	PT2			PT	3	PT	3	PT	3	PT	3
CP-100	COVERED PORCH	-	-	-	-			-	-	-	-	-	-	-	-
CR-100	COMMUNITY ROOM	LV	1, 2, 3	WD	PT2			PT / SW	3 / 1	PT / SW	3 / 1	PT / SW	3 / 1	PT / CW*	3 / 1
CR-101	LIBRARY	LV / CR*	1, 2, 3 / 1	WD	PT2			PT	3	PT	3	PT	3	PT	3
E-100	ELEC	SC	-	RB	1			PT / FR	3 / 1	PT	3	PT / FR	3 / 1	PT	3
EL-100	ELEV	LV	2	-	-			-	-	-	-	-	-	-	-
EL-101	ELEV	LV	2	-	-			-	-	-	-	-	-	-	-
FS-100	FLX SPACE	LV	2	WD	PT2			PT	3	PT	3	PT / CW*	3 / 1	PT	3
L-100	LOBBY	WO	1	WD	PT2			PT	3	PT	3	PT	3	PT / SW	3 / 1
M-100	MAIL	WO	1	WD	PT2			PT	3	PT	3	PT	3	PT	3
M-101	PARCEL	LV	2	WD	PT2			PT	3	PT	3	PT	3	PT	3
ME-100	MECHWATER	SC	-	RB	1			PT	3	PT	3	PT	3	PT	3
ME-101	MECH	SC	-	RB	1			PT	3	PT	3	PT	3	PT	3
S-100	STAIR	RT / LV	1 / 2	RB	1			PT	3	PT	3	PT	3	PT	3
S-101	STAIR	RT / LV	1 / 2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-100	STORAGE	LV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-101	STORAGE	LV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-102	STOR.	LV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-103	STOR.	LV	2	RB	1			PT	3	PT	3	PT	3	PT	3
T-100	RR	LV	2	RB	3			CW / PT	2 / 3	CW / PT	2 / 3	CW / PT	2 / 3	PT	3
T-101	RR	LV	2	RB	3			CW / PT	2 / 3	CW / PT	2 / 3	PT	3	CW / PT	2 / 3
TR-100	TRASH	SC	-	RB	1			FR	1	FR	1	FR	1	FR	1
TR-101	TRASH	SC	-	RB	1			FR	1	FR	1	FR	1	FR	1
V-100	VEST.	WO	1	WD	PT2			PT	3	PT	3	PT	3	PT	3
W-100	WELLNESS	SF	1	WD	PT2			PT	3	PT	3	PT	3	PT	3
C-201	CORRIDOR	LV	1, 2, 3	WD	PT2			PT	3, 4	PT	3, 4	PT	3	PT	3
C-202	CORRIDOR	LV	1, 2, 3	WD	PT2			PT	3	PT	3	PT	3, 4	PT	3, 4
E-200	ELEC	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
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EL-201	ELEV	LV	2	-	-			-	-	-	-	-	-	-	-
J-200	JAN	SV	2	RB	1			PT	3	PT / FR	3 / 1	PT / FR	3 / 1	PT	3
L-200	LOBBY	LV	3	WD	PT2			PT	3	PT	3	PT	3	PT	6
LR-200	LAUNDRY RM	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ME-200	MECH	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
S-200	STAIR	RT / LV	1 / 2	RB	1			PT	3	PT	3	PT	3	PT	3
S-201	STAIR	RT / LV	1 / 2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-201	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-202	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-203	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-204	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
TR-200	TRASH	SV	2	RB	1			FR	1	FR	1	FR	1	FR	1
TR-201	TRASH	SV	2	RB	1			FR	1	FR	1	FR	1	FR	1
C-301	CORRIDOR	LV	1, 2, 3	WD	PT2			PT	3, 4	PT	3, 4	PT	3	PT	3
C-302	CORRIDOR	LV	1, 2, 3	WD	PT2			PT	3	PT	3	PT	3, 4	PT	3, 4
E-300	ELEC	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
EL-300	ELEV	LV	2	-	-			-	-	-	-	-	-	-	-
EL-301	ELEV	LV	2	-	-			-	-	-	-	-	-	-	-
J-300	JAN	SV	2	RB	1			PT	3	PT / FR	3 / 1	PT / FR	3 / 1	PT	3
L-300	LOBBY	LV	3	WD	PT2			PT	3	PT	3	PT	3	PT	6
S-300	STAIR	RT / LV	1 / 2	RB	1			PT	3	PT	3	PT	3	PT	3
S-301	STAIR	RT / LV	1 / 2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-301	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-302	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-303	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
ST-304	STOR.	SV	2	RB	1			PT	3	PT	3	PT	3	PT	3
TR-300	TRASH	SV	2	RB	1			FR	1	FR	1	FR	1	FR	1
TR-301	TRASH	SV	2	RB	1			FR	1	FR	1	FR	1	FR	1


GENERAL NOTES - FINISH PLANS

- STANDARDS AND PROCEDURES FOR THE PREPARATION AND APPLICATION OF INTERIOR FINISHES ARE DEFINED IN THE PROJECT MANUAL. FINISH (SUB) CONTRACTORS ARE REQUIRED TO READ, UNDERSTAND AND FOLLOW ALL RELEVANT SECTIONS OF THE PROJECT MANUAL.
- FINISH MATERIALS ARE LISTED IN THE LEGEND COMPONENT OF THE FINISH SCHEDULE. SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE TWO SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- NO FINISH MATERIAL SUBSTITUTIONS WILL BE ACCEPTED EXCEPT IN THE SPECIFIC CIRCUMSTANCES ENUMERATED IN THE PROJECT MANUAL.
- ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE. MATERIAL, FINISH AND COLOR INFORMATION FOR ALL OTHER DOORS AND FRAMES IS CONTAINED IN THE DOOR SCHEDULE AND ITS ASSOCIATED LEGENDS. IF WALLS ON OPPOSITE SIDES OF DOOR FRAME ARE DIFFERENT COLORS THE PAINT COLORS SHOULD BE SPLIT AT THE JAMB OF THE FRAME.
- ALL VERTICAL TRANSITIONS BETWEEN DIFFERING WALL FINISHES ARE TO BE MADE AT INSIDE CORNERS (UNLESS NOTED OTHERWISE).
- FLOORING MATERIAL DESIGNATED FOR STAIRS IS TO INCLUDE STAIR AND ALL ASSOCIATED TREADS, RISERS, LANDINGS, ETC. (UNLESS NOTED OTHERWISE).
- PAINT DESIGNATED FOR METAL STAIR COMPONENTS IS TO INCLUDE ALL EXPOSED METAL COMPONENTS ASSOCIATED WITH THE STAIR SYSTEM ITSELF, ALL EXPOSED STRUCTURAL STEEL COMPONENTS SUPPORTING THE STAIR SYSTEM (UNLESS NOTED OTHERWISE), AND ALL EXPOSED METAL COMPONENTS OF THE HANDRAIL AND GUARDRAIL SYSTEMS (UNLESS NOTED OTHERWISE). UNDERSIDES OF STAIR RUNS AND LANDINGS ARE CONSIDERED "EXPOSED" IN ALL SITUATIONS.
- FOR CLARITY, SOME FINISH INFORMATION HAS BEEN PRESENTED GRAPHICALLY IN THE FORM OF FINISH AND FLOORING PLANS. SHOULD THERE BE A DISCREPANCY BETWEEN THE FINISH SCHEDULE AND THESE PLANS, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. FOR THE PURPOSE OF BIDDING, INFORMATION DETAILED ON THE FINISH FLOOR PLANS AND FLOORING PLANS IS TO TAKE PRECEDENCE OVER THE FINISH SCHEDULE UNTIL FURTHER CLARIFICATION CAN BE GIVEN. FOR AREAS NOT SPECIFICALLY DETAILED ON THESE PLANS, THE FINISH SCHEDULE PERTAINS.
- PAINT DESIGNATED FOR EXPOSED OVERHEAD STRUCTURE IS TO INCLUDE ALL EXPOSED COMPONENTS INCLUDING (BUT NOT EXCLUSIVE TO) DECKING, STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL DELIVERY SYSTEMS, FIRE PROTECTION SYSTEMS (EXCLUDING SPRINKLER HEADS), AND ALL OTHER MISCELLANEOUS BUILDING SYSTEMS LOCATED OVERHEAD. EACH OF THE AFOREMENTIONED CATEGORIES IS TO INCLUDE ANY AND ALL ASSOCIATED SUPPORTS, FASTENERS, HANGERS, STRUTS, BRACES, BRACKETS, ETC.
- WHERE RESILIENT BASE IS SPECIFIED (VINYL OR RUBBER) PROVIDE COVE PROFILE BASE AT ALL RESILIENT FLOORS AND STRAIGHT BASE FOR ALL CARPET AREAS (UNLESS OTHERWISE NOTED). HEIGHT AND COLOR TO BE AS INDICATED ON FINISH LEGEND.
- REFER TO REFLECTED CEILING PLANS AND SPECIFICATION MANUAL FOR ALL CEILING MATERIAL AND FINISH INFORMATION.
- ALL DRYWALL SOFFITS TO BE PAINTED FLAT CEILING WHITE UNLESS NOTED OTHERWISE ON CEILING PLANS.
- CERAMIC WALL TILE TO EXTEND FULL WIDTH AND FULL HEIGHT FOR ANY AND ALL SCHEDULED TILED WALLS (UNLESS NOTED OTHERWISE).
- FOR EPOXY OR INTUMESCENT PAINT COLOR REFER TO PAINT SCHEDULE NUMBERS.
- WITHIN FINISH SCHEDULE CELLS, SLASH MARKS INDICATE DIFFERENCES IN FINISH MATERIAL WHILE COMMAS INDICATE DIFFERENCES IN PATTERN OR COLOR WITHIN A SPECIFIC MATERIAL.
- APPROPRIATE METAL OR VINYL TRANSITION STRIPS MUST BE PROVIDED AT ALL FINISH MATERIAL FLOORING CHANGES. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FLOORING TRANSITIONS AND AREAS IN WHICH FLOORING PATTERNS ARE SHOWN. SEE FLOOR FINISH PLANS, DETAILS AND NOTES FOR SPECIFIC INFORMATION.
- WALL PAINT INDICATED FOR CURTAIN WALL LOCATIONS APPLIES TO ALL ASSOCIATED DRYWALL COMPONENTS (CURBS, HEADERS, BULKHEADS, ETC.) AND SHOULD NOT BE INTERPRETED AS APPLYING TO CURTAIN WALL COMPONENTS OR GLASS.
- FLOORING CONTRACTOR(S) IS RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS WITH ALL ANY FLOOR MOUNTED COMPONENTS (RECEPTACLES, ACCESS PANELS, ETC.) SO THAT COMPONENTS ARE INTEGRATED AND FLUSH.

#	DATE	CHANGE DESCRIPTION




**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:

FINISH LEGEND



06/08/2023

DRAWN BY: XXXX    CHECKED BY: XXXX

#22172.01

**A900**

PERMIT & BID SET






1 PLAN LEVEL 01 - FLOOR FINISH PLAN OVERALL  
3/32" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
1000 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
CMHA

**MOODY•NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**LEVEL 01 - FLOOR FINISH PLAN OVERALL**



JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

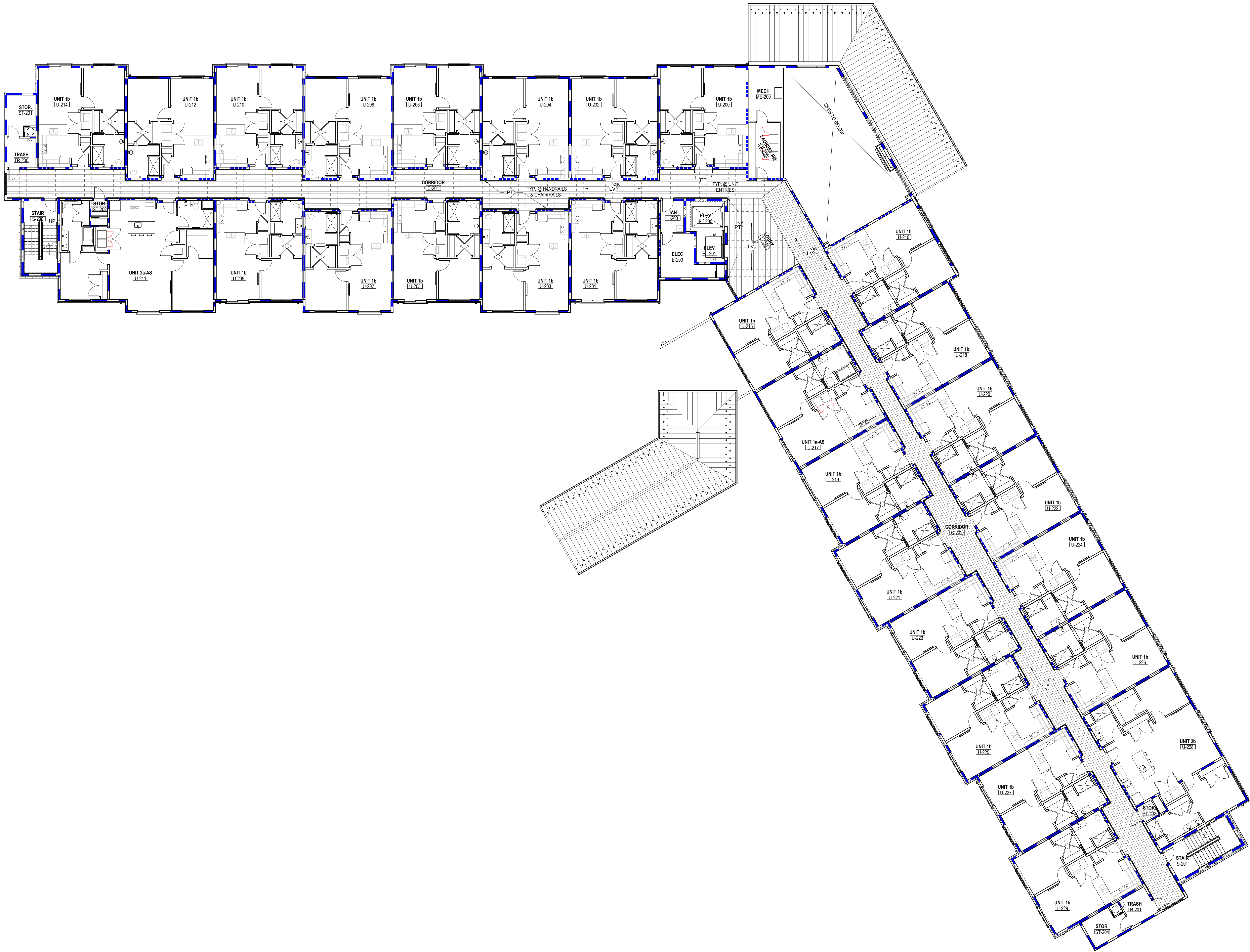
06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker

#22172.01

**A901**

PERMIT & BID SET






**1 PLAN** LEVEL 02 FLOOR FINISH PLAN OVERALL - TYP. @ LEVEL 03  
3/32" = 1'-0"

#	DATE	CHANGE DESCRIPTION




**COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**LEVEL 02 - FLOOR FINISH PLAN  
OVERALL - TYP. @ LEVEL 03**



JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: Author CHECKED BY: Checker  
#22172.01  
**A902**  
PERMIT & BID SET



\*REFER TO AREA 'A' AND AREA 'B' FLOOR PLANS FOR SIGNAGE LOCATIONS

Diagram illustrating the required dimensions and components for a Restroom sign:

- Dimensions:** The sign is 9" wide and 5" high.
- Components:**
  - INTERNATIONAL UNISEX PICTOGRAM (SYMBOL)
  - INTERNATIONAL HANDICAPPED PICTOGRAM (SYMBOL)
  - RESTROOM (1" RAISED LETTERS AND BRAILLE)

A diagram of a rectangular sign. The width is labeled as 9". The height is labeled as 12". The word "ELECTRICAL" is written in the center. To the right of the word, a line points to the text with the label "1" NON-RAISED LETTERS".

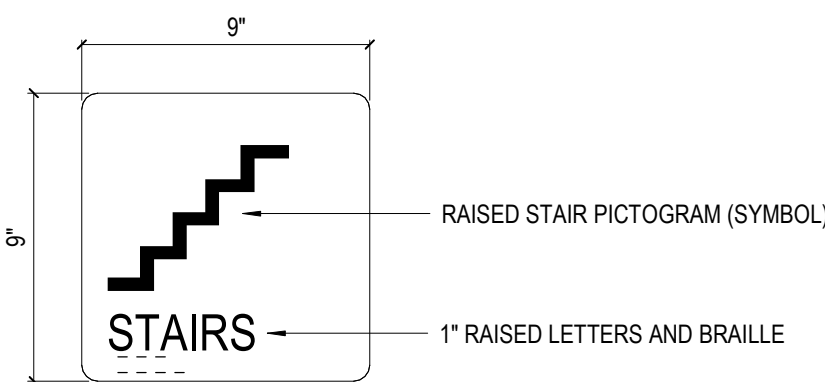



Diagram illustrating the required dimensions and content for a fire exit sign:

- Overall width: 9"
- Overall height: 6"
- Content: FIGURE DESCENDING STAIRCASE WITH FIRE PICTOGRAM (SYMBOL)
- Text: In Case Of Fire, Use Fire Exit (5/8" RAISED LETTERS)
- Text: Do Not Use Elevators (5/8" RAISED LETTERS AND BRAILLE)

## GENERAL NOTES

1. PROVIDE MAXIMUM OCCUPANCY SIGNAGE TYPE C AS NEEDED PER SPECIFICATIONS.
2. FIRE EXTINGUISHERS SHALL BE FURNISHED WITH SIGNAGE PER THE MANUFACTURER.
3. TACTILE CHARACTERS (BRAILLE) ON SIGNS SHALL BE LOCATED 48" MIN. AFF AND 60" MAX. AFF, ON THE LATCH SIDE OF THE DOOR.

 **COBBLESTONE MANOR**  
1050 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**



300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215

PHONE: (614) 461-4664  
FAX: (614) 280-8881

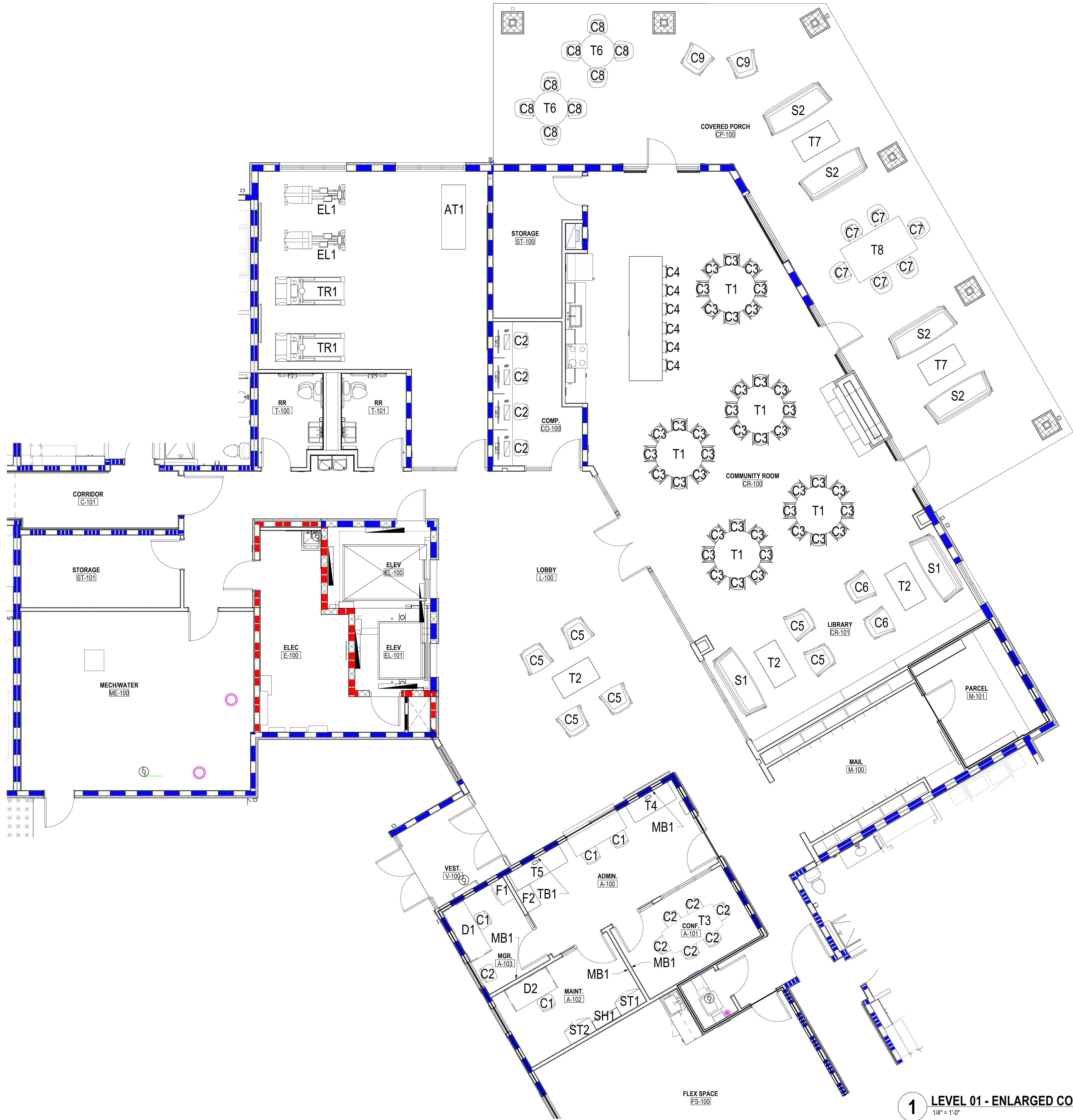
DRAWING TITLE:

## SIGNAGE SCHEDULE



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<b>A931</b>	
PERMIT & BID SET	





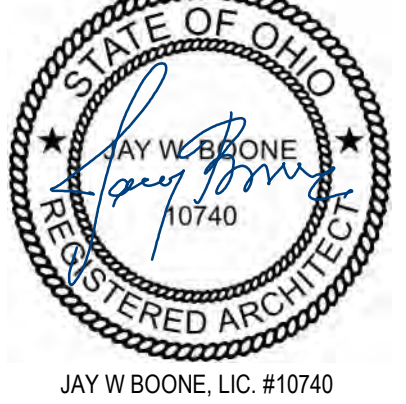
1 LEVEL 01 - ENLARGED COMMON AREAS - FFE  
1/4" = 1'-0"

#	DATE	CHANGE DESCRIPTION

**COBBLESTONE MANOR**  
100 LAMPLIGHTER DRIVE  
GROVE CITY, OH 43123  
FOR  
**CMHA**

**MOODY+NOLAN**  
300 SPRUCE STREET  
SUITE 300  
COLUMBUS, OHIO 43215  
PHONE: (614) 461-4664  
FAX: (614) 280-8881

DRAWING TITLE:  
**LEVEL 01 - FURNITURE PLAN**



JAY W. BOONE, LIC. #10740  
EXP. DATE: 12/31/2023

06/08/2023  
DRAWN BY: Author  
CHECKED BY: Checker

#22172.01

**A932**

PERMIT & BID SET